

ADDRESS: 252 QUINCE ST

Proposal: Legalize as-built roof and dormers

Review Requested: Final Approval

Owner: Danielle Harvey and Timothy Morrison

Applicant: Jonathan Wallace, AVLV Architecture & Development

History: 1806

Individual Designation: 2/28/1961

District Designation: Washington Square West Historic District, Contributing, 9/13/2024

Staff Contact: Allyson Mehley, allyson.mehley@phila.gov

OVERVIEW: This application proposes to legalize the as-built roof and dormers at 252 Quince Street, which deviate from the plans approved by the Historical Commission in December 2023. Deviations from the approved plans include the removal of original roof and framing, removal of front and rear cornices, construction of a roof above the location of the original roof, and installation of new dormers that differ in proportions from the approved dormers. This application for legalization was prompted by a staff site visit and subsequent issuance of a violation by the Department of Licenses and Inspections for construction that exceeded the approved plans.

SCOPE OF WORK:

- Legalize aspects of as-built new construction that deviate from approved plans.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
 - The gable roof, which was constructed above the location of the historic roof, and dormers, which were constructed taller than approved, are incompatible with the historic property and environment and fail to satisfy Standard 9.
- *Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*
 - The historic integrity of the original 1806 roof and cornices was permanently altered with full removal, failing to satisfy this Standard 10.
- *Roofs Guideline | Recommended: Designing rooftop additions, elevator or stair towers, decks or terraces, dormers, or skylights when required by a new or continuing use so that they are inconspicuous and minimally visible on the site and from the public right-of-way and do not damage or obscure character-defining historic features.*
 - Front and rear dormers were constructed 10 inches taller than approved plans and the dormer cornices are oversized. As currently constructed, the dormers are highly visible from the public right-of-way and fail to satisfy the roof guideline.

STAFF RECOMMENDATION: Denial, pursuant to Standard 9, 10, and Roofs Guideline.

ADDITIONAL FIGURES:



Figure 1: 1958 photograph of 250 and 252 Quince Street.



Figure 2: 200 Block of Quince Street in August 2024 while under construction. 250- 258 252 Quince Street is second from right in the image.



Figure 3: Front façade of 252 Quince Street, August 2024.



Figure 4: Front façade of 252 Quince Street, December 2023.



Figure 5: Front façade of 252 Quince Street, August 2024.



Figure 6: Rear façade of 252 Quince Street as viewed from Manning Street, December 2023.



Figure 7: Rear façade of 252 Quince Street as viewed from Manning Street, August 2024.



Interior view on fourth floor. Top of plaster wall indicates location of original roof framing in comparison to new framing.

Figure 8: Rear façade of 252 Quince Street as viewed from Manning Street, August 2024.

**THE MINUTES OF THE 736TH STATED MEETING OF THE
PHILADELPHIA HISTORICAL COMMISSION**

**FRIDAY, 8 DECEMBER 2023, 9:00 A.M.
REMOTE MEETING ON ZOOM
ROBERT THOMAS, CHAIR**

CALL TO ORDER

START TIME IN ZOOM RECORDING: 00:00:00

Mr. Thomas, the Chair, called the meeting to order at 9:08 a.m. and announced the presence of a quorum. The following Commissioners joined him:

Commissioner	Present	Absent	Comment
Robert Thomas, AIA, Chair (Architectural Historian)	X		
Kimberly Washington, Esq., Vice Chair (Community Development Corporation)	X		
Donna Carney (Philadelphia City Planning Commission)	X		
Emily Cooperman, Ph.D., Committee on Historic Designation Chair (Historian)		X	Arrived 9:53am
Erin Kindt (Department of Public Property)	X		
Sara Lepori (Commerce Department)	X		
John P. Lech (Department of Licenses & Inspections)	X		
John Mattioni, Esq.	X		
Dan McCoubrey, AIA, LEED AP BD+C, Architectural Committee Chair (Architect)	X		
Stephanie Michel (Community Organization)		X	
Jessica Sánchez, Esq. (City Council President)	X		
Matthew Treat (Department of Planning and Development)	X		

The meeting was held remotely via Zoom video and audio-conferencing software.

The following staff members were present:

- Jonathan Farnham, Executive Director
- Kim Chantry, Historic Preservation Planner III
- Mary Costello, Esq., Law Department
- Laura DiPasquale, Historic Preservation Planner III
- Heather Hendrickson, Historic Preservation Planner II
- Ted Maust, Historic Preservation Planner II
- Allyson Mehley, Historic Preservation Planner II
- Leonard Reuter, Esq., Law Department
- Dan Shachar-Krasnoff, Historic Preservation Planner II
- Alex Till, Historic Preservation Planner II

The following persons attended the online meeting:

- Abigail Hastings
- A. Levine
- Alex Balloon
- Alexander Fidrych

- The design of the north elevation should be further explored as the wall plane currently appears flat and monotonous with minimal detailing. The applicant should consider additional masonry detailing, color variation, and window patterning to add more distinction to the north façade.
- The use of clapboard style cementitious siding on the south elevation should be reconsidered as this type of material is not appropriate for a building of this scale. Other materials should be explored such as a cementitious panelized system that is more compatible with larger scale buildings. The siding color should also be revisited as the dark color currently shown draws attention to this area of the building. Using a mix of materials on this elevation would break up the visual scale of the large south elevation wall.
- Elevator and stair overruns should be reduced to code-required height.

START TIME OF DISCUSSION IN ZOOM RECORDING: 03:31:53

PRESENTERS:

- Ms. Mehley presented the application to the Historical Commission.
- Architect Scott Shiffert represented the application.

PUBLIC COMMENT:

- None.

HISTORICAL COMMISSION FINDINGS AND CONCLUSIONS:

The Historical Commission found that:

- The revised application includes updates made in response to the Architectural Committee's feedback. Revisions include brick and windows detailing, the addition of vertical reveals and lighter colored cladding on the south elevation, and reduced heights of the elevator overruns.

The Historical Commission concluded that:

- The overall design of the building relates to the Old City Historic District through its materials, massing, and proportions, satisfying Standard 9.
- As the lots are currently vacant, there would be no adverse impact on the surrounding buildings or on the historic district if this building were to be removed in the future, satisfying Standard 10.

ADDRESS: 252 QUINCE ST

Proposal: Construct dormer additions

Review Requested: Final Approval

Owner: Danielle Harvey

Applicant: Jonathan Wallace, AVLV Architecture & Development

History: 1806, William Smith

Individual Designation: 2/28/1961

District Designation: None

Staff Contact: Laura DiPasquale, laura.dipasquale@phila.gov

OVERVIEW: This application proposes to alter the gable roof of this circa 1810 rowhouse to create a livable fourth floor. The application originally proposed to install a wide dormer in the front roof slope and remove the rear roof slope to build an addition flush with the rear façade.

The Architectural Committee recommended denial of that application. Following the Architectural Committee meeting, the application was revised to address some of the Committee concerns, by pulling back the front dormer and creating a rear dormer, rather than addition, that leaves one foot of roof on either side and pulls the dormer two feet in from the rear façade. The revised application maintains the roof ridge.

SCOPE OF WORK:

- Remove rear slope of roof
- Construct fourth-floor rear addition
- Construct front dormer

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
 - The application proposes to remove the majority of the existing gable roof, a character-defining feature of the property, failing to satisfy Standard 9.
- *Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*
 - The application proposes to remove the rear slope of the roof for the installation of a new addition. If removed in the future, the essential form of the property would be altered, failing to satisfy this standard. Some portions of the rear gable should be preserved.
- *Roofs Guideline | Recommended: Designing rooftop additions, elevator or stair towers, decks or terraces, dormers, or skylights when required by a new or continuing use so that they are inconspicuous and minimally visible on the site and from the public right-of-way and do not damage or obscure character-defining historic features.*
 - If the front dormer is set back from the front façade and the rear addition is reconceived as a dormer, the dormers could be inconspicuous from the public right-of-way.

STAFF RECOMMENDATION: Approval, provided the front dormer is set back from the plane of the front façade and the rear addition is redesigned as a dormer that is set in from all sides to allow the original roof rafters and slope to remain visible, with the staff to review details, pursuant to Standards 9, 10 and the Roofs Guideline.

ARCHITECTURAL COMMITTEE RECOMMENDATION: Denial, pursuant to Standards 9, 10, and the Roofs Guideline.

START TIME OF DISCUSSION IN ZOOM RECORDING: 03:42:15

PRESENTERS:

- Ms. DiPasquale presented the application to the Historical Commission.
- Architect Jonathan Wallace represented the application.

PUBLIC COMMENT:

- None.

HISTORICAL COMMISSION FINDINGS AND CONCLUSIONS:

The Historical Commission found that:

- The revised application addresses the Architectural Committee’s concerns that the rear addition be reconceived as a dormer like the proposed front dormer, that the dormers be pulled in a minimum of 24 inches from the front and rear facades, that they tie into the existing roof ridge and retain roof rafters to either side of the dormers, that the boxiness of the dormers is reduced and flat trim boards used instead of siding on the front, and that the existing chimneys are retained.
- The application is similar to other dormers that the Historical Commission has approved on the block previously.

The Historical Commission concluded that:

- The proposed dormers retain the existing roof ridge and slope of the gabled roof and are pulled in from the front and rear facades, limiting removal of historic fabric, satisfying Standard 9.
- If the dormers were removed in the future, the essential form of the gable roof would remain, satisfying Standard 10.
- The dormers are set in from the front and rear facades and the views of the property are narrow, making the dormers inconspicuous from the public right-of-way, satisfying the Roofs Guideline.

ACTION: Mr. McCoubrey moved to approve the revised application, with the staff to review details, pursuant to Standards 9, 10, and the Roofs Guideline. Ms. Washington seconded the motion, which was adopted by unanimous consent.

ITEM: 252 QUINCE ST					
MOTION: Approval as revised					
MOVED BY: McCoubrey					
SECONDED BY: Washington					
VOTE					
Commissioner	Yes	No	Abstain	Recuse	Absent
Thomas, Chair	X				
Washington, Vice Chair	X				
Carney (PCPC)	X				
Cooperman	X				
Kindt (DPD)	X				
Lepori (Commerce)	X				
Lech (L&I)	X				
Mattioni	X				
McCoubrey	X				
Michel					X
Sánchez (Council)	X				
Treat (DPD)	X				
Total	11				1

GENERAL FRAMING NOTES

1. ALL WORK TO BE IN COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, & LOCAL BUILDING CODES.
2. CONTRACTOR(S) IS TO HAVE APPLICABLE LICENSE AND INSURANCE AS REQUIRED BY THE MUNICIPALITY.
3. CONTRACTOR(S) IS RESPONSIBLE FOR OBTAINING BUILDING PERMITS.
4. CONTRACTOR(S) IS RESPONSIBLE FOR CONTACTING THE BUILDING INSPECTOR FOR ANY / ALL REQUIRED INSPECTIONS FOR THE DURATION OF THE PROJECT.
5. CONTRACTOR(S) IS TO VERIFY EXISTING SITE CONDITIONS PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT IMMEDIATELY REGARDING ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND ARCHITECTURAL DOCUMENTS.
6. THE ARCHITECT IS NOT RESPONSIBLE FOR THE CONTRACTOR(S) MEANS AND METHODS OF CONSTRUCTION.

WOOD FRAMING WALLS & FLOOR NOTES:

1. ALL JOISTS AND TIMBER FRAMING TO BE INSTALLED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION. FRAMING MATERIALS TO BE HEM FIR GRADE NUMBER 2 OR BETTER WITH A REPETITIVE MEMBER FB=1,000 P.S.I. AND E=1,300,000 P.S.I.. ALL CONNECTIONS AND JOINTS ARE TO BE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND THE LOCAL BUILDING CODE AND ORDINANCES.
2. PLYWOOD SHEATHING TO BE EXTERIOR PLYWOOD APA EXTERIOR GRADE CDX. FLOOR SHEATHING TO 3/4" PLYWOOD T&G WHERE REQUIRED. ROOF SHEATHING TO BE 5/8" PLYWOOD AND WALL SHEATHING 1/2" PLYWOOD U.N.Q.
3. CONTRACTOR TO LAYOUT INTERIOR PARTITIONS & ALL ROUGH OPENINGS PRIOR TO ERECTING STUD WALLS TO COORDINATE DESIGN INTENT. NOTIFY ARCHITECT IMMEDIATELY UPON ANY DISCREPANCIES WITH ARCHITECTURAL FLOOR PLANS AND FIELD CONDITIONS. CONTRACTOR SHALL COORDINATE AND VERIFY CONDITIONS TO ENSURE PROPER FIT. CONTRACTOR IS RESPONSIBLE TO MAINTAIN CRITICAL DIMENSIONS AND CLEARANCES.
4. ALL LOAD BEARING WOOD STUD WALLS ARE TO BE CAPPED WITH (2) 2x TOP PLATES INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND INTERSECTIONS WITH BEARING PARTITIONS.
5. CONTINUOUS SOLID 2x BRIDGING OR CROSS BRACING TO BE PROVIDED AT 1/2 SPAN OF ALL JOIST SPANS GREATER THAN 8'-0" IN LENGTH AS PER INDUSTRY STANDARDS U.N.Q.
6. ALL WOOD BEAMS / HEADERS OVER 6'-0" IN LENGTH TO BE GLUED AND BOLTED W/ 1/2" CARRIAGE BOLTS STAGGERED 1-1/2" (ABOVE & BELOW) NEUTRAL AXIS 32" O.C. (NO SPLICING BEAMS OR HEADERS).
7. ALL WOOD CONTACTING MASONRY OR CONCRETE FOUNDATIONS IS TO BE PRESSURE TREATED / WOLMANIZED.
8. NOTCHES IN SOLID LUMBER JOISTS, RAFTERS & BEAMS SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER. SHALL NOT BE LONGER THAN ONE-THIRD OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN. NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH THE DEPTH OF THE MEMBER.
9. ROOF DECKING WITHIN 4' OF PART-LINE TO BE F.R. PLYWOOD WHERE THE RATED PARTI-WALL EXTENDS LESS THAN 30" ABOVE NEW ROOF SURFACE

WEATHER BARRIERS AND FLASHINGS:

1. ENTIRE BUILDING ENVELOPE SHALL BE COVERED WITH AN APPROVED WEATHER BARRIER. THE BARRIER SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION. ENSURE PROPER LAPPING OF MATERIAL SECTIONS.
2. ALL WINDOW AND EXTERIOR DOOR ASSEMBLIES SHALL RECEIVE BOTH HEAD FLASHINGS AND SILL FLASHINGS AND OR SILL PAWS. CONTRACTOR SHALL USE FLASHING MATERIALS THAT ARE COMPATIBLE WITH ADJACENT BUILDING MATERIALS. NOTE: APPLYING BUTYLE TAPE(S) AROUND THE PERIMETER OF DOOR AND WINDOW ASSEMBLIES DOES NOT QUALIFY AS INSTALLING FLASHING(S).
3. THE CONTRACTOR(S) SHALL INSURE THAT ALL WINDOW AND DOOR ASSEMBLIES ARE INSTALLED PER THE MANUFACTURERS INSTALLATION GUIDES AND RECOMMENDATIONS

EXTERIOR FINISHES:

1. ALL EXTERIOR FINISHES SHALL PROVIDE FOR DRAINAGE AT THE LOWEST POINT OF THE FINISH SYSTEM/ MATERIAL. INSURE PROPER LAPPING AND FLASHING(S) BETWEEN FINISH SYSTEM(S)

BATHROOMS:

1. CERAMIC TILE FLOOR(S) SET IN MASTIC ON 3/8" CEMENT BD, ON 3/4" PLY-WD, SUB FLR., FLASH PATCH CEMENT BD. SUBSTRATE FOR PROPER CERAMIC CONDITIONS. PROVIDE GROUT SEALER(S)
2. ALL GYPSUM BD. USED IN TOILET ROOM LOCATION SHALL BE MIN. 1/2" MOISTURE RESISTANT GYP. BD. W/ ANTI-FUNGAL PAINT FINISH

ROOFING:

1. ROOF SHEATHING TO BE 5/8" EXTERIOR GRADE T&G PLYWOOD SHEATHING. HOLD SHEATHING 2" CLEAR AT VENTING LOCATIONS.
2. LOW PITCH ROOF SYSTEM(S) TO BE MODIFIED BITUMINOUS 3-PLY BUILT-UP ROOF SYSTEM W/ SEMI-GRANULAR CAP SHEET UNQ. SYSTEM TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS
3. PROVIDE ICE AND SNOW SHIELD'S MIN. 48" FROM ALL EAVES. ALL VALLEYS W/ MIN. 30" LAP FROM VALLEY. ALL INTERSECTIONS OF ROOF DECK AND VERTICAL SURFACES.
4. ROOF CONTRACTOR TO PROVIDE MIN. .04" ALUM. FLASHING AS INDICATED IN DETAILS AND AT ALL ROOF DECK AND VERTICAL SURFACES, VALLEYS. PENETRATIONS THRU ROOF/ DECK
5. ROOFING CONTRACTOR TO PROVIDE .04" PRE-FINISHED ALUM. COPING SYSTEM AS INDICATED. PROVIDE ALL ASSOCIATED HARDWARE AND COMPONENTS WITH NON CORROSIVE FASTENERS.

BUILDING CODE ANALYSIS

2018 INTERNATIONAL BUILDING CODE (IBC)
 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

BUILDING CODE SUMMARY

DESCRIPTION OF WORK

THE CONVERSION OF THE EXISTING A FRAME ROOF INTO A FRONT AND REAR DORMER ON AN EXISTING 3 STORY SINGLE FAMILY DWELLING.

FIRE PROTECTION & LIFE SAFETY SYSTEMS - Chapter 3 IRC

R313.2 ONE- AND TWO-FAMILY DWELLINGS
 AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL NOT BE REQUIRED FOR ADDITIONS OR ALTERATIONS TO EXISTING BUILDINGS THAT ARE NOT ALREADY PROVIDED WITH AN AUTOMATIC RESIDENTIAL SPRINKLER SYSTEM.

BUILDING DESCRIPTION - Chapter 5 IBC

BUILDING: R-3
 CONSTRUCTION: VB

FIRE RESISTIVE CONSTRUCTION - Chapter 7 IBC

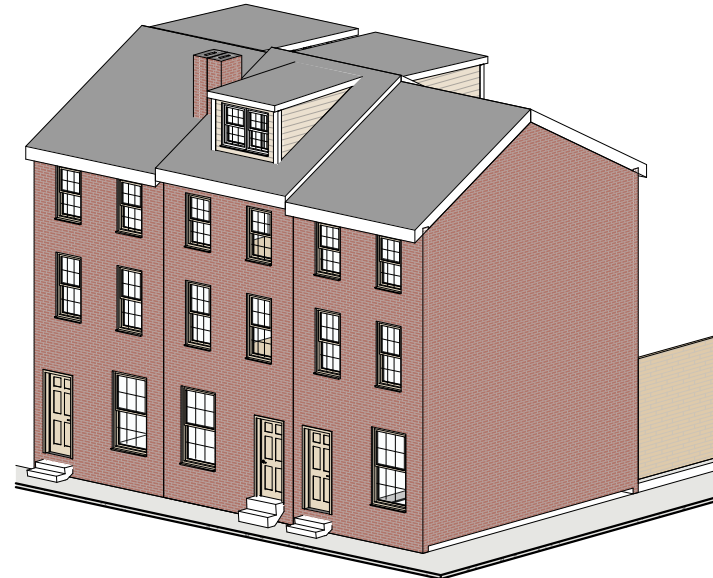
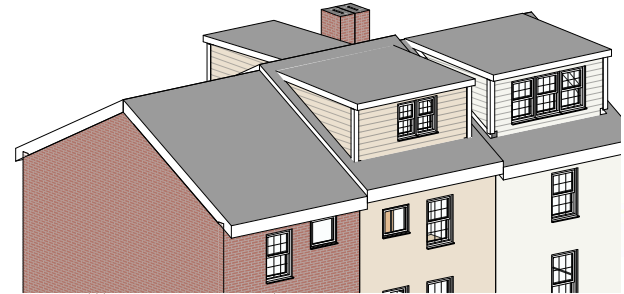
SECTION 704 STRUCTURAL MEMBERS	NA	NA
SECTION 705 EXTERIOR WALLS	NA	NA
SECTION 711 HORIZONTAL ASSEMBLIES	NA	NA

RESIDENTIAL ENERGY EFFICIENCY - Chapter 4 IECC

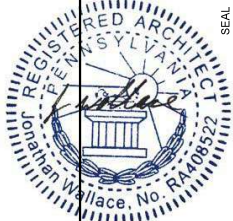
TABLE R402.1.2 CLIMATE ZONE 4 REQUIRED PROVIDED

WOOD FRAME WALLS	R-20 OR R-13+5CI	R-23
FLOOR	R-19	R-19
ROOF	R-49	R-49
GLAZED FENESTRATIONS	U-0.32 SHGC-0.40	U-0.15 SHGC-0.11

AMENDMENT



G-001 COVER SHEET
 DANIELLE HARVEY
 252 QUINCE ST.
 PHILADELPHIA PA 19107
 10/7/2024



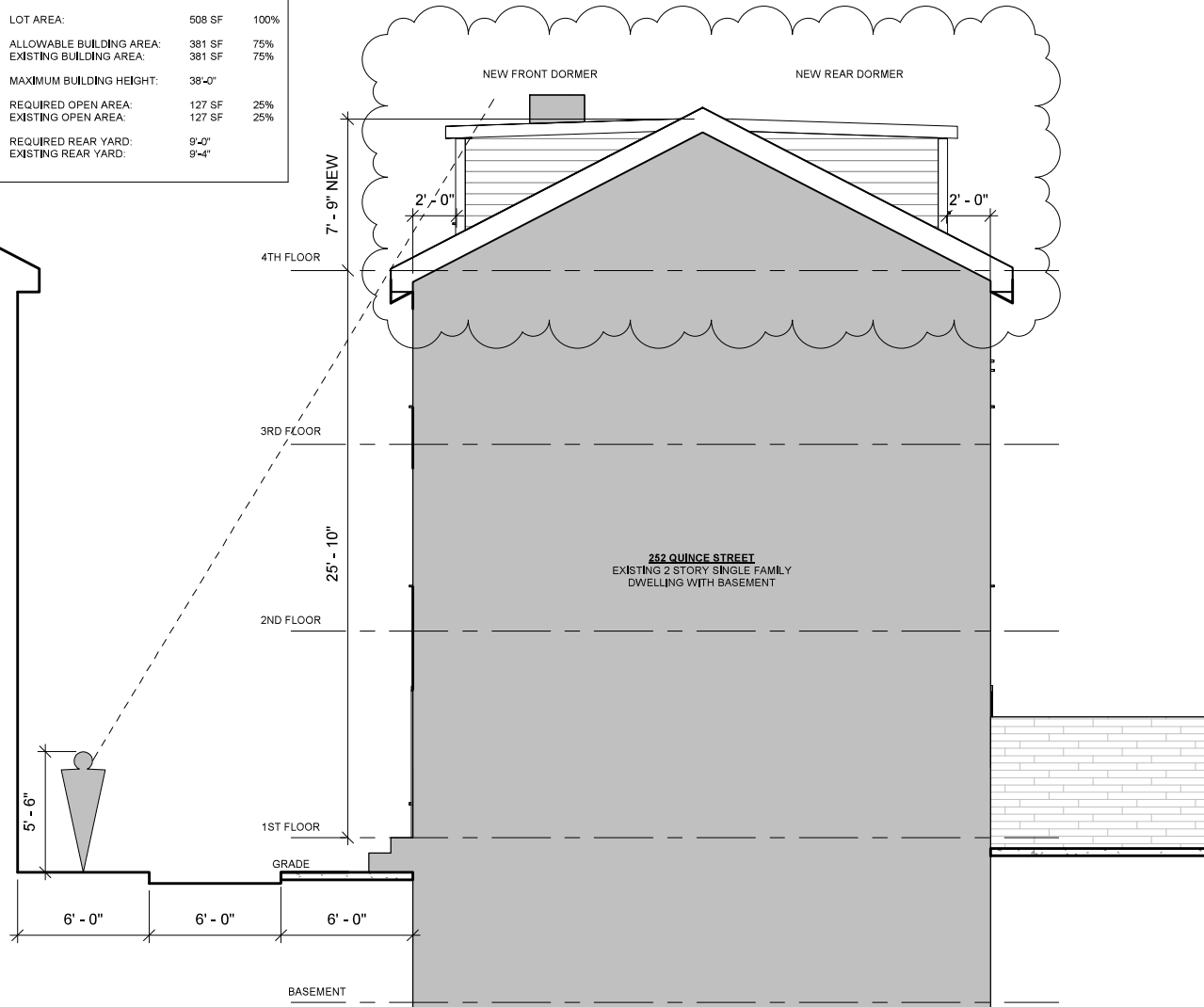
JONATHAN C. WALLACE
 AIA, M.Arch., LEED AP BD+C
 NJ LICENSE # 21A2202500
 AVLV DEVELOPMENT LLC
 1500 CHESTNUT ST. SUITE 2 #1833
 PHILADELPHIA PA 19102
 267.468.0275 ARCHITECTURE@AVLV.COM



SEAL

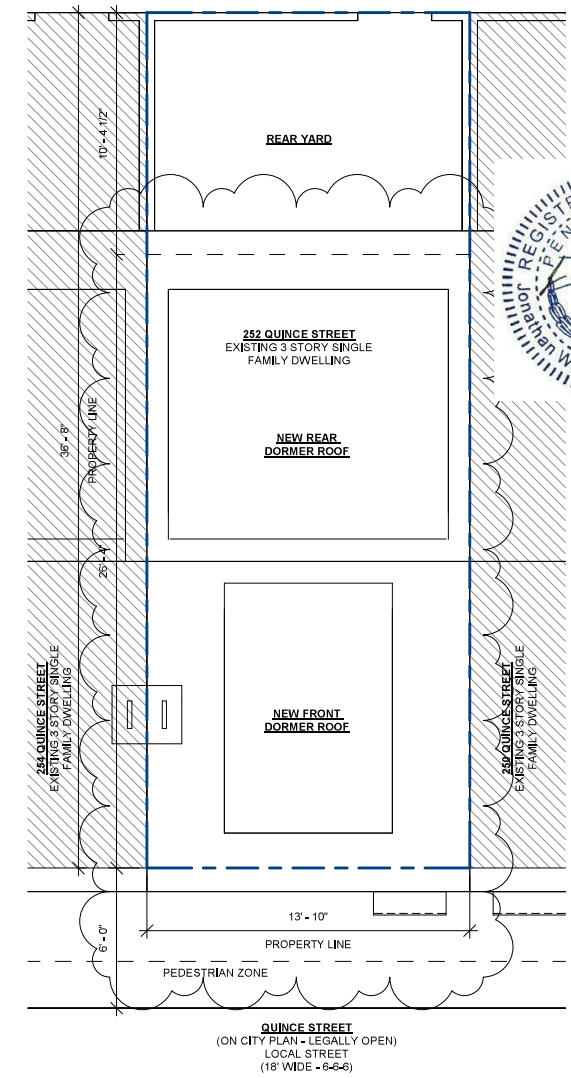
ZONING: RSA-5

LOT AREA:	508 SF	100%
ALLOWABLE BUILDING AREA:	381 SF	75%
EXISTING BUILDING AREA:	381 SF	75%
MAXIMUM BUILDING HEIGHT:	38'-0"	
REQUIRED OPEN AREA:	127 SF	25%
EXISTING OPEN AREA:	127 SF	25%
REQUIRED REAR YARD:	9'-0"	
EXISTING REAR YARD:	9'-4"	

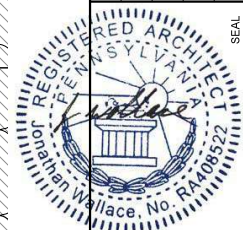


1 ZONING SECTION
3/16" = 1'-0"

AMENDMENT



2 SITE PLAN
3/16" = 1'-0"

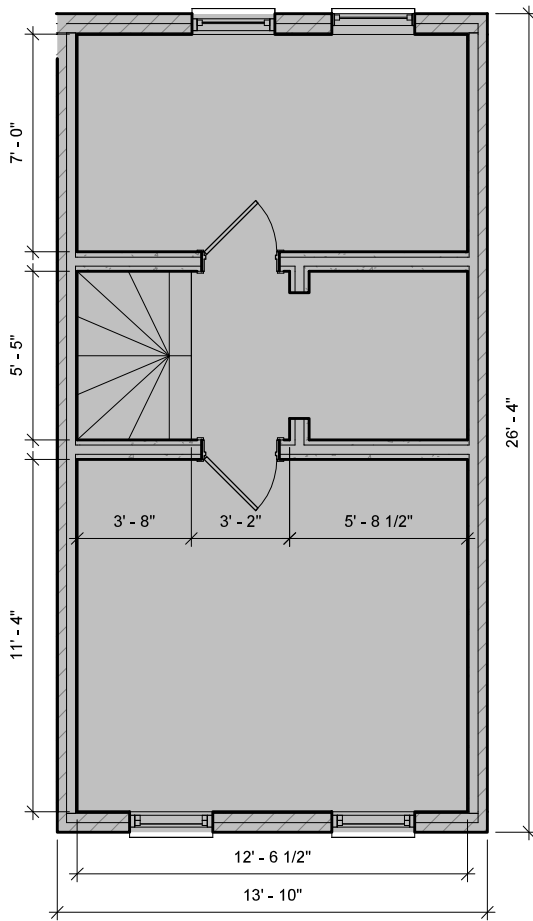


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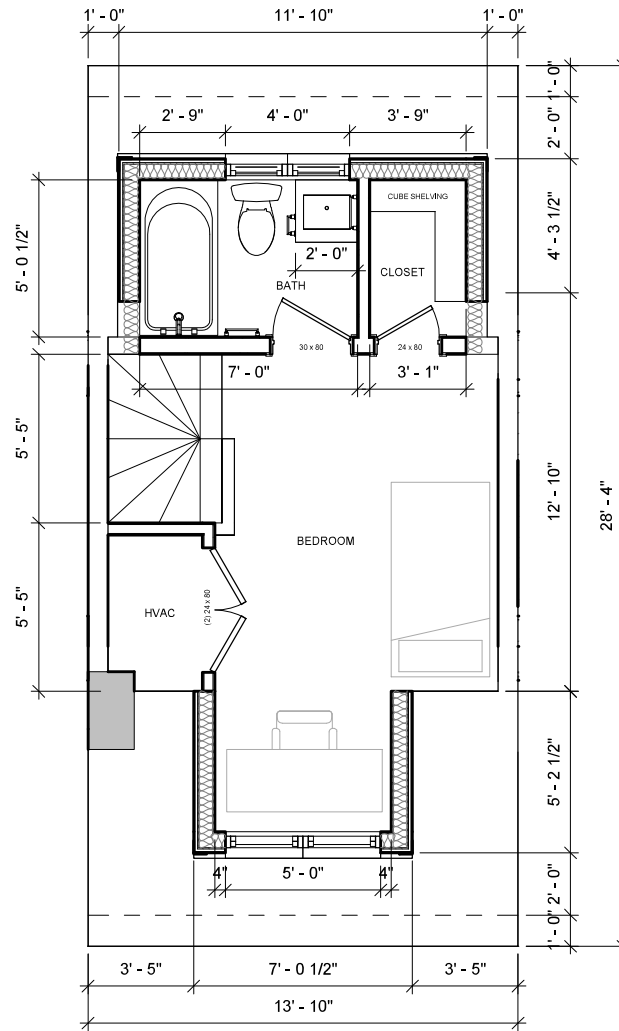


G-002 ZONING & SITE PLAN
 DANIELLE HARVEY
 252 QUINCE ST.
 PHILADELPHIA PA 19107
 10/7/2024

SEAL

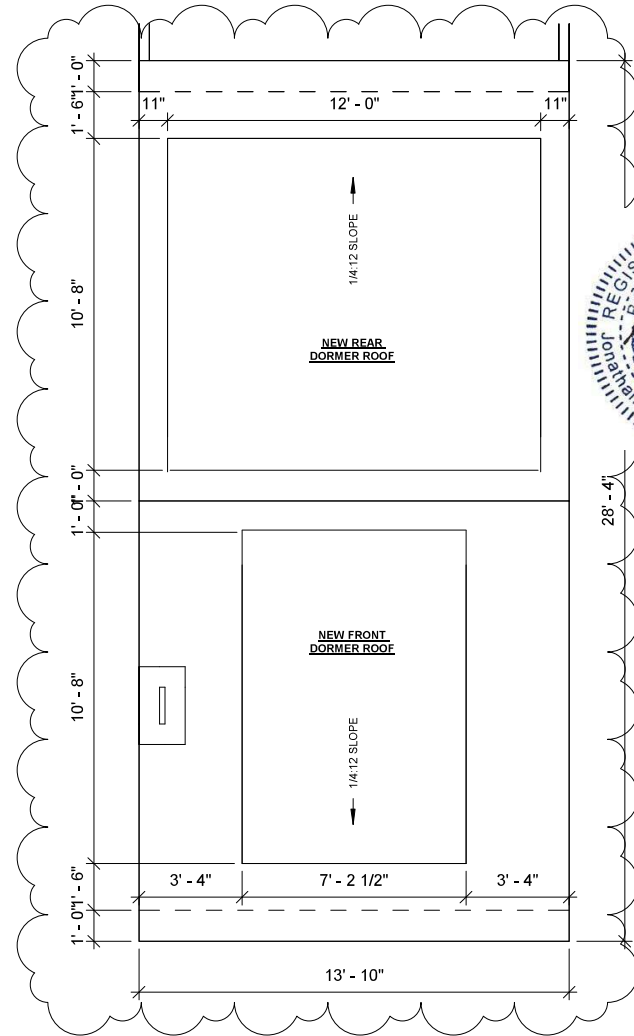


1 3RD FLOOR PLAN
1/4" = 1'-0"

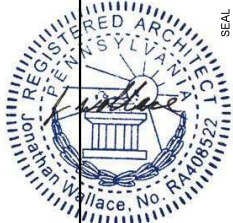


2 4TH FLOOR PLAN
1/4" = 1'-0"

AMENDMENT



3 ROOF PLAN
1/4" = 1'-0"



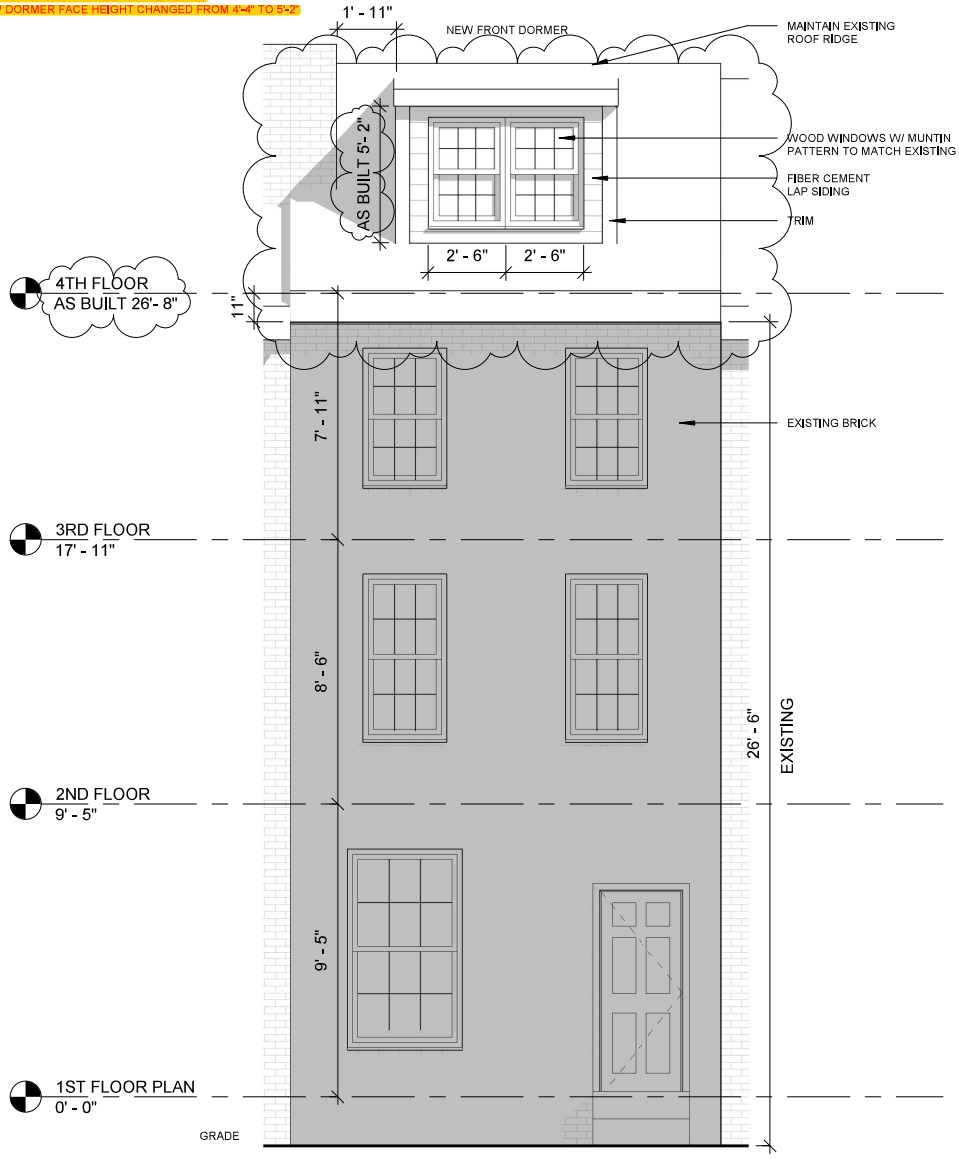
JONATHAN C. WALLACE
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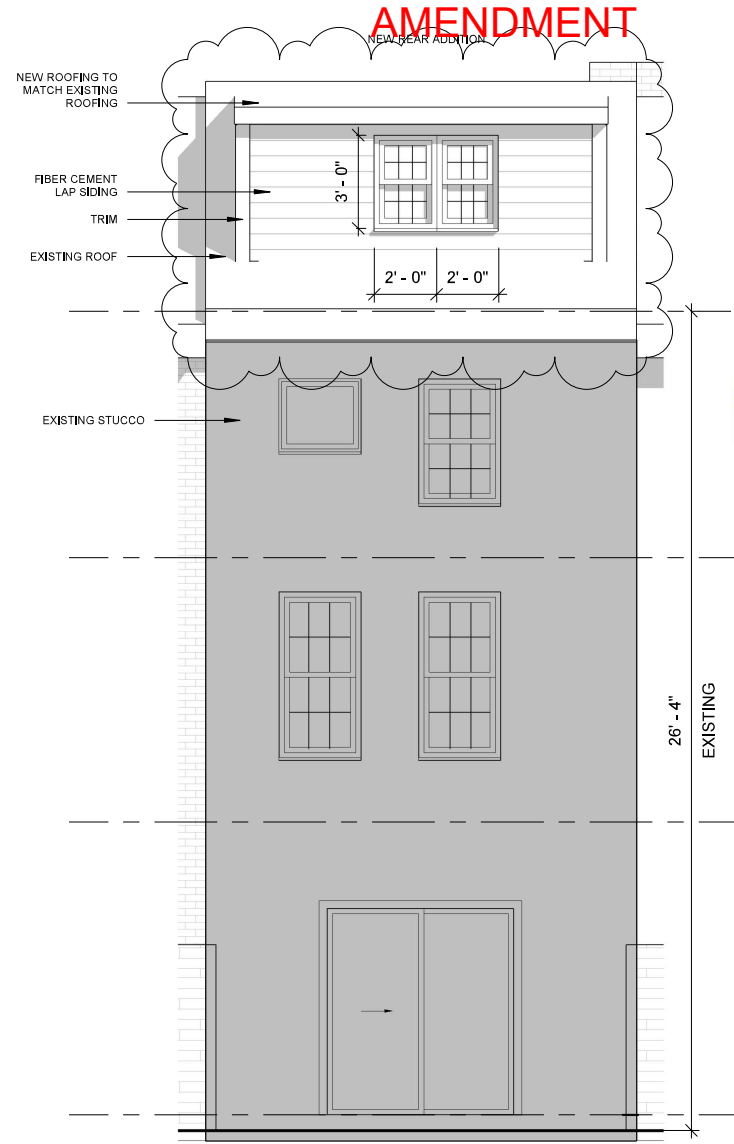
A-101 PLANS
DANIELLE HARVEY
252 QUINCE ST.
PHILADELPHIA PA 19107
10/7/2024

SEAL

AS BUILT CHANGES INCLUDE:
 -EXISTING ROOF AND GORNICES REPLACED WITH NEW
 -NEW ROOF IS 10" HIGHER THAN EXISTING
 -NEW DORMER FACE HEIGHT CHANGED FROM 4'-4" TO 5'-2"

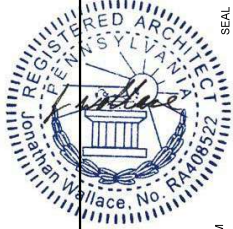


1 FRONT ELEVATION
 1/4" = 1'-0"



2 REAR ELEVATION
 1/4" = 1'-0"

AMENDMENT

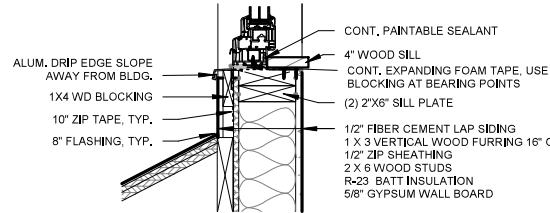
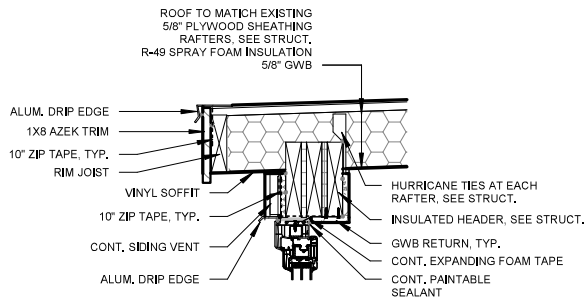


A-201	EXTERIOR ELEVATIONS
DANIELLE HARVEY	
252 QUINCE ST.	
PHILADELPHIA PA 19107	
	10/7/2024

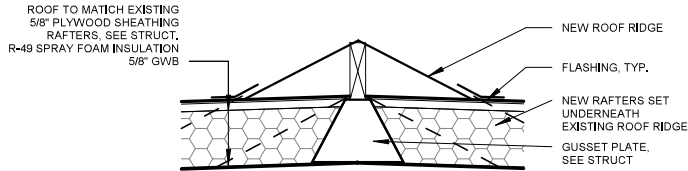
JONATHAN C. WALLACE
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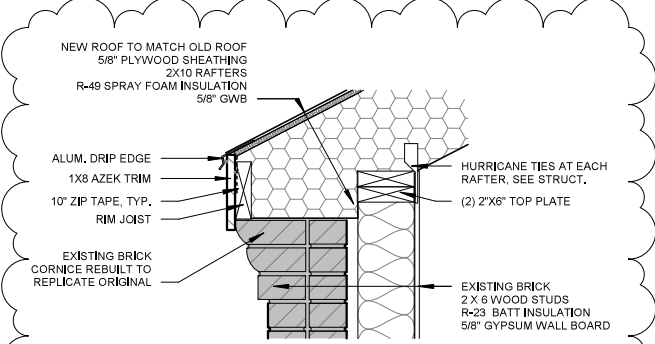
AMENDMENT



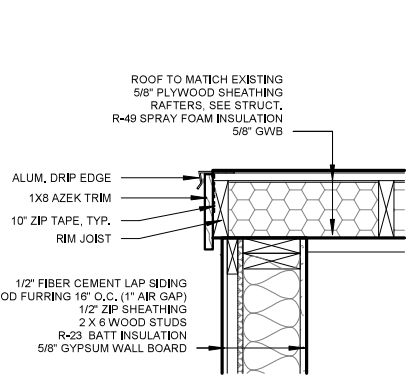
3 DETAIL @ EXTERIOR WALL
1" = 1'-0"



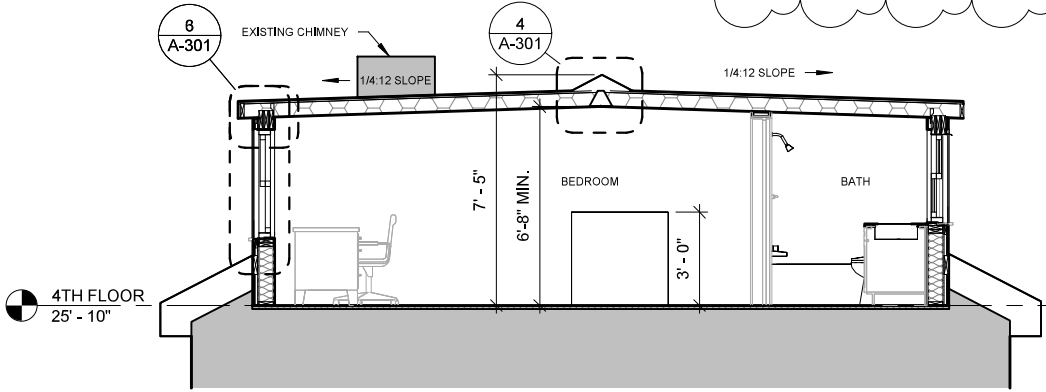
4 DETAIL @ ROOF RIDGE
1" = 1'-0"



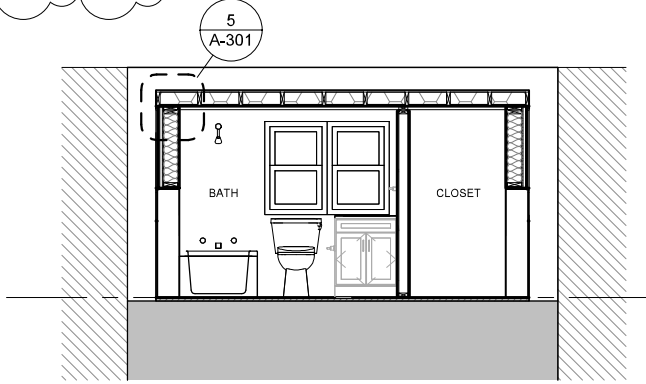
6 DETAIL @ NEW CORNICE
1" = 1'-0"



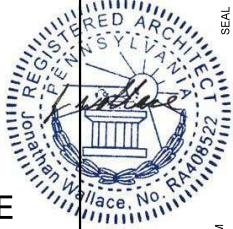
5 DETAIL @ SIDE ROOF EDGE
1" = 1'-0"



1 SECTION
1/4" = 1'-0"



2 CROSS SECTION
1/4" = 1'-0"



A-301 SECTIONS
DANIELLE HARVEY
252 QUINCE ST.
PHILADELPHIA PA 19107
10/7/2024

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AIA, NAArch, LEED AP BD+C
NJ LICENSE # 21A0220500
AVLV DEVELOPMENT LLC
1500 CHESTNUT ST. SUITE 2 #1833
PHILADELPHIA PA 19102
267-468-0275 ARCHITECTURE@AVLV.COM



Plans approved by Historical Commission
and Department of Licenses & Inspections

GENERAL FRAMING NOTES

1. ALL WORK TO BE IN COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, & LOCAL BUILDING CODES.
2. CONTRACTOR(S) IS TO HAVE APPLICABLE LICENSE AND INSURANCE AS REQUIRED BY THE MUNICIPALITY.
3. CONTRACTOR(S) IS RESPONSIBLE FOR OBTAINING BUILDING PERMITS.
4. CONTRACTOR(S) IS RESPONSIBLE FOR CONTACTING THE BUILDING INSPECTOR FOR ANY / ALL REQUIRED INSPECTIONS FOR THE DURATION OF THE PROJECT.
5. CONTRACTOR(S) IS TO VERIFY EXISTING SITE CONDITIONS PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT IMMEDIATELY REGARDING ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND ARCHITECTURAL DOCUMENTS.
6. THE ARCHITECT IS NOT RESPONSIBLE FOR THE CONTRACTOR(S) MEANS AND METHODS OF CONSTRUCTION.

WOOD FRAMING WALLS & FLOOR NOTES:

1. ALL JOISTS AND TIMBER FRAMING TO BE INSTALLED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION. FRAMING MATERIALS TO BE HEM FIR GRADE NUMBER 2 OR BETTER WITH A REPETITIVE MEMBER FB=1,000 P.S.I. AND E=1,300,000 P.S.I. ALL CONNECTIONS AND JOINTS ARE TO BE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND THE LOCAL BUILDING CODE AND ORDINANCES.
2. PLYWOOD SHEATHING TO BE EXTERIOR PLYWOOD APA EXTERIOR GRADE CDX. FLOOR SHEATHING TO 3/4" PLYWOOD T&G WHERE REQUIRED. ROOF SHEATHING TO BE 5/8" PLYWOOD AND WALL SHEATHING 1/2" PLYWOOD U.N.O.
3. CONTRACTOR TO LAYOUT INTERIOR PARTITIONS & ALL ROUGH OPENINGS PRIOR TO ERECTING STUD WALLS TO COORDINATE DESIGN INTENT. NOTIFY ARCHITECT IMMEDIATELY UPON ANY DISCREPANCIES WITH ARCHITECTURAL FLOOR PLANS AND FIELD CONDITIONS. CONTRACTOR SHALL COORDINATE AND VERIFY CONDITIONS TO ENSURE PROPER FIT. CONTRACTOR IS RESPONSIBLE TO MAINTAIN CRITICAL DIMENSIONS AND CLEARANCES.
4. ALL LOAD BEARING WOOD STUD WALLS ARE TO BE CAPPED WITH (2) 2x TOP PLATES INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND INTERSECTIONS WITH BEARING PARTITIONS.
5. CONTINUOUS SOLID 2x BRIDGING OR CROSS BRACING TO BE PROVIDED AT 1/2 SPAN OF ALL JOIST SPANS GREATER THAN 8'-0" IN LENGTH AS PER INDUSTRY STANDARDS U.N.O.
6. ALL WOOD BEAMS / HEADERS OVER 6'-0" IN LENGTH TO BE GLUED AND BOLTED W/ 1/2" CARRIAGE BOLTS STAGGERED 1-1/2" (ABOVE & BELOW) NEUTRAL AXIS 32" O.C. (NO SPLICING BEAMS OR HEADERS).
7. ALL WOOD CONTACTING MASONRY OR CONCRETE FOUNDATIONS IS TO BE PRESSURE TREATED / WOLMANIZED.
8. NOTCHES IN SOLID LUMBER JOISTS, RAFTERS & BEAMS SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER. SHALL NOT BE LONGER THAN ONE-THIRD OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN. NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH THE DEPTH OF THE MEMBER.
9. ROOF DECKING WITHIN 4' OF PARTI-LINE TO BE F.R. PLYWOOD WHERE THE RATED PARTI-WALL EXTENDS LESS THAN 30" ABOVE NEW ROOF SURFACE

WEATHER BARRIERS AND FLASHINGS:

1. ENTIRE BUILDING ENVELOPE SHALL BE COVERED WITH AN APPROVED WEATHER BARRIER. THE BARRIER SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION; ENSURE PROPER LAPPING OF MATERIAL SECTIONS.
2. ALL WINDOW AND EXTERIOR DOOR ASSEMBLIES SHALL RECEIVE BOTH HEAD FLASHINGS AND SILL FLASHINGS AND OR SILL PANS. CONTRACTOR SHALL USE FLASHING MATERIALS THAT ARE COMPATIBLE WITH ADJACENT BUILDING MATERIALS. NOTE: APPLYING BUTYLE TAPE(S) AROUND THE PERIMETER OF DOOR AND WINDOW ASSEMBLIES DOES NOT QUALIFY AS INSTALLING FLASHING(S).
3. THE CONTRACTOR(S) SHALL INSURE THAT ALL WINDOW AND DOOR ASSEMBLIES ARE INSTALLED PER THE MANUFACTURERS INSTALLATION GUIDES AND RECOMMENDATIONS

EXTERIOR FINISHES:

1. ALL EXTERIOR FINISHES SHALL BE INSTALLED TO THE LOWEST POINT OF THE FINISH SYSTEM MATERIAL. INSURE PROPER LAPPING AND FLASHINGS BETWEEN FINISH SYSTEM(S)

BATHROOMS:

1. CERAMIC TILE FLOOR(S) : 02/21/24 1" PLY-WD. SUB FLR., FLASH PATCH CEMENT BD. SUBSTRATE FOR PROPER LAPPING AND FLASHINGS, PROVIDE GROUT SEALER(S)
2. ALL GYPSUM BOARD PARTITIONS TO BE MOISTURE RESISTANT GYP. BD. W/ ANTI-FUNGAL PAINT FINISH

ROOFING:

1. ROOF SHEATHING TO BE 5/8" EXTERIOR PLYWOOD SHEATHING. HOLD SHEATHING 2" CLEAR AT VENTING LOCATIONS.
2. LOW PITCH ROOF SYSTEM(S) TO BE MODIFIED BITUMINOUS FLTY BUILT-UP ROOF SYSTEM W/ SEMI-GRANULAR CAP SHEET UNO. SYSTEM TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS
3. PROVIDE ICE AND SNOW SHIELD'S MIN. 48" FROM ALL EAVES, ALL VALLEYS W/ MIN. 30" LAP FROM VALLEY, ALL INTERSECTIONS OF ROOF DECK AND VERTICAL SURFACES.
4. ROOF CONTRACTOR TO PROVIDE MIN. .04" ALUM. FLASHING AS INDICATED IN DETAILS AND AT ALL ROOF DECK AND VERTICAL SURFACES, VALLEYS, PENETRATIONS THRU ROOF/ DECK
5. ROOFING CONTRACTOR TO PROVIDE .04" PRE-FINISHED ALUM. COPING SYSTEM AS INDICATED. PROVIDE ALL ASSOCIATED HARDWARE AND COMPONENTS WITH NON CORROSIVE FASTENERS.

BUILDING CODE ANALYSIS

2018 INTERNATIONAL BUILDING CODE (IBC)
 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

BUILDING CODE SUMMARY

DESCRIPTION OF WORK

THE CONVERSION OF THE EXISTING A FRAME ROOF INTO A FRONT AND REAR DORMER ON AN EXISTING 3 STORY SINGLE FAMILY DWELLING.

FIRE PROTECTION & LIFE SAFETY SYSTEMS - Chapter 3 IRC

R313.2 ONE- AND TWO-FAMILY DWELLINGS
 AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL NOT BE REQUIRED FOR ADDITIONS OR ALTERATIONS TO EXISTING BUILDINGS THAT ARE NOT ALREADY PROVIDED WITH AN AUTOMATIC RESIDENTIAL SPRINKLER SYSTEM.

BUILDING DESCRIPTION - Chapter 5 IBC

BUILDING: R-3
 CONSTRUCTION: VB

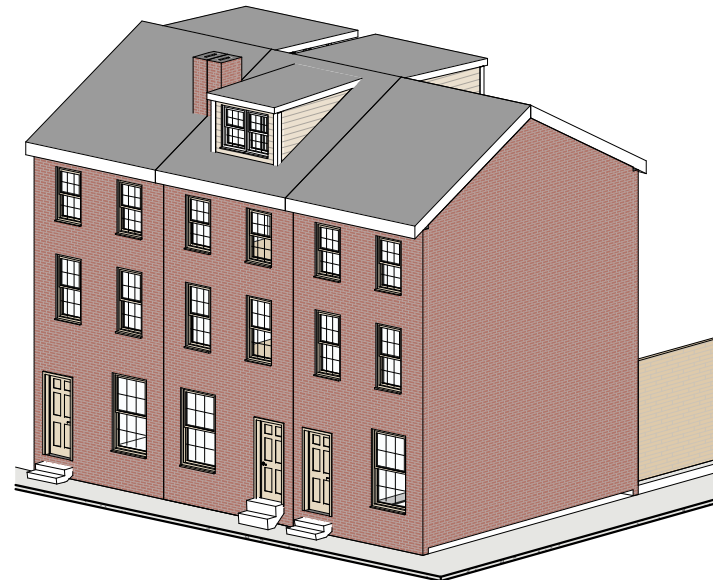
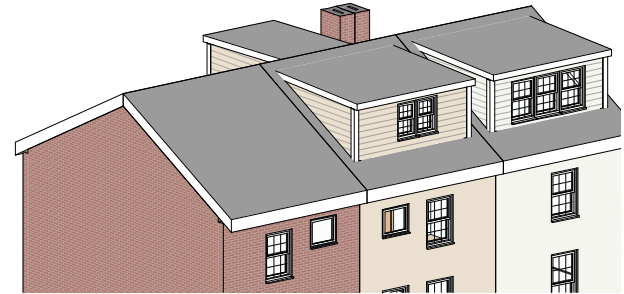
FIRE RESISTIVE CONSTRUCTION - Chapter 7 IBC

SECTION 704 STRUCTURAL MEMBERS	N/A	N/A
SECTION 705 EXTERIOR WALLS	N/A	N/A
SECTION 711 HORIZONTAL ASSEMBLIES	N/A	N/A

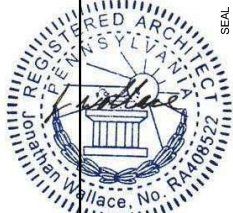
RESIDENTIAL ENERGY EFFICIENCY - Chapter 4 IECC

TABLE R402.1.2 CLIMATE ZONE 4 REQUIRED PROVIDED

WOOD FRAME WALLS	R-20 OR R-13+5CI	R-23
FLOOR	R-19	R-19
ROOF	R-49	R-49
GLAZED FENESTRATIONS	U-0.32 SHGC-0.40	U-0.15 SHGC-0.11



G-001 COVER SHEET
 DANIELLE HARVEY
 252 QUINCE ST.
 PHILADELPHIA PA 19107
 12/20/2023



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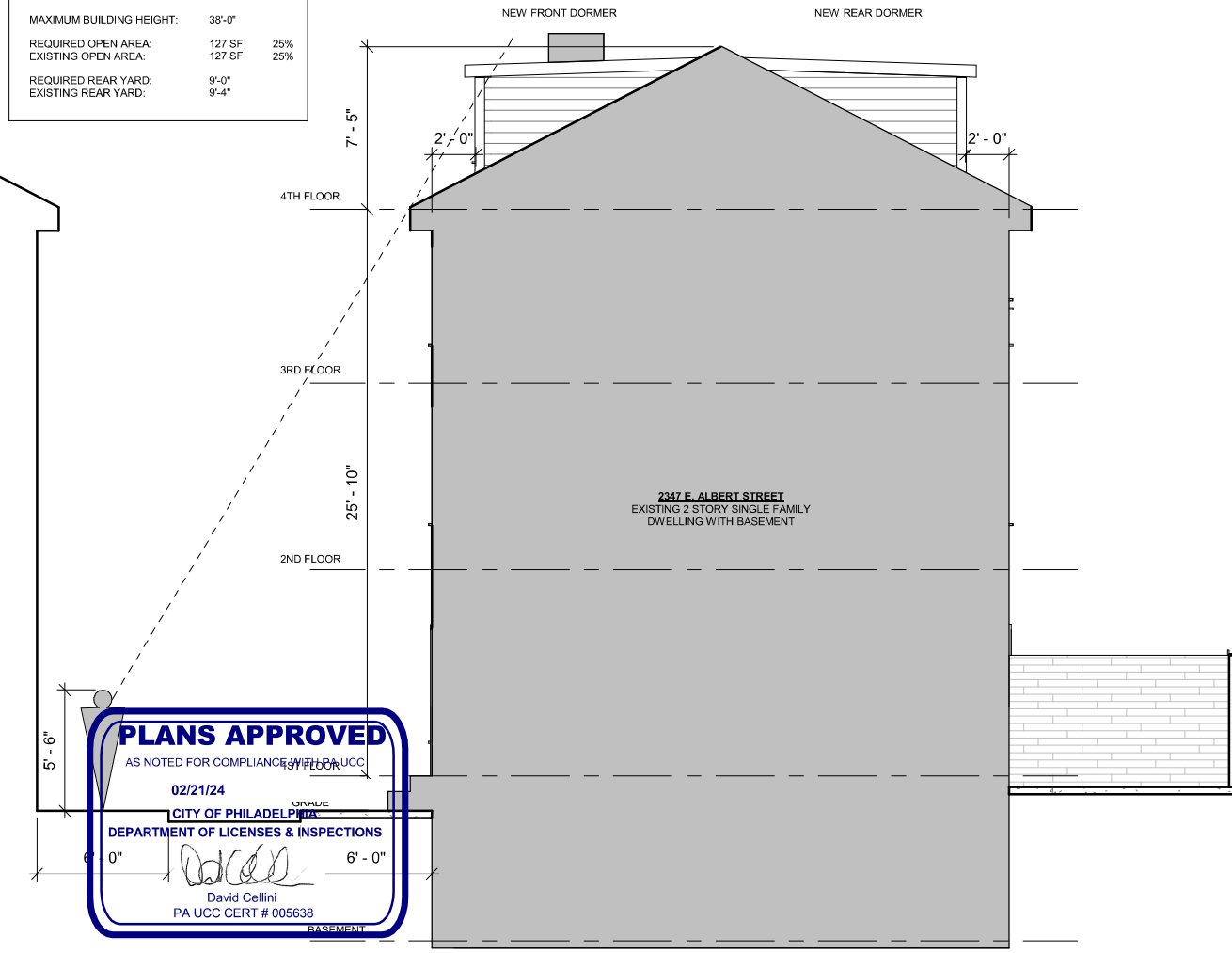
AS NOTED FOR COMPLIANCE WITH PA UCC

DEPARTMENT OF PERMITS & INSPECTION
 CITY OF PHILADELPHIA

PA UCC CERT # 005638

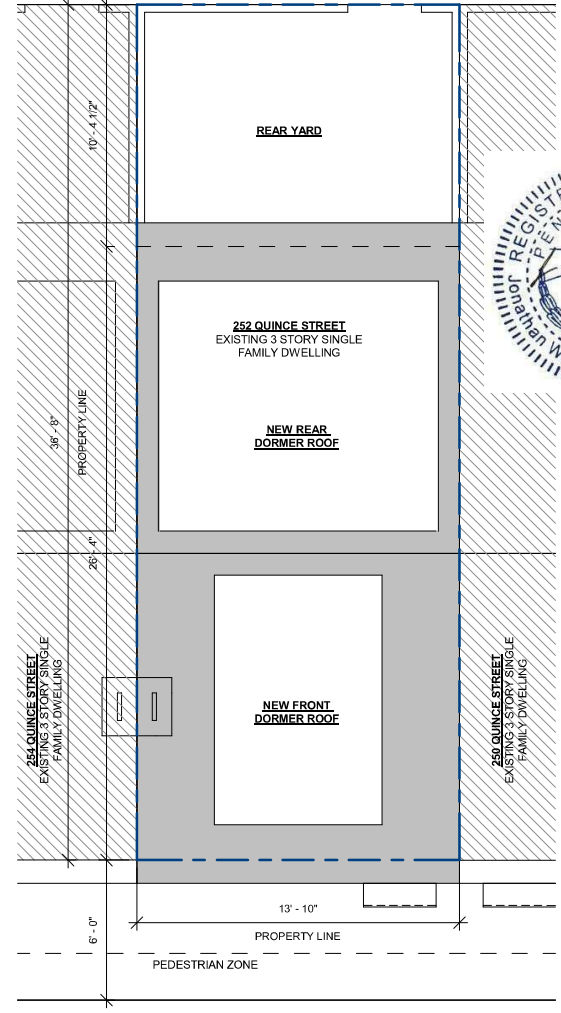
ZONING: RSA-5

LOT AREA:	508 SF	100%
ALLOWABLE BUILDING AREA:	381 SF	75%
EXISTING BUILDING AREA:	381 SF	75%
MAXIMUM BUILDING HEIGHT:	38'-0"	
REQUIRED OPEN AREA:	127 SF	25%
EXISTING OPEN AREA:	127 SF	25%
REQUIRED REAR YARD:	9'-0"	
EXISTING REAR YARD:	9'-4"	

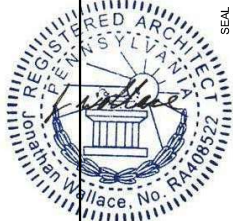


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 PA UCC CERT # 005638

1 ZONING SECTION
 3/16" = 1'-0"



2 SITE PLAN
 3/16" = 1'-0"

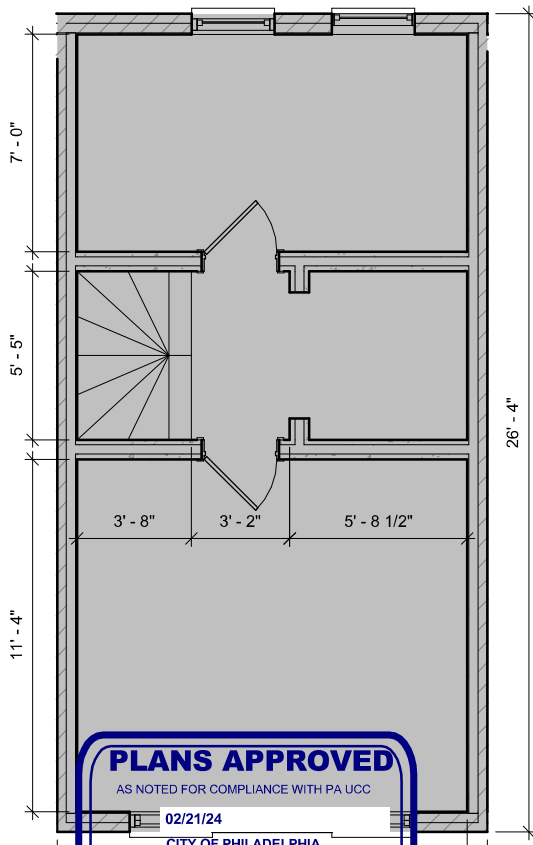


G-002 ZONING & SITE PLAN
 DANIELLE HARVEY
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 PHILADELPHIA PA 19107
 12/20/2023

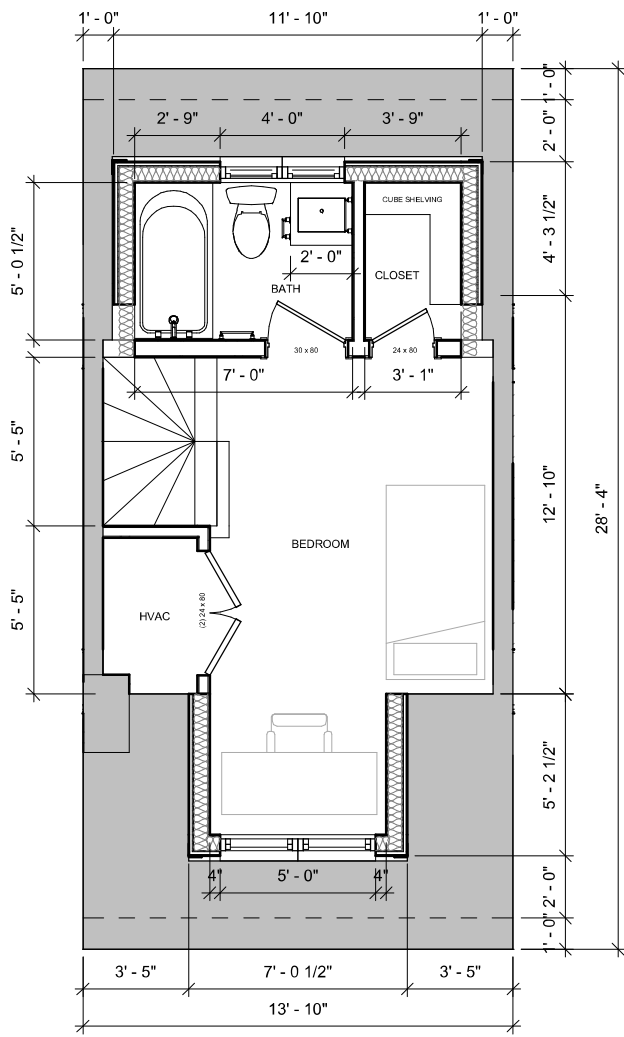
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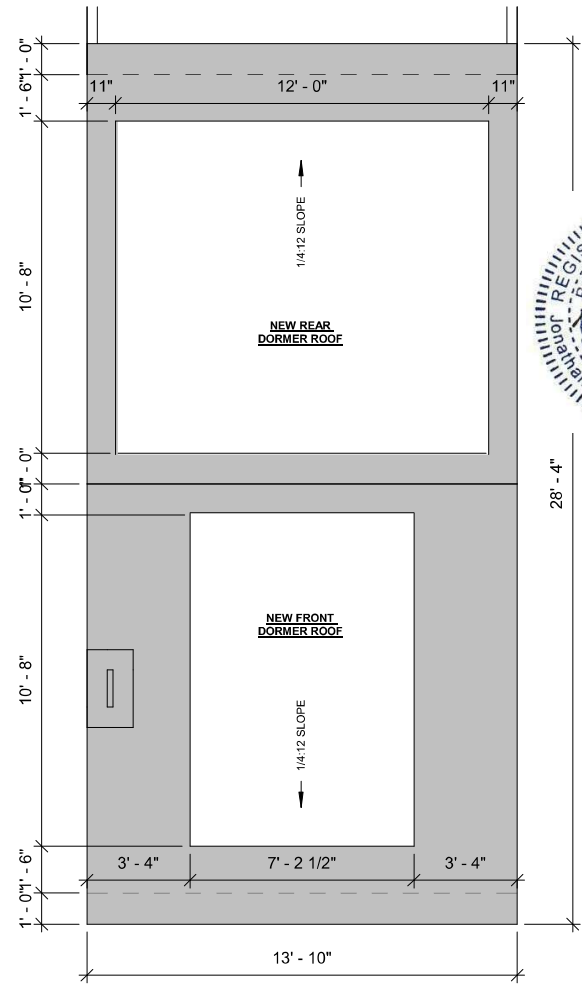
SEAL



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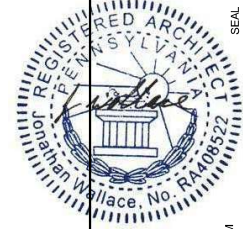
VERIFY ALL DIMENSIONS IN FIELD
OPTION: BATH / CLOSET POCKET DOORS



1 3RD FLOOR PLAN
1/4" = 1'-0"

2 4TH FLOOR PLAN
1/4" = 1'-0"

3 ROOF PLAN
1/4" = 1'-0"

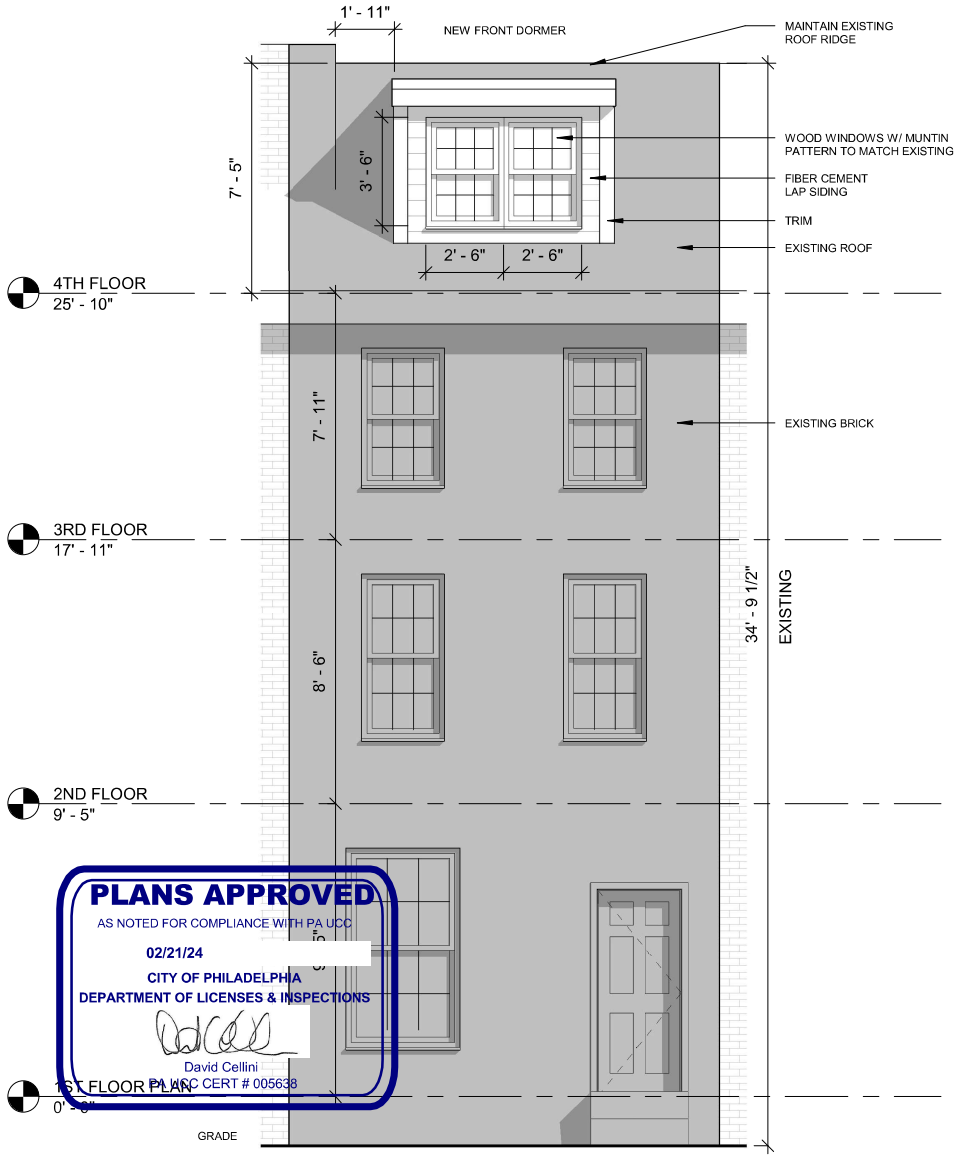


A-101 PLANS
DANIELLE HARVEY
252 QUINCE ST.
PHILADELPHIA PA 19107
12/20/2023

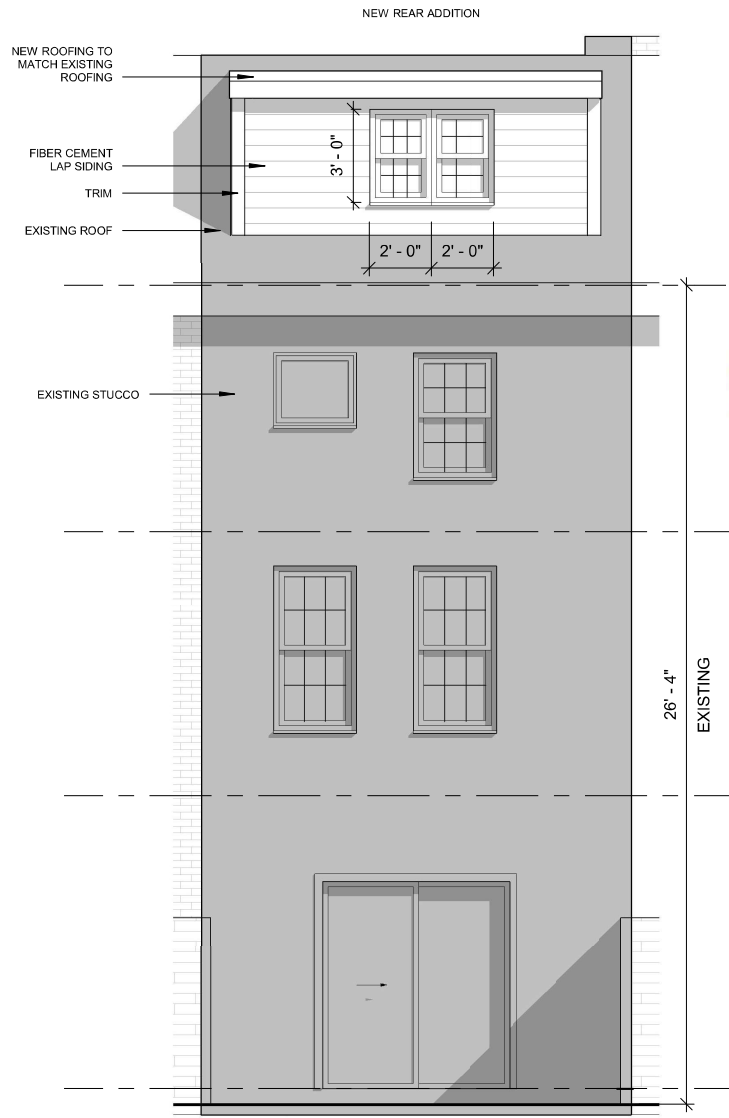
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SEAL

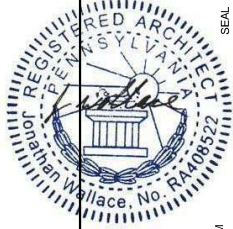


1 FRONT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"

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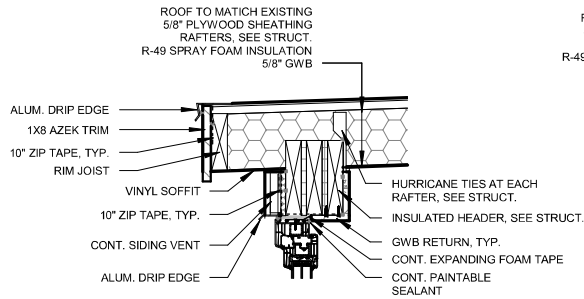


A-201 EXTERIOR ELEVATIONS
DANIELLE HARVEY
252 QUINCE ST.
PHILADELPHIA PA 19107
12/20/2023

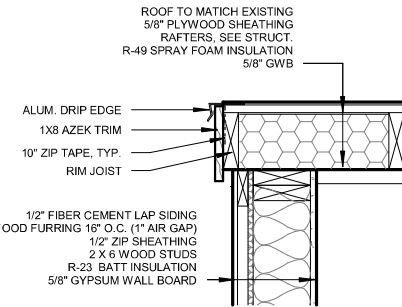
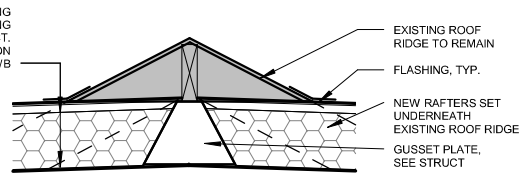
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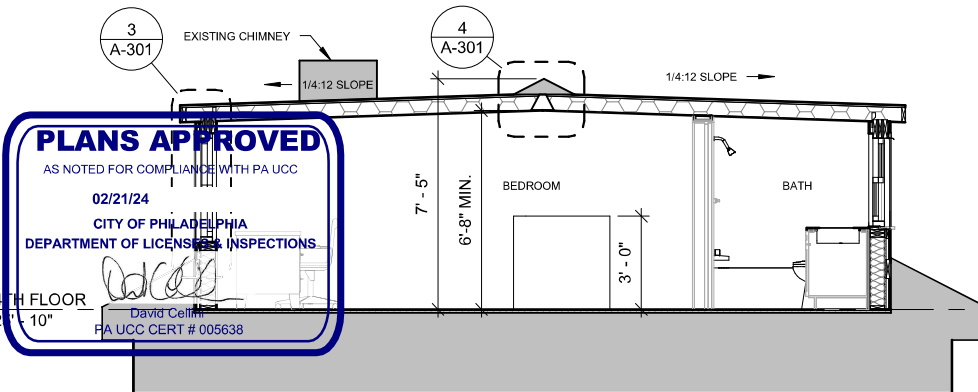
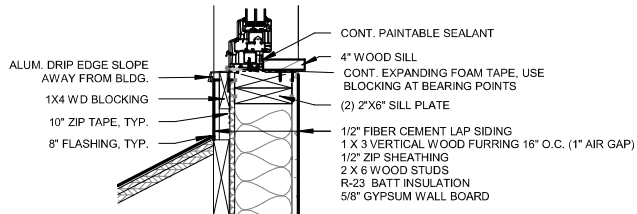


4 DETAIL @ ROOF RIDGE
1" = 1'-0"



5 DETAIL @ SIDE ROOF EDGE
1" = 1'-0"

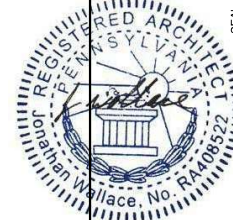
3 DETAIL @ EXTERIOR WALL
1" = 1'-0"



1 SECTION
1/4" = 1'-0"



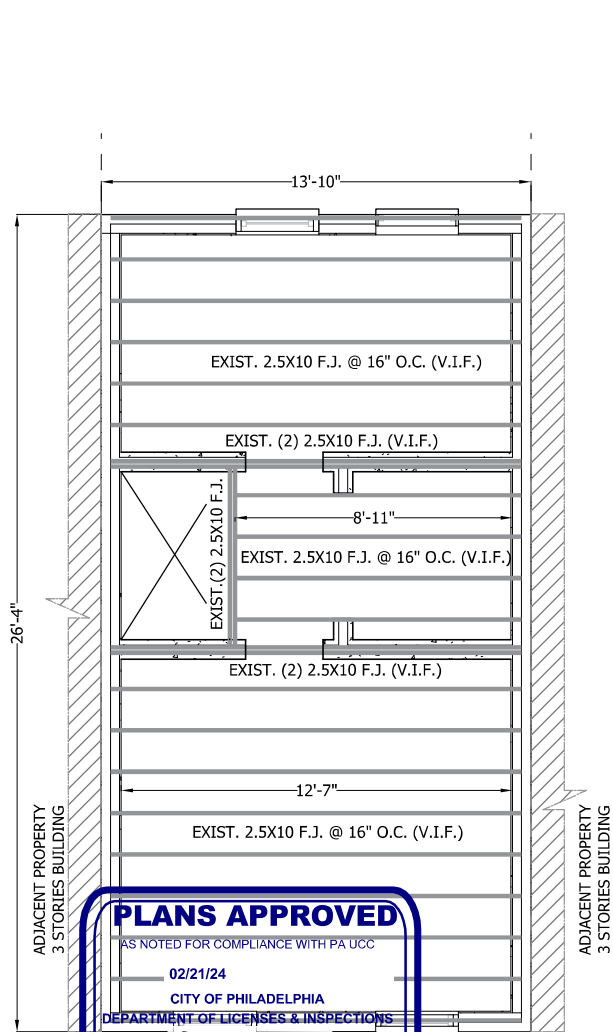
2 CROSS SECTION
1/4" = 1'-0"



A-301	SECTIONS
DANIELLE HARVEY	
252 QUINCE ST.	
PHILADELPHIA PA 19107	
12/20/2023	

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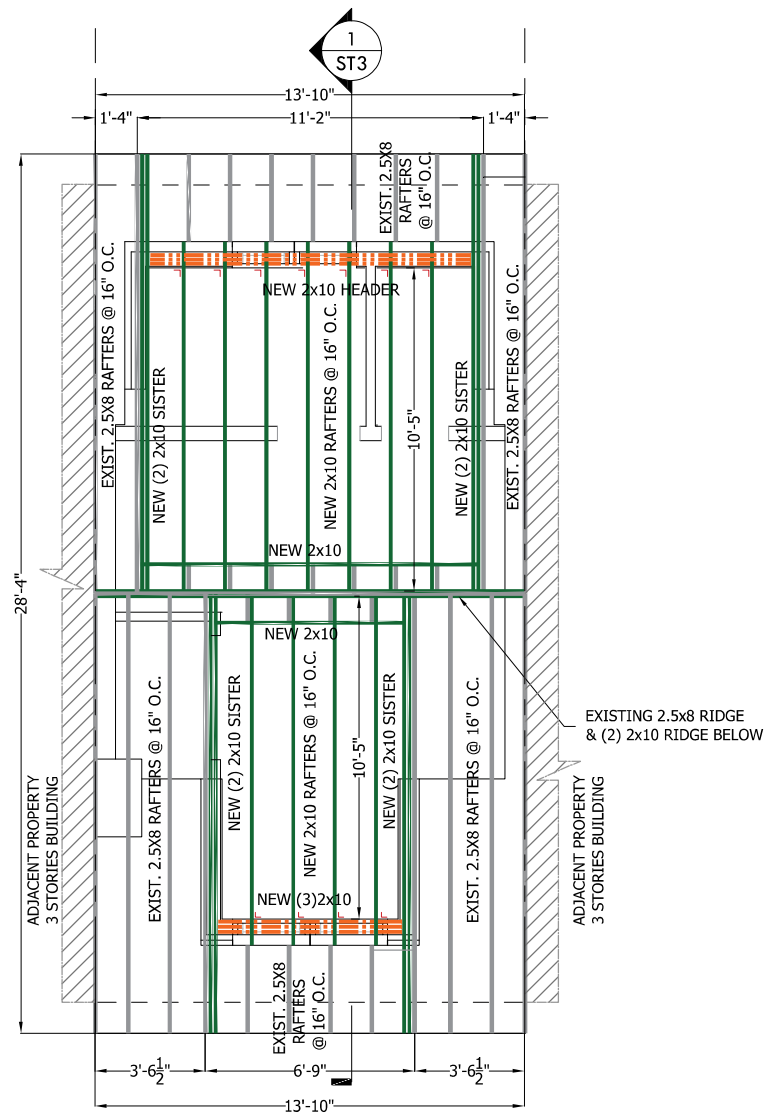


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QUINCE ST

1 THIRD FLOOR FRAMING PLAN
 ST2 SCALE: 1/4" = 1'-0"



QUINCE ST

2 ROOF FRAMING PLAN
 ST2 SCALE: 1/4" = 1'-0"

APPROVED
 January 31, 2024
 PHILADELPHIA
 HISTORICAL COMMISSION

LAURA DIPASQUALE
 LAURA DIPASQUALE

GLENWOOD ENGINEERING

 46 N 15th ST
 ALLENTOWN, PA 18103
 P 610.293.2203 & 610.293.4600
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 GLENWOOD@GLENWOODENG.COM

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 ENGINEER
 PENNSYLVANIA

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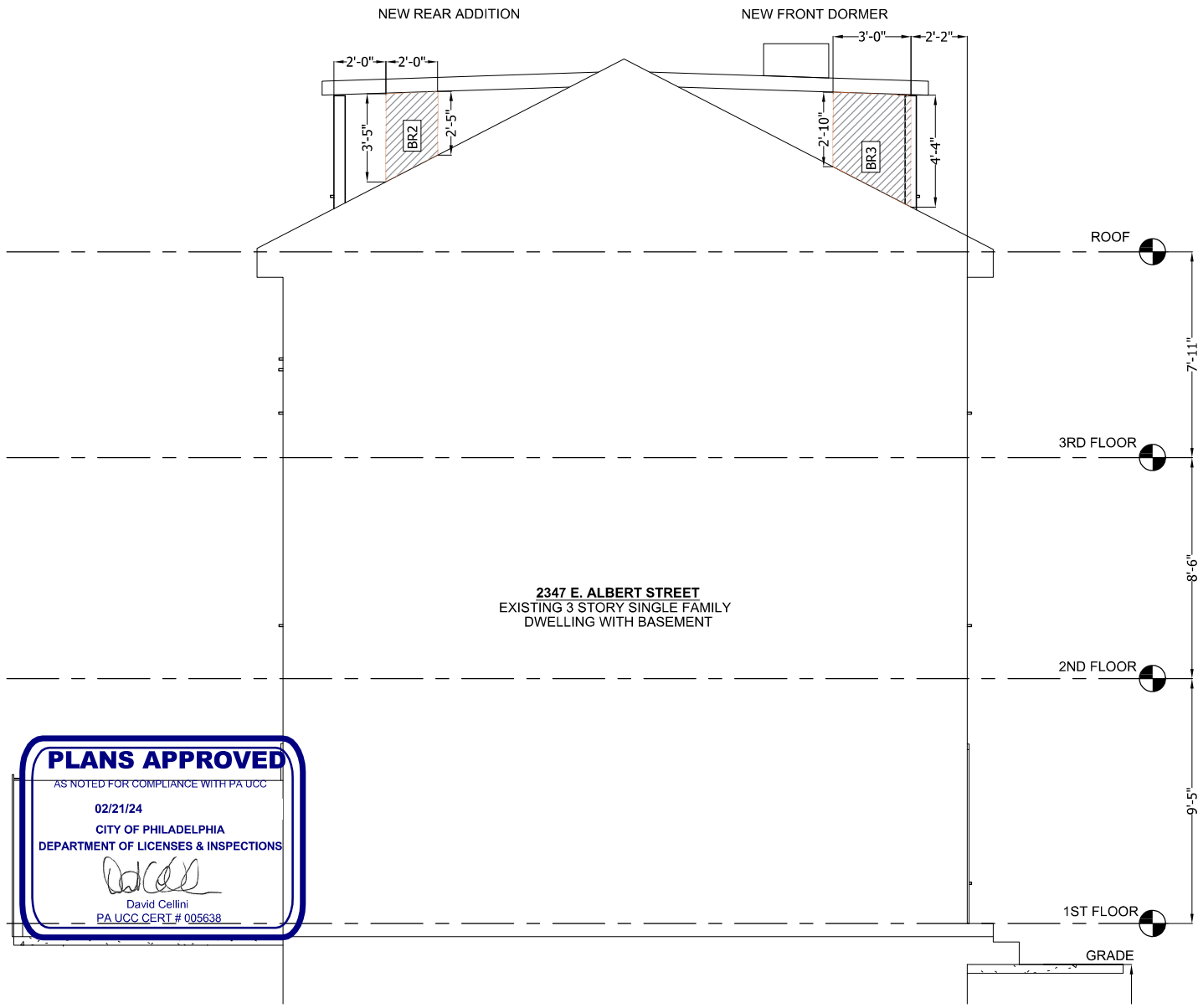
PROJECT LOCATION
 252 QUINCE ST.
 PHILADELPHIA, PA 19107

3-STORY SINGLE BUILDING ALTERATION PLAN

DRAWING TITLE
 FRAMING PLANS

DATE	DESCRIPTION

SCALE: AS NOTED
 DATE: 12/19/2023
 PROJECT NO. 4652023
 DRAWING NO.
ST-2
 SHEET NO.
 2 OF 7



PLANS APPROVED
 AS NOTED FOR COMPLIANCE WITH PA UCC
 02/21/24
 CITY OF PHILADELPHIA
 DEPARTMENT OF LICENSES & INSPECTIONS

 David Cellini
 PA UCC CERT # 005638

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 PHILADELPHIA
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LAURA DIPASQUALE
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1 RIGHT ELEVATION BRACED WALL PANELS
 ST4 SCALE: 1/4" = 1'-0"



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3-STORY SINGLE BUILDING ALTERATION PLAN

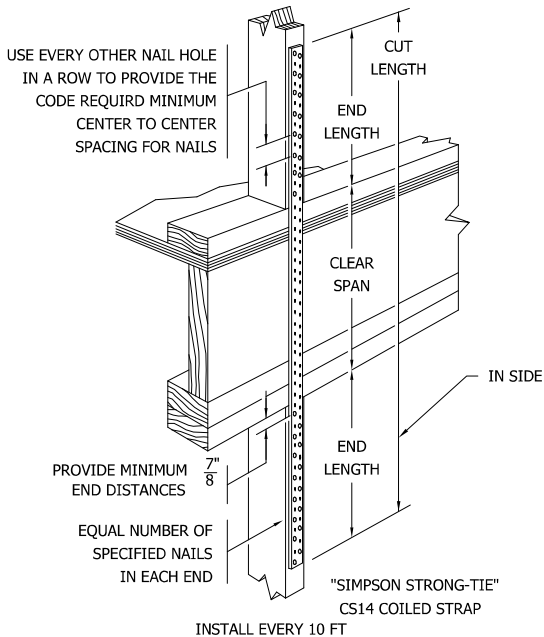
DRAWING TITLE
 WALL BRACING

DATE	DESCRIPTION

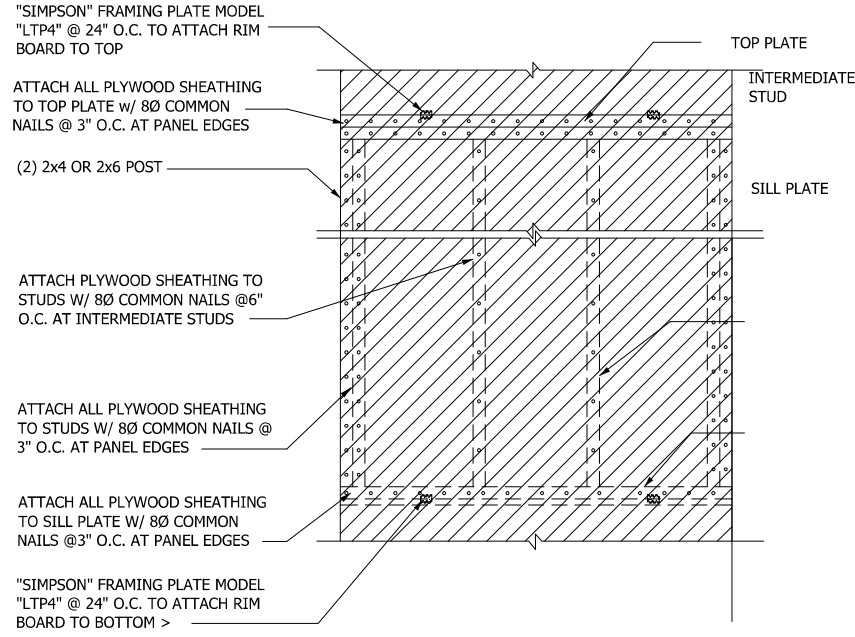
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 PROJECT NO.: 4652023
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ST-4

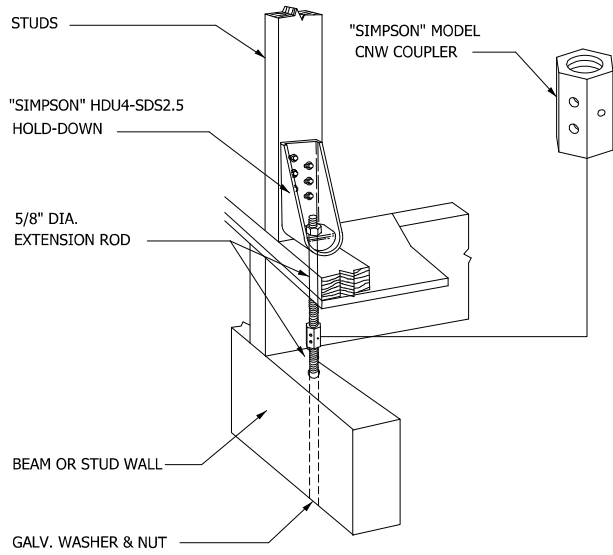
SHEET NO.
 4 OF 7



1
ST-6
DETAIL-"CS" STRAP INSTALLATION(EXTERIOR)
N.T.S.



2
ST-6
DETAIL-BRACED WALL PANEL
N.T.S.



3
ST-6
INSTALL EVERY 10 FT
DETAIL-HOLD-DOWN AT BEAM
N.T.S.



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 PA 19107

3-STORY SINGLE BUILDING ALTERATION PLAN

DRAWING TITLE
 DETAILS

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ST-6
 SHEET NO.
 6 OF 7

