

**ADDRESS: 11 SHURS LN**

Proposal: Demolish structures; construct mixed-use building

Review Requested: Final Approval

Owner: Boyding Smith

Applicant: Ryan Boland, Offit Kurman

History: C.O. Struse and Sons Coal Company

Individual Designation: None

District Designation: Main Street Manayunk Historic District, 12/14/1983

Staff Contact: Kim Chantry, kim.chantry@phila.gov

**OVERVIEW:** This application proposes to demolish the structures at 11 Shurs Lane and construct a four-story mixed-use building on the property. The existing structures, remnants of the former C.O. Struse and Sons Coal complex, lie on the northern edge of the Main Street Manayunk Historic District. This district was designated by City Council by ordinance in 1983, before the Historical Commission itself had the authority to create historic districts. The properties in the Main Street Manayunk Historic District are subject to the provisions set forth in Section PM-804 of the Property Maintenance Code, which provides a concise set of design review criteria for permit applications but does not directly address demolition. Supplementing the limited nature of the provisions in the Property Maintenance Code for the Main Street Manayunk Historic District, Section 18 of the Historical Commission's Rules and Regulations authorizes the Historical Commission to apply the provisions of the historic preservation ordinance, Section 14-1000 of the Philadelphia Code, to properties in the Main Street Manayunk Historic District, provided those provisions do not conflict with the Property Maintenance Code. In this instance, the Historical Commission should apply the demolition provisions and the review criteria for new construction in the historic preservation ordinance.

The Main Street Manayunk Historic District was designated without a nomination and inventory. The nomination and inventory for the Main Street Manayunk National Register Historic District have been traditionally used in place of the missing nomination and inventory. The National Register inventory classifies this site as contributing to the district, but the inventory listing (under the incorrect address of 111-113 Shurs Lane) describes buildings or parts of buildings which are largely gone from the site:

SHURS LANE - NORTH OF MAIN

- B. 111-113 Shurs Lane. Industrial building company. Struse & Sons. C. 1875; original structure 3 story rubble construction with gable roof; structure butts up against Pennsy Railroad line; 111 is a later addition, a handsome 2 story yellow brick structure with decorative quoining; segmentally arched window openings with splayed brick lintels and hipped roof.

A major fire at the site in 1959 resulted in a condemnation and subsequent demolition of parts of structures over the years. The Historical Commission's staff recommends that the Commission consider the property as non-contributing to the district, which will allow the staff to administratively approve the removal of the structures on the site.

The application includes architectural drawings, a structural engineering report, zoning plans, renderings, current photographs of the property, and the entire application that was reviewed earlier in 2024 and approved by the Historical Commission for the adjacent property at 4045-61 Main Street. See Supplemental file for zoning plans and 4045-61 Main St. application.

The proposed building would be four stories tall and include 42 residential units, 37 parking spaces on the ground floor, and first-floor commercial space with entrance on Shurs Lane. While the drawings call out retention of the existing stone wall fronting Shurs Lane and incorporation of it into the new facade, a structural engineer has recently said this is not feasible, and that the structure including front wall must be taken down. The applicant has offered to attempt to salvage and reuse the stone where possible on the new façade. This proposed building will be seen within the context of the recently approved seven-story new construction project proposed on the adjacent property at 4045-61 Main Street.

**SCOPE OF WORK:**

- Demolish structures on site.
- Construct four-story mixed-use building.

**STANDARDS FOR REVIEW:**

- *Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*
  - The materials, features, size, scale and proportion, and massing of the proposed building will be compatible with the historic district.

**STAFF RECOMMENDATION:** The staff recommends that the Historical Commission find that the property at 11 Shurs Lane is non-contributing to the Main Street Manayunk Historic District owing to the complete loss of historic character-defining features. The staff recommends approval, pursuant to Standard 9, because the proposed building is compatible in size, scale, materials, and massing with the historic district.

## IMAGES

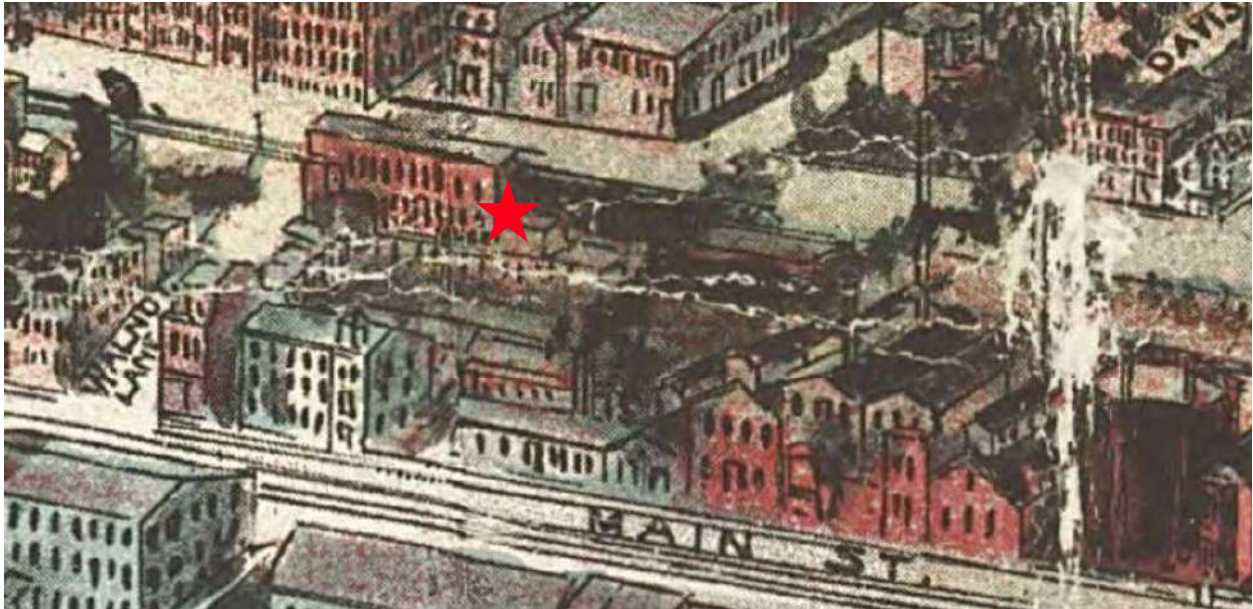


Figure 1. Thaddeus Mortimer Fowler, Detail showing the property at 11 Shurs Lane (labeled as Walnut Lane) from *Birds Eye View of Manayunk, Wissahickon-Roxborough from West Laurel Hill Cemetery, Philadelphia, Pennsylvania, 1907.*

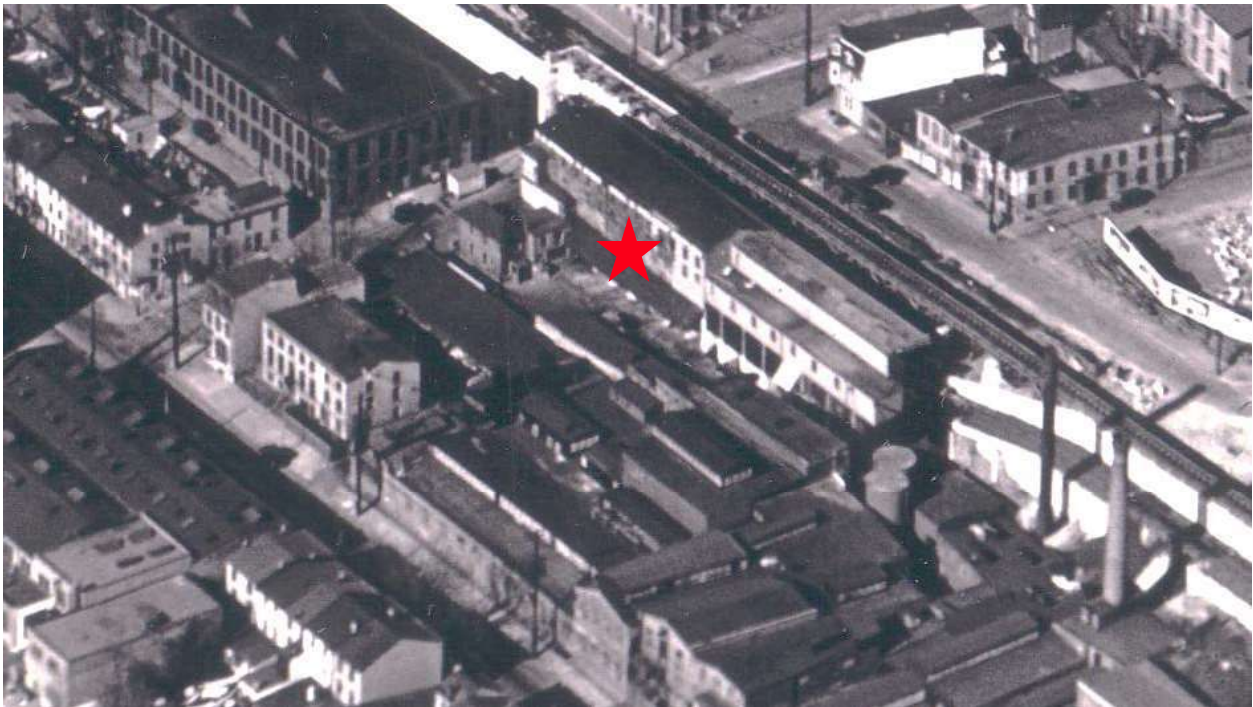


Figure 2. Photograph of the property and surrounding area, from *Dallin Aerial Surveys, October 28, 1929.*

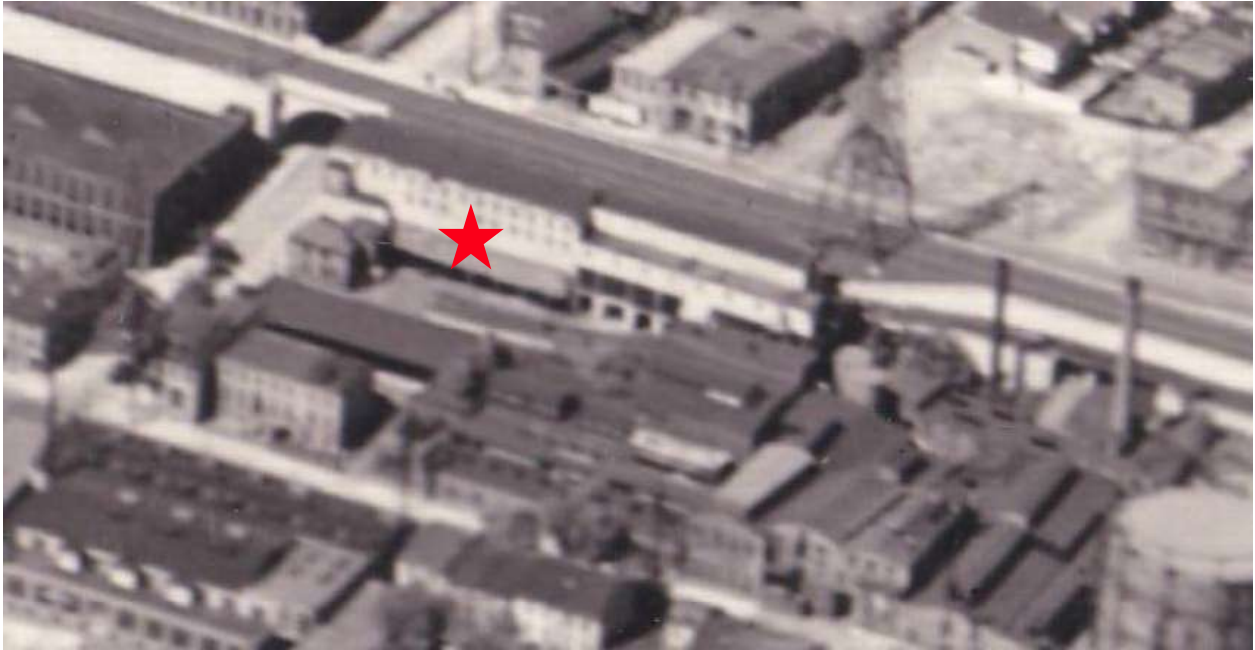


Figure 3. Photograph of the property and surrounding area, from Dallin Aerial Surveys, June 5, 1934.

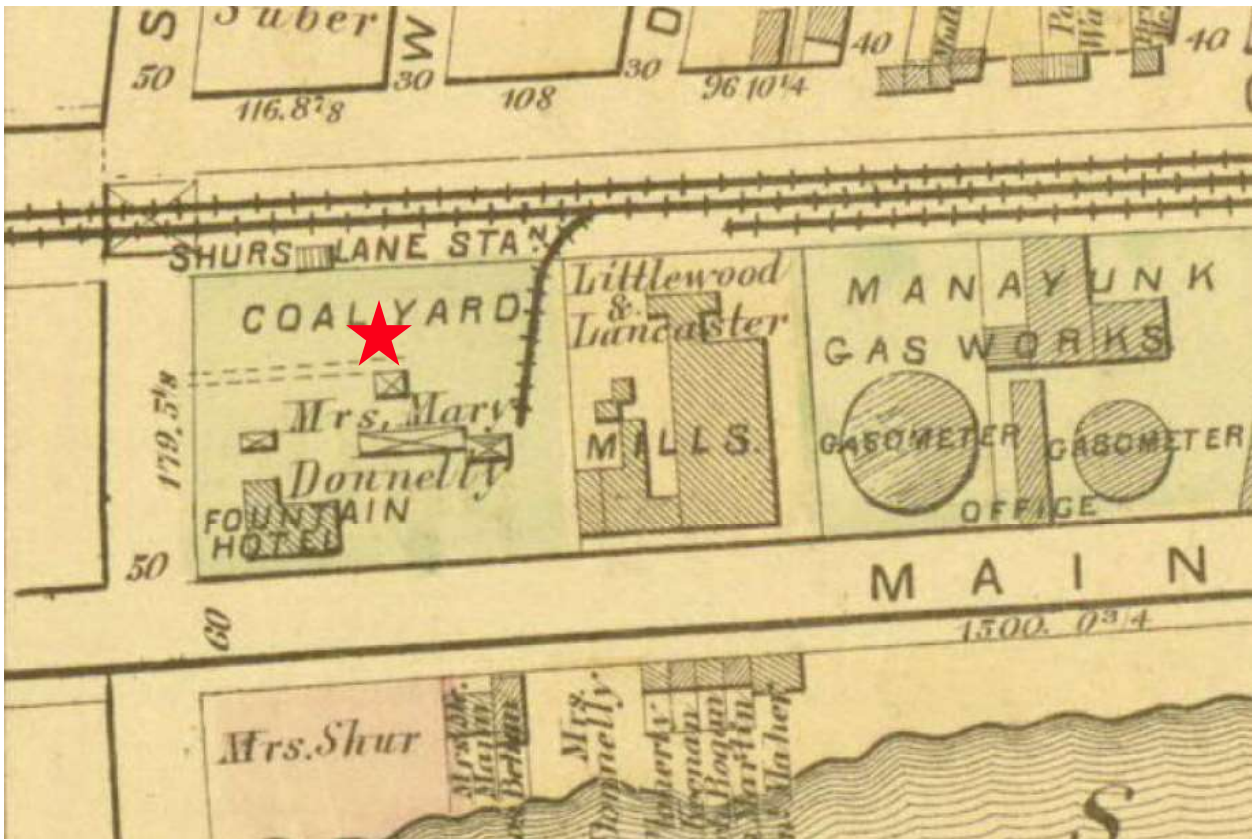


Figure 4. Hopkins Atlas of Philadelphia, 1875.

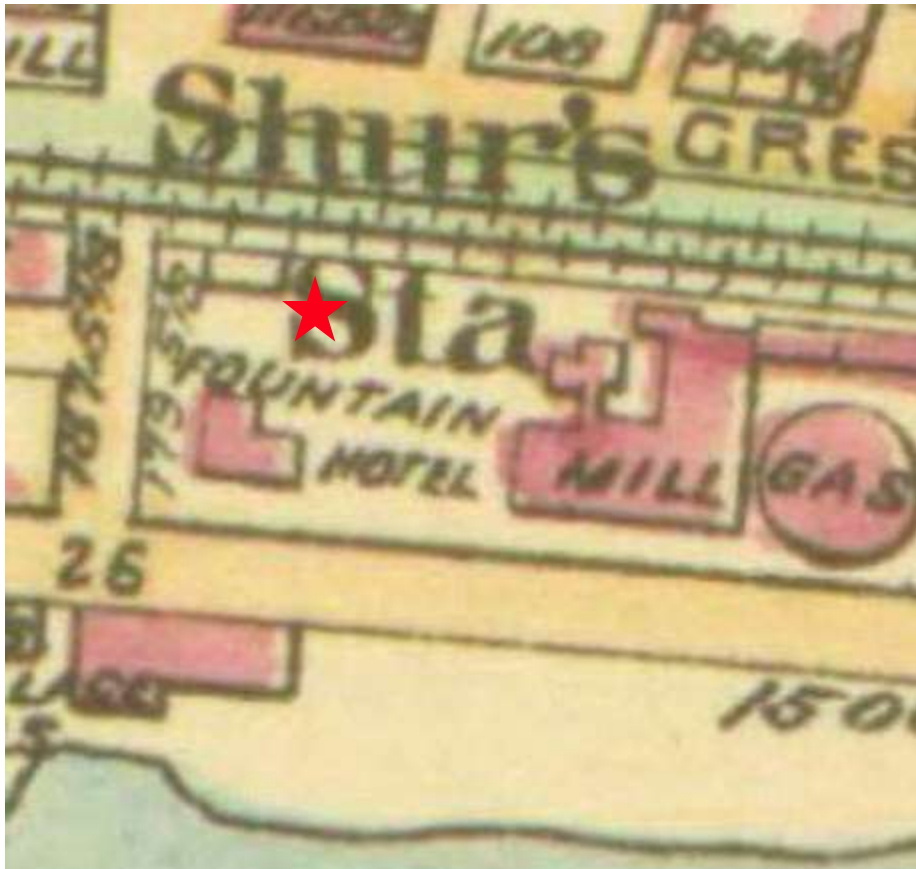


Figure 5. Baist Atlas of Northwest Philadelphia, 1893.

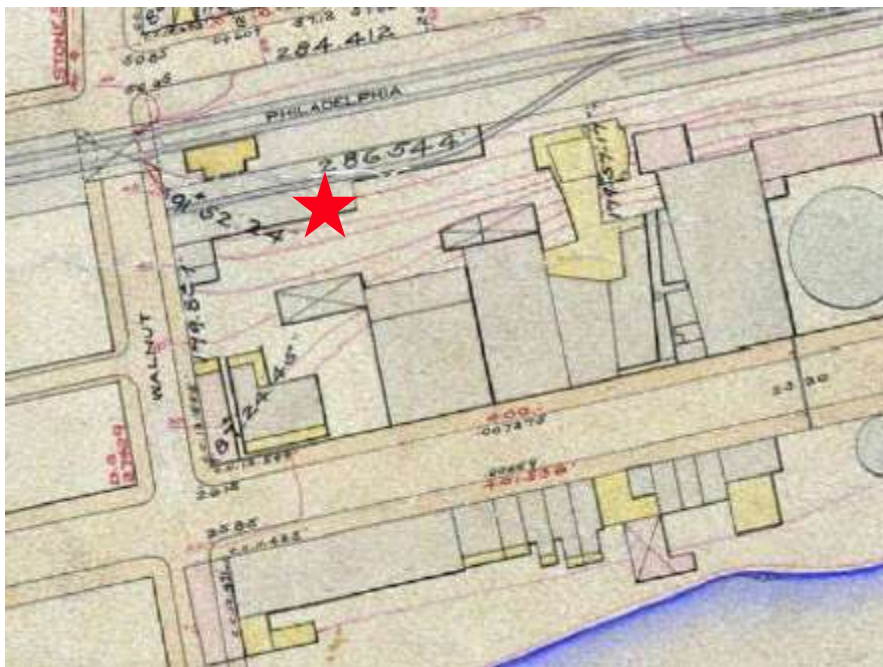


Figure 6. Plan of the 21<sup>st</sup> Ward, 1898.

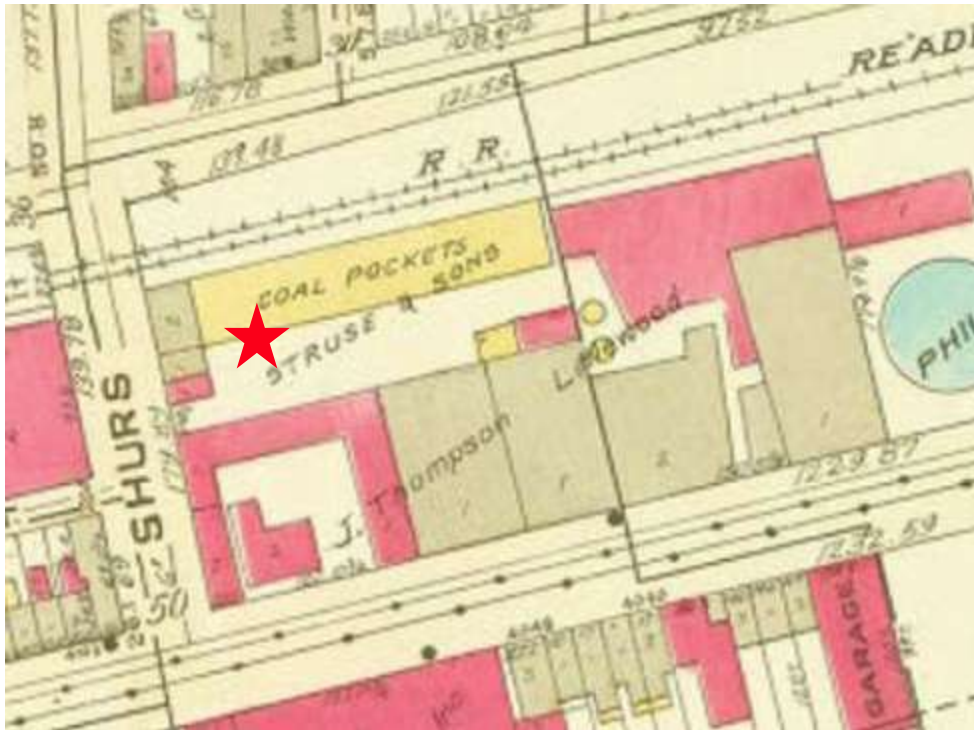


Figure 7. Kluge Atlas of the 21<sup>st</sup> Ward, 1929, updated 1945.

**COALYARD BURNS**

Earlier, - a three-alarm fire raged through a Manayunk coal-yard, blanketing the area with a pall of dense black smoke and blocking traffic for more than an hour.

The fire which began at the C. O. Struse and Sons Co. at 4:17 P. M. destroyed a frame structure and damaged portions of 15 coal silos. Large quantities of lime and cement were ruined by water.

Detours were set up on Main st. at the height of the blaze.

Figure 8. The Philadelphia Inquirer, September 14, 1959.

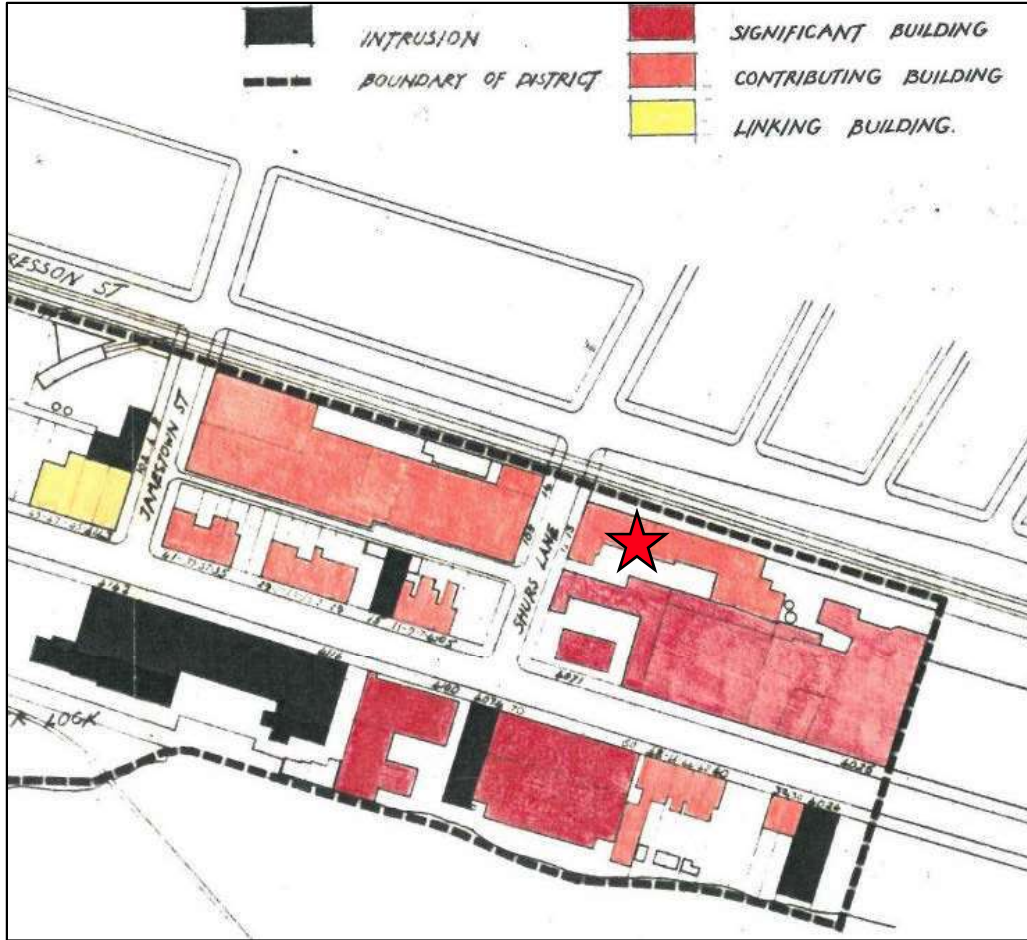


Figure 9. Map from Main Street Manayunk Historic District National Register nomination.



Figure 10. 11 Shurs Lane, 1982. Source: PHC.



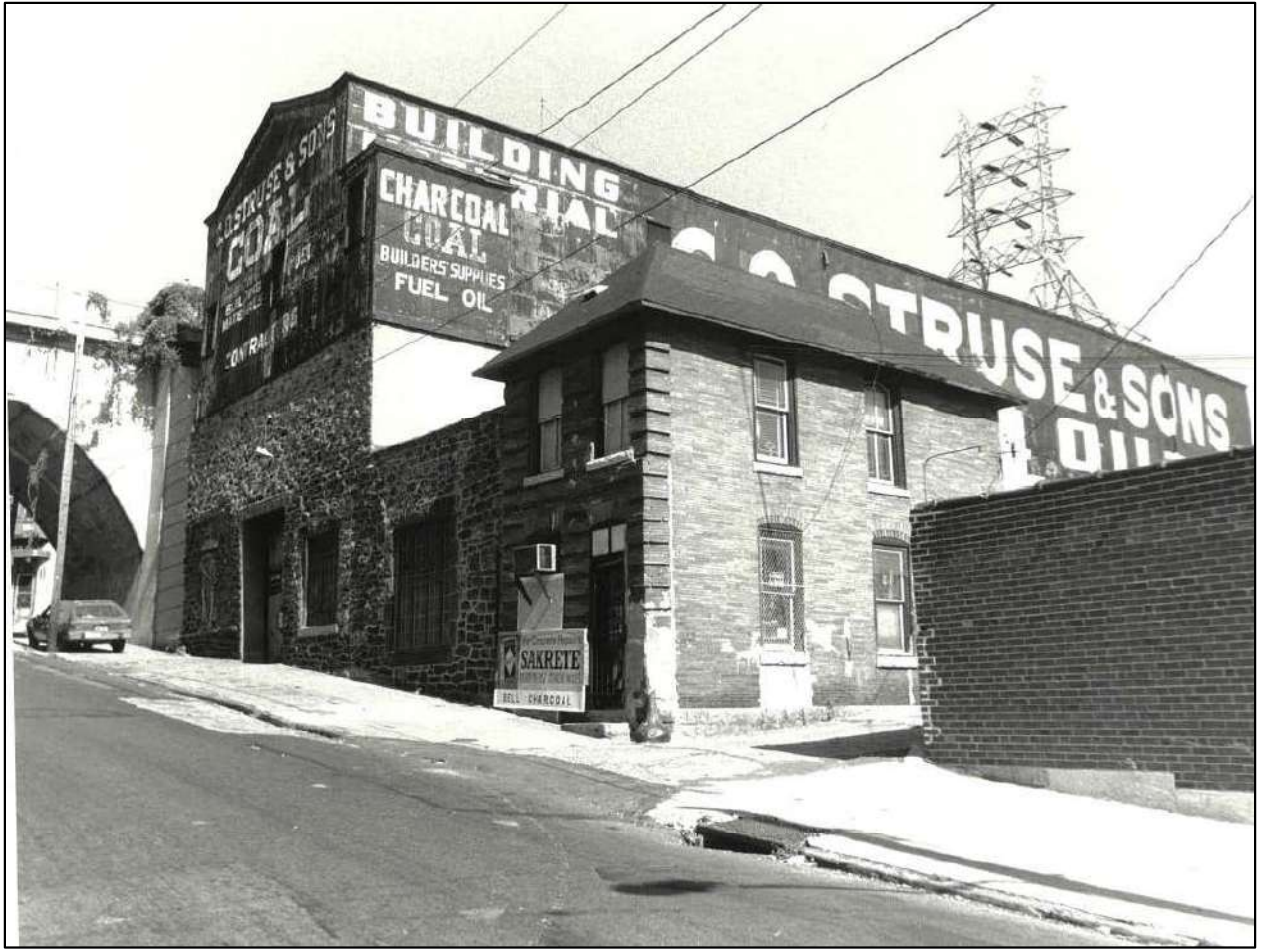


Figure 11. 11 Shurs Lane, 1982. Source: PHC.

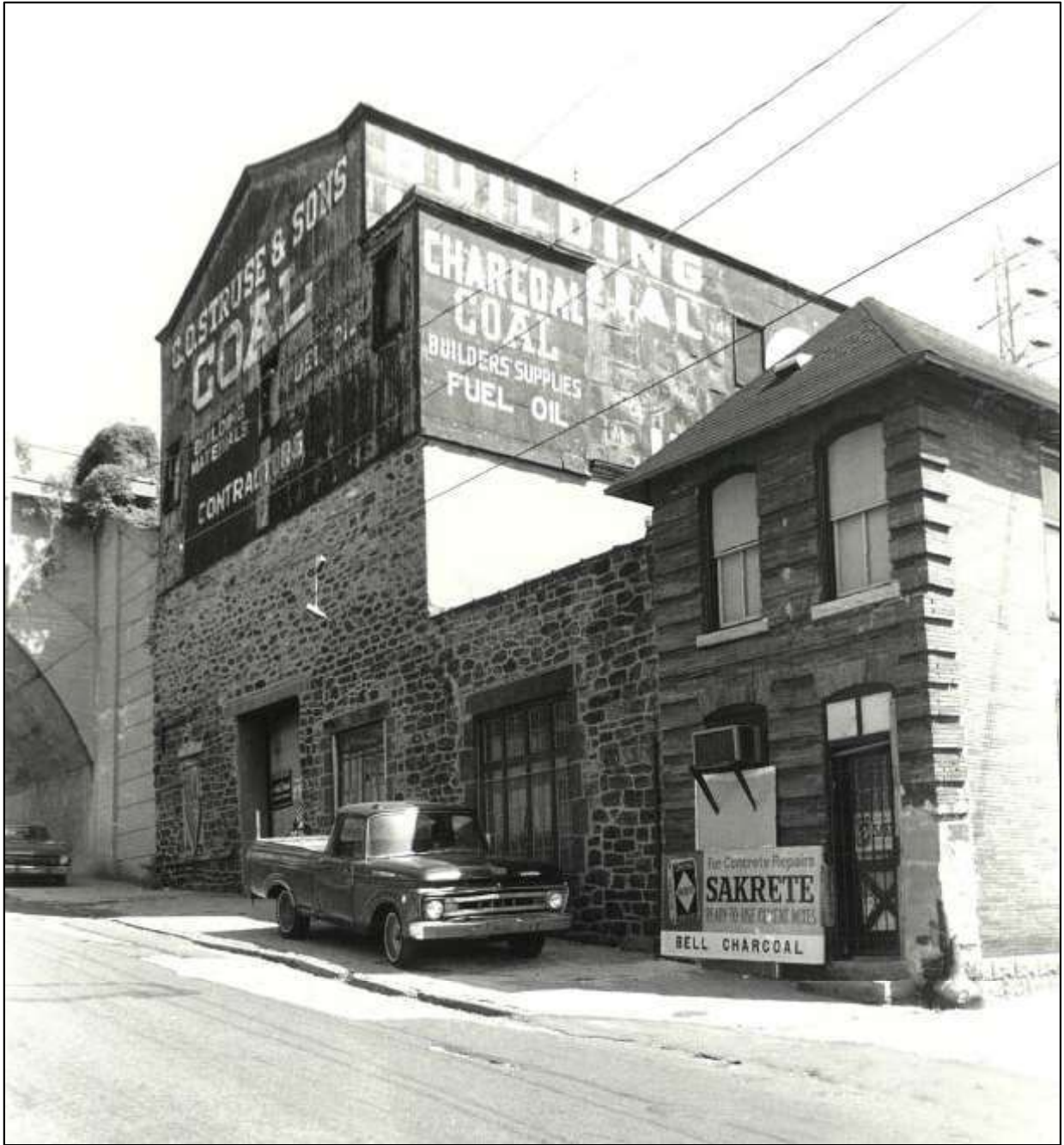


Figure 12. 11 Shurs Lane, 1982. Source: PHC.



Figure 13. March 2024 aerial imagery of 11 Shurs Lane. Source: Pictometry.



designblendz

Ryan N. Boland  
267.338.1312 (Direct Dial)  
267.338.1335 (Facsimile)  
RBoland@offitkurman.com

October 7, 2024

**Via Email Only – Preservation@phila.gov**

John E. Farnham, Ph.D.  
Executive Director  
Philadelphia Historical Commission  
1515 Arch Street, 13<sup>th</sup> Floor  
Philadelphia, PA 19102

**Re: 11 Shurs Lane, Philadelphia, PA  
Demolition of Structure**

Dear Dr. Farnham:

I represent Shurs Lane Lofts, LP (the “Applicant”), who just purchased 11 Shurs Lane, Philadelphia, Pennsylvania. We are writing to request the Philadelphia Historical Commission’s (the “Commission”) review in connection with our proposed demolition of the small remaining portion of a deteriorated and collapsing structure that was damaged by a fire in 1959. By decision of the Zoning Board of Adjustment dated August 15, 2024, the Applicant obtained a variance to construct a four-story mixed-use building, with commercial space on the first-floor front of the building, 37 parking ground floor spaces, and 42 dwelling units on the second through fourth floors. A copy of the zoning plans and 3D renderings of the project are attached. The focus of the design of this new project was to incorporate the existing building façade along Shurs Lane into the new design. As explained below, the Applicant’s structural engineer has opined that the existing façade (which is being kept from falling with steel bracing and traditional star bolts), is structurally unsafe and must be taken down then. Thus, this application is being filed seeking permission to demolish the existing remnants of the building and façade, with the promise best efforts will be made to reuse the existing materials or that the existing materials will be matched for a reconstructed façade. Applicant’s goal is to maintain the appearance of the existing façade and to incorporate it into the project.

As a matter of background, this property was historically used as a coal yard, which had access to the adjacent elevated railroad tracks via an elevated spur. A 1910 map of 11 Shurs Lane (attached and screenshot below), shows that back in 1910, there used to be a shallow L-shaped building along the front portion of 11 Shurs Lane, where the majority of the building ran along side the rear northeastern side of the property adjacent to the railroad tracks. As evidenced by the attached Philadelphia Inquirer article dated Monday, September 14, 1959, a three-alarm

fire “destroyed a frame structure and damaged large portion of 15 coal silos.” A comparison of current aerial photographs to the 1910 map (attached and depicted below) shows that the entire yellow structure along side the railroad tracks, with the exception of a façade and a narrow frontage along 11 Shurs Lane, is all that stands post-fire. There also remains a newer construction building behind the rear façade of 11 Shurs that the attached photographs demonstrate was damaged by fire and has structural damage.

On July 15, 2014, structural engineer Salvatore Di Genova issued a stamped report, which was based upon his site inspection, concluding that:

[B]oth the façade wall and the remaining building are in poor structural condition and cannot be salvaged or repaired as they are in their current state. It will be a very unsafe condition to try and re-use any of these structures, and structurally not feasible to incorporate them into the future new development planned at this location in their current state. We recommend that these existing structures be razed/torn down in their entirety.

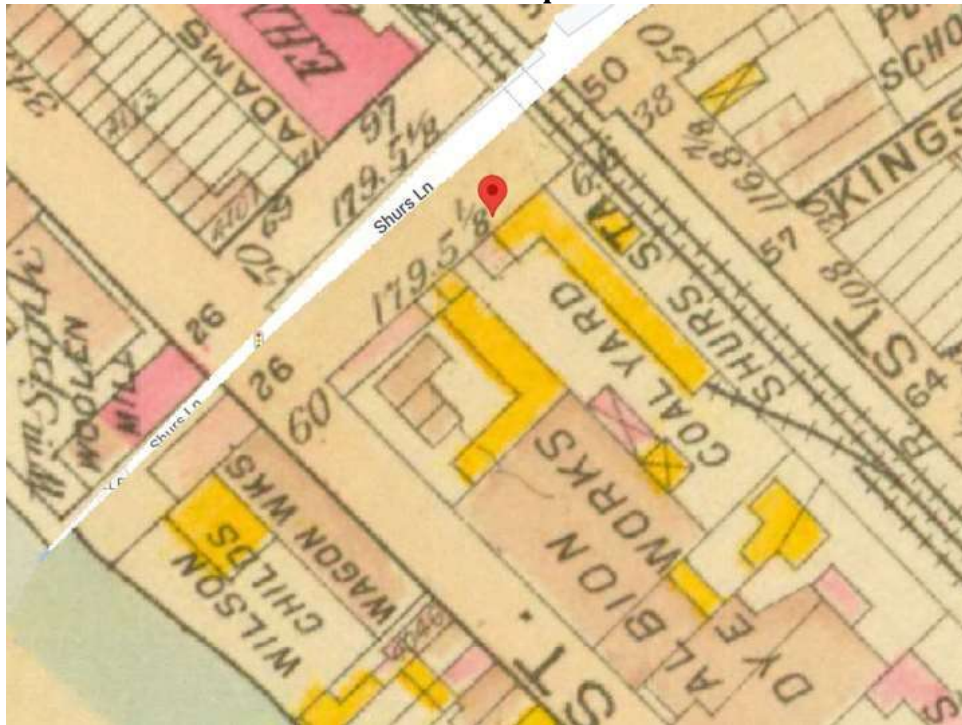
After razing the façade wall and building, we will perform an additional evaluation and best efforts will be made to try to re-use the materials, stones, etc. And incorporate them into the new planned construction. Upon evaluation, if these materials cannot be re-used, new materials will be used to match the previous appearance.

Photographs of the property, taken by Ryan N. Boland, Esq. on Tuesday, October 1, 2024 are attached. The photographs demonstrate the existing conditions of the property, which has a long-abandoned structure and parking lot. There is no longer any existing portion of the L-structure that originally existed along the railroad tracks, other than a free-standing façade along the portion of Shurs Lane and stone wall footings. In the northeastern corner of the property, directly behind the 11 Shurs Lane façade that connects to the railroad tracks, it is filled with dense vegetation and trees. Photographs of the backside of that front façade show that the façade has no mortar between the rear of the stones and is held up with the traditional supporting star bolt supports and steel bracing (although it is difficult to visualize the rear of the façade through all of the branches). Photographs also show that there is a newer structure built behind the original 11 Shurs Façade, which sustained fire damage and shows significant exterior cracking in the façade. I was told by the structural engineer, Mr. Di Genova, it was not safe for me to enter any of the structures to take interior photographs, so the photographs are limited to the exterior areas that could be safely accessed.

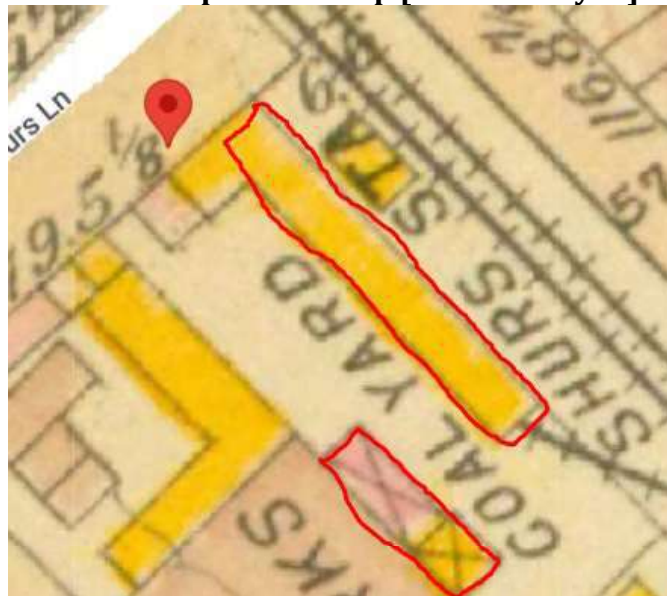
As the Commission is aware, in approximately July of 2024, the Historical Commission approved the demolition of a historic mill complex adjacent to this property, which is located at 4045-61 Main Street, and the construction of a seven-story tall building with 162 residential

units and 160 parking spaces. That presentation is attached for background and additional imagery of the site and adjacent structures that surround the site.

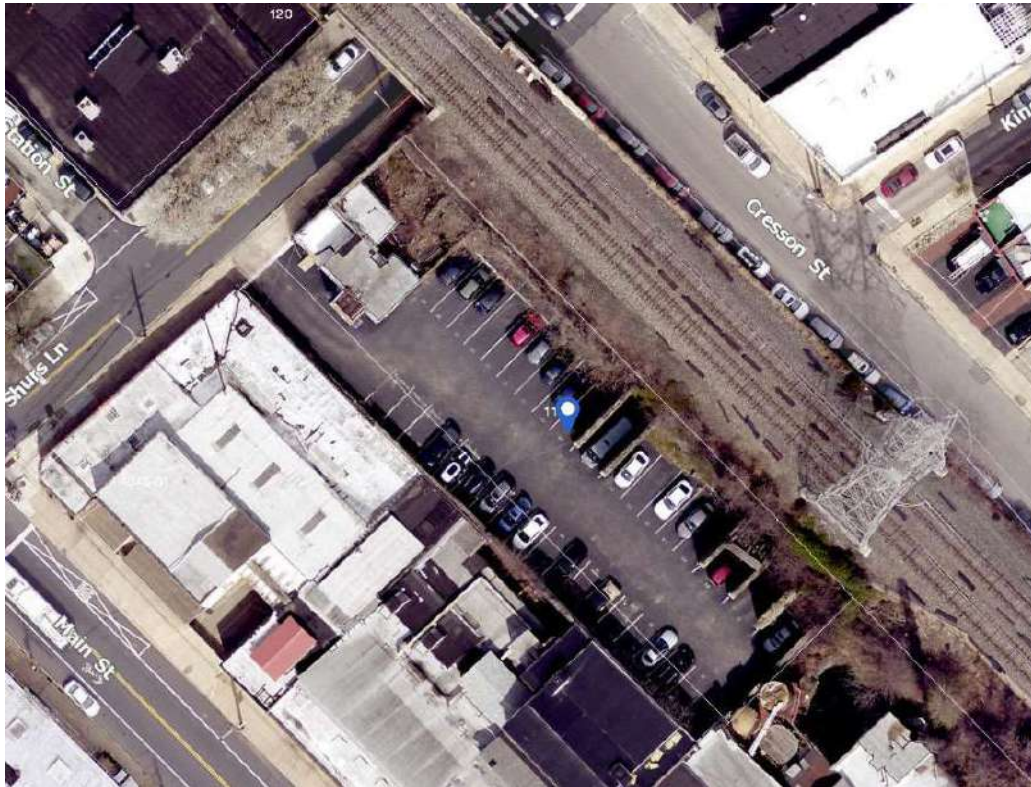
**1910 Map**



**1910 Map Marked-Up [Red Destroyed]**



**Current Aerial Photos from Atlas**



**4045-61 Main Street and 11 Shurs Lane Existing Conditions**





**Additional Information**

**Property Owner/Applicant:** Shurs Lane Lofts, LP – Attn: Andrew Langsam, 6600 Ridge Avenue, Suite 200, Philadelphia, PA, 19128. Email: [A.Langsam@gmail.com](mailto:A.Langsam@gmail.com). Phone: 267-33-6079

**Counsel for Property Owner:** Ryan N. Boland, Esq., Offit Kurman, P.C., 1801 Market Street, Suite 2300, Philadelphia, PA 19103. Email: [RBoland@offitkurman.com](mailto:RBoland@offitkurman.com). Phone: 267-338-1312

**List of Enclosures**

1. July 15, 2024 structural engineering report of Salvatore Di Genova
2. Zoning plans submitted to zoning board (existing conditions, site plan, and elevations/turning)
3. 3D renderings demonstrating materials
4. 1910 map (provided by Commission)
5. 1959 Philadelphia Inquirer newspaper clipping (provided by Commission)
6. October 1, 2024 photographs of existing site conditions
7. Zoning board of adjustment presentation photographs (see Supplemental file)
8. July 2024 Staff Recommendation for 4045-61 Main Street (with presentation) (see Supplemental file)

**Conclusion**

Please contact me if you have any questions or need any additional information, and I will promptly obtain answers to the questions from our team of professionals. Thank you for your time and consideration

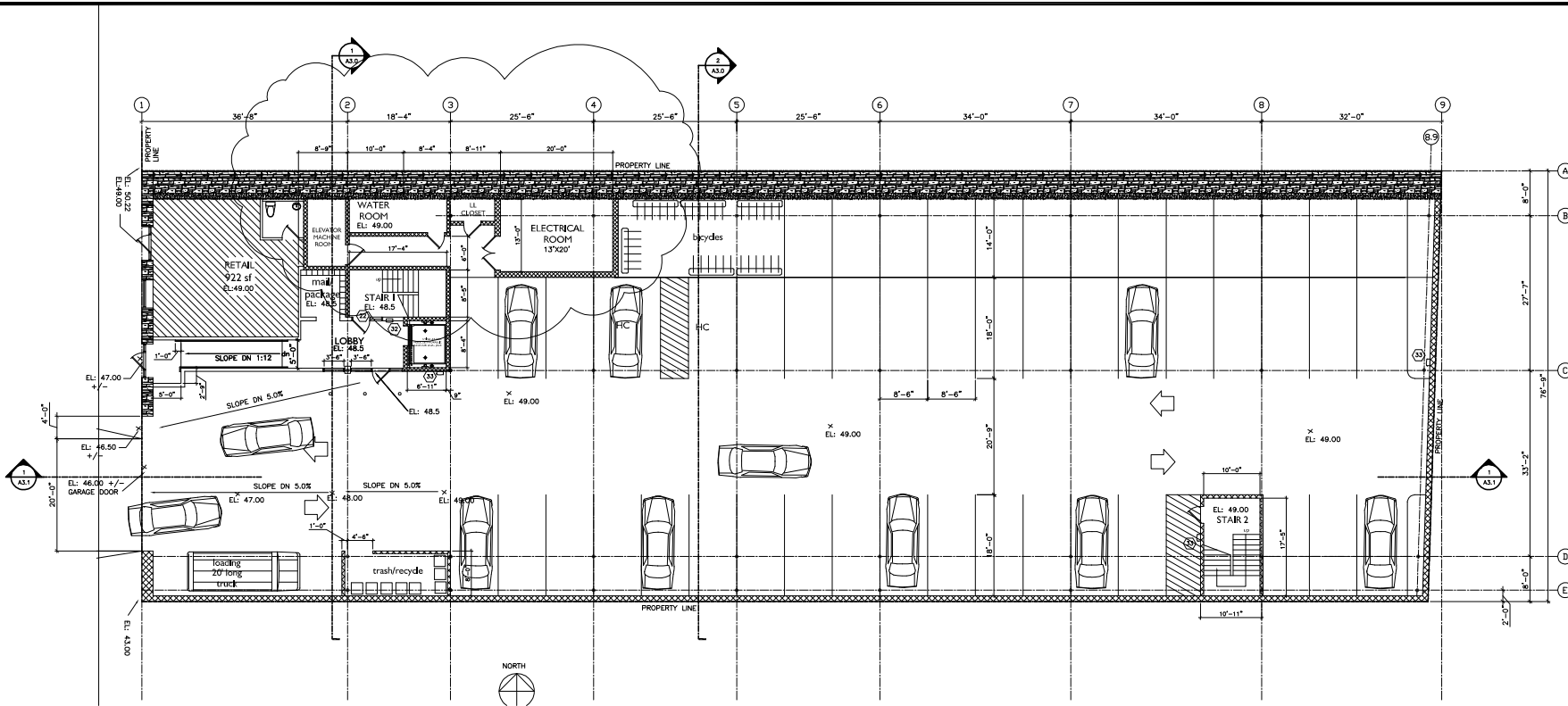
Respectfully submitted,



RYAN N. BOLAND

RNB  
Enclosures

4878-7688-4461, v. 1-



GROUND FLOOR PLAN  
SCALE: 1/8"=1'-0"

**GENERAL NOTES**

- WHEN CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTED ON PLANS, WHETHER IN CONTRACT OR NOT IN CONTRACT, HE SHALL BE RESPONSIBLE FOR LOSS AND/OR DAMAGE TO THESE ITEMS.
- THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE DURATION OF THE WORK ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- DURING ALL PHASES OF WORK, DO NOT DISTURB THE DELINEARIES AND FUNCTIONS OF ADJACENT TENANTS AND NEIGHBORS.
- "TYP." SHALL MEAN THAT THE CONDITIONS IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYS AND NOTED "TYP." ONLY ONCE, WHEN THEY FIRST OCCUR.
- "SM" SHALL MEAN COMPATIBLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
- PROVIDE PORTABLE FIRE EXTINGUISHERS WITH UL LABEL AND A RATING OF NOT LESS THAN 2A HAZARD WITH 7.5 FT. TRAIL DISTANCE TO ALL POSTING OR STORE OR AS DIRECTED BY THE FIRE DEPARTMENT FIELD INSPECTOR.
- PROVIDE NON-COMBUSTIBLE BLOCKING AND/OR SUPPORT FRAMING TO ASSURE A COMPLETE INSTALLATION OF FINISHES, TRIM AND MILLWORK AS INDICATED IN THE DOCUMENTS REQUIRED BY THE OWNER, PRODUCT MANUFACTURERS AND AS REQUIRED FOR PROPER INSTALLATION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE ENTIRE PROJECT TO CONTRACT COMPLETION DATE INCLUDING THE SCHEDULING AND SUPERVISION OF OWNER AND OWNER'S VENDOR SUPPLIED ITEMS.
- ALL EXTERIOR CONCRETE SHALL RECEIVE MEDIUM BROOM FINISH AND SHALL HAVE A CROSS SLOPE OF 2% AWAY FROM THE BUILDING.
- REFER TO DRAWINGS A4.0 - A4.17 FOR LARGE SCALE UNIT PLANS.
- ALL APARTMENT DOORS TO BE (1) HOUR FIRE RATED, 3'-0" x 7'-0" WOOD VENEER DOORS IN 1 1/2" FRAMES W/ CLOSERS AND SMOKE SEALS. PROVIDE PEEP HOLE. ALL HARDWARE TO BE ADA / AND COMPLIANT.

**LEGEND**

- REFER TO KEY NOTES
- DENOTES SECTION/ELEVATION REFERENCE MARK
- DENOTES FLOOR/GRADE ELEVATION
- REVISION
- ALIGN ADJACENT WALLS

**WALL TYPES**

- WALL TYPE A - INTERIOR PARTITION WALL**  
2 1/2" WOOD STUDS @ 16" O/C W/ (1) LAYER 5/8" TYP. "C" GYP. BD. EACH SIDE. RUN WALL TO DECK ABOVE.
- WALL TYPE B - INTERIOR TENANT SEPARATION WALL**  
2 1/2" WOOD STUDS @ 16" O/C W/ (1) LAYER 5/8" TYP. "C" GYP. BD. INSTALLED OVER 20 GA INSULATED CHANNELS EACH SIDE. RUN TO DECK ABOVE. PROVIDE ACOUSTIC BATT INSULATION IN CAVITY. UL LISTED ONE HOUR FIRE RATED WALL
- WALL TYPE C - INTERIOR PARTITION**  
2 1/2" WOOD STUDS @ 16" O/C W/ (1) LAYER 5/8" TYP. "C" GYP. BD. EACH SIDE. RUN TO DECK ABOVE. PROVIDE ACOUSTIC BATT INSULATION IN CAVITY.
- WALL TYPE D - INTERIOR PARTITION**  
2 1/2" WOOD STUDS @ 16" O/C W/ (2) LAYER 5/8" TYP. "C" GYP. BD. EACH SIDE. RUN TO DECK ABOVE. PROVIDE ACOUSTIC BATT INSULATION IN CAVITY. UL LISTED TWO HOUR FIRE RATED WALL
- WALL TYPE E - WALL**  
CMU WALL - 2 HOUR FIRE RATED. SEE STRUCTURAL FOR ADD. INFO. PAINTED FINISH UL LISTED 1 1/2 HOUR

- NOTE:  
1. USE WATER RESISTIVE GYP BD AT ALL TOILET ROOM WALLS.  
2. TOILET ROOM WALLS SHALL RUN FULL HEIGHT TO BOTTOM OF METAL DECK ABOVE.  
3. ALL PARTITIONS SHALL RECEIVE ACOUSTIC INSULATION.

**KEY NOTES**

- ADA COMPLIANT ST. DECK DRAIN TO APPROVED DRAINAGE SYSTEM. SEE PLUMBING DRAWINGS.
- NEW REINFORCED CONCRETE RETAINING WALL. COORDINATE WITH STRUCTURAL DRAWINGS.
- CONTROL JOINTS. SEE STRUCTURAL.
- ROOF DRAIN PIPES. SEE PLUMBING DRAWINGS. PROVIDE THERMAL INSULATION.
- CONCRETE SLAB W/ MEDIUM BROOM FINISH. SEE STRUCTURAL DRAWINGS FOR REINFORCING & CONTROL JOINTS. SLOPE 2%.
- FABRICATED ALUMINUM HANGING SYSTEM W/ DOWNGUTS. INTERIOR GUTTER SYSTEM TO BE CONNECTED TO UNDERGROUND STORM DRAINAGE SYSTEM COORDINATE WITH CIVIL DWGS.
- PROVIDE R-20 THERMAL INSULATION ABOVE AND BELOW WINDOWS. RUN FULL HEIGHT TO BOTTOM OF DECK ABOVE. TYPICAL FOR ALL WINDOWS.
- TR-FAE 451-T THERMALLY BROKEN WINDOW SYSTEM W/ 1" INSULATED, TINTED GLASS.
- TYPICAL EXTERIOR WALL: (ONE HOUR FIRE RATED UL USE.) 2 1/2" WOOD STUDS @ 16" O/C W/ 8'-21" BATT INSULATION AND (1) LAYER 5/8" TYP. "C" GYP. BD. INTERIOR FACE. (1) LAYER 1/2" GYP. SHEATHING AT EXTERIOR FACE OVER CLAD W/ AP & WATER MEMBRANE SYSTEM & CEMENT BOARD SOING SYSTEM (VIBRO BOARD) SEE DETAIL A/4.21
- DOWN SPOUT LOCATIONS (FROM GUTTER ABOVE) CONNECT TO APPROVED UNDERGROUND DRAINAGE SYSTEM. COORDINATE WITH CIVIL ENGINEERING DRAWINGS PROVIDE 3" DIA HEAVY WALL ALUM PIPE W/ FRAME SOO FINISH.
- CONCRETE CURB LOCATION SEE BUILDING SECTIONS AND STRUCTURAL FOR ADDITIONAL INFORMATION.
- CMU WALL COORDINATE WITH STRUCTURAL DRAWINGS.
- REINFORCED CONCRETE WALL COORDINATE WITH STRUCTURAL DRAWINGS.
- ROOF DRAIN PIPES (FROM ROOF DRAIN ABOVE) CONNECT TO APPROVED UNDERGROUND DRAINAGE SYSTEM. COORDINATE WITH CIVIL ENGINEERING DRAWINGS.
- CONCRETE RAMP W/ MEDIUM BROOM FINISH. SEE STRUCTURAL DRAWINGS FOR REINFORCING & CONTROL JOINTS. SLOPE 1 1/2% MAX.
- PROVIDE (N) ADA-COMPLIANT THERMALLY BROKEN STOREFRONT EXTERIOR DOOR (3'-0" WIDE X 7'-0" HIGH). FINISH TO MATCH STOREFRONT WINDOW SYSTEM. PROVIDE BUILDING STANDARD ADA-COMPLIANT DOOR PUSH/BULL HEADWORKING, 2-PART BUTTS, SLIDERS, CLOSERS, WEATHERPROOF SEALS/GASKETS AND ADA-COMPLIANT THRESHOLD. C.C. TO COORDINATE ALL KEYS AND LOCKING REQUIREMENTS WITH OWNER. PROVIDE ELECTRIC STRIKE AS REQUIRED.
- WOOD FRAME WALL 2 1/2" WOOD STUDS COVER WITH 1/2" FT PLYWOOD AND CEMENT 1/2" CEMENT FIBER BOARD SOING. UL LISTED (1) HOUR FIRE RATED WALL ASSEMBLY.
- BICYCLE PARKING FOR 12 (SEE CIVIL DRAWINGS)
- NON-SLIP, FIBERGLASS WATERPROOFING SYSTEM OVER 8" FT PLYWOOD SUB FLOOR. TYPICAL FOR ALL BALCONIES COLOR TBD.
- CONCRETE STAIR W/ MEDIUM BROOM FINISH. SEE STRUCTURAL DRAWINGS FOR REINFORCING & CONTROL JOINTS. SLOPE 2% 7" MAX RISER, 11" TREAD.
- 1.5" O.D. STD. STEEL PIPE. WELDED HORIZONTAL, ADA & ANSI COMPLIANT, PRIME & PAINT.
- 60 MIN FIRE RATED IM DOOR AND FRAME, WITH CLOSER & ADA COMPLIANT LOCK SET. PROVIDE GASKETS, 3" X 6"-8"
- 60 MIN FIRE RATED IM DOOR AND FRAME, WITH CLOSER & ADA COMPLIANT PANIC DEVICE. PROVIDE GASKETS AND THRESHOLD. 3'X7'-0"
- PRE-FABRICATED WOOD STAIR SYSTEM, 11" TREADS, 7" MAX RISER
- PRE-FABRICATED STEEL STAIR SYSTEM, 1" X 12" STEEL STRINGERS, 12"X24" WHITE OAK TREADS
- LINE OF BUILDING ABOVE
- POLISHED CONCRETE FLOOR SLAB
- 36"x24" ROOF HATCH & STEEL LADDER ON WP INSULATED CURB
- WATER PROOF, SLIP RESISTANT DECK COATING SYSTEM
- 3/4" TALL ADA/ANSI COMPLIANT METAL RAILING SYSTEM, BLACK POWDER COAT POSTS AND TOP RAIL. 4" DIA ST. STL CHAIRS AT 4" O.C. MAX.
- INS COLUMN CLAD WITH (1) LAYER 1/2" TYP. X GYP. BD. W/ 1 1/2" X 20 GA METAL STUD IN EACH CORNER TO ONE HOUR FIRE RATING. UL DESIGN NO. 7028
- PER IBC 2018, CHAPTER 3, SECTION 718. PROVIDE FIRE 244 AND 28 2 1/2" FT SOLID WOOD BLOSSING IN ALL WALLS TO EXTEND THROUGH THE ENTIRE 702 ACCESS AREA.
- FIRE EXTINGUISHER IN SEMI RECESSED CABINET-ADA COMPLIANT
- FIRE EXTINGUISHER IN SURFACE MOUNTED RECESSED CABINET-ADA COMPLIANT

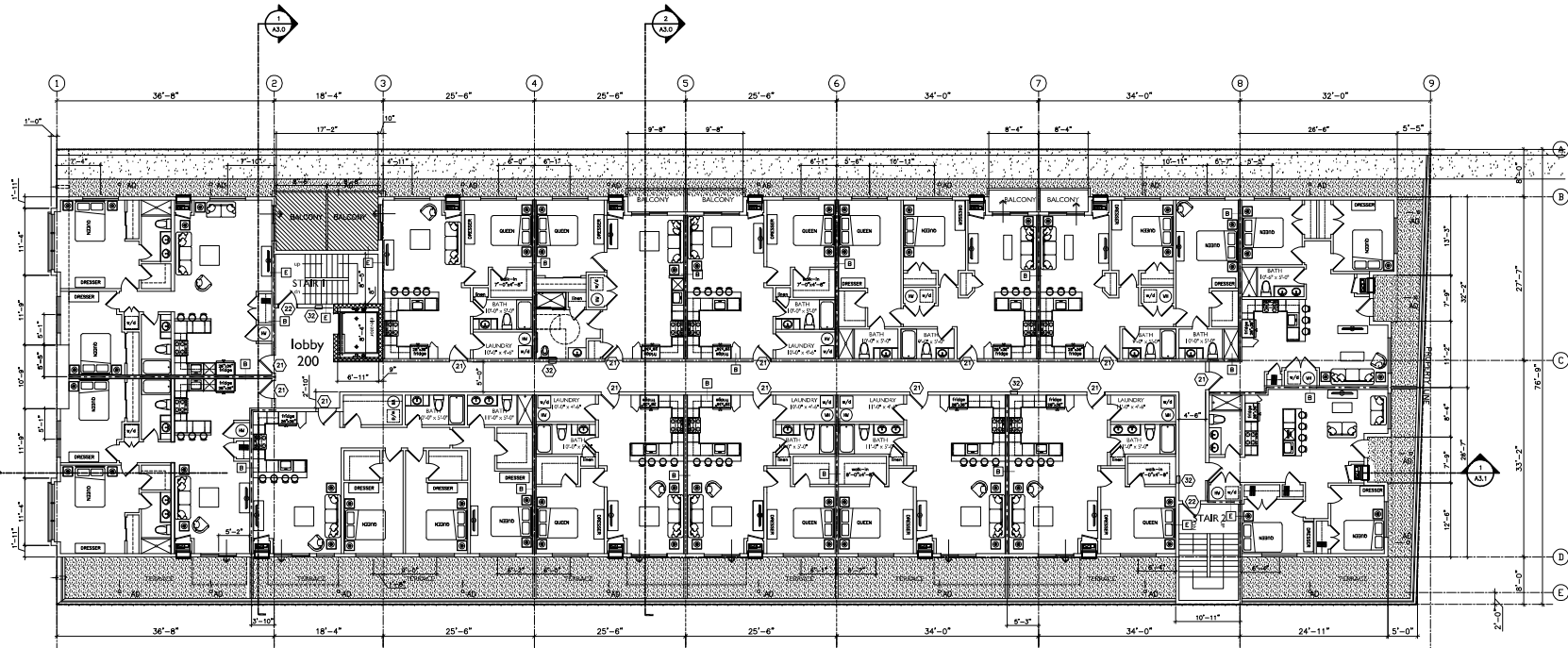
Issue / Revisions:

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DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
PROJECT #:

10-09-24, PROGRESS

SHURS LANE



2ND FLOOR PLAN  
SCALE: 1/8"=1'-0"



**GENERAL NOTES**

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2X4 WOOD STUDS @ 16" O/C W/ (1) LAYER 5/8" GYP. BD. EACH SIDE. RUN WALL TO DECK ABOVE.

**WALL TYPE B - INTERIOR PARTITION WALL**  
2X6 WOOD STUDS @ 16" O/C W/ (1) LAYER 5/8" GYP. BD. INSTALLED OVER 2x4 OR RESILIENT CHANNELS EACH SIDE. RUN TO DECK ABOVE. PROVIDE UL LISTED ONE HOUR FIRE RATED UL183.

**WALL TYPE C - INTERIOR PARTITION WALL**  
2X4 WOOD STUDS @ 16" O/C W/ (1) LAYER 5/8" GYP. BD. EACH SIDE. RUN TO DECK ABOVE. PROVIDE ACOUSTIC BATT INSULATION IN CAVITY.

**WALL TYPE D - INTERIOR PARTITION WALL**  
2X6 WOOD STUDS @ 16" O/C W/ (1) LAYER 5/8" GYP. BD. EACH SIDE. RUN TO DECK ABOVE. PROVIDE ACOUSTIC BATT INSULATION IN CAVITY.

**WALL TYPE E - INTERIOR PARTITION WALL**  
2X6 WOOD STUDS @ 16" O/C W/ (1) LAYER 5/8" GYP. BD. EACH SIDE. RUN TO DECK ABOVE. PROVIDE ACOUSTIC BATT INSULATION IN CAVITY. UL LISTED TWO HOUR FIRE RATED SLATE.

**WALL TYPE F - WALL**  
CMU WALL - 2 HOUR FIRE RATED. SEE STRUCTURAL FOR ADD. INFO. PAINTED FINISH UL DESIGN No. U1833.

**NOTE:**  
1. USE WATER RESISTIVE GYP. BD. AT ALL TOILET ROOM WALLS.  
2. TOILET ROOM WALLS SHALL RUN FULL HEIGHT TO BOTTOM OF METAL DECK ABOVE.  
3. ALL PARTITIONS SHALL RECEIVE ACOUSTIC INSULATION.

**KEY NOTES**

- ADA COMPLIANT ST. STEEL DECK DRAIN TO APPROVED DRAINAGE SYSTEM. SEE PLUMBING DRAWINGS FOR CONTROL. SLOPE 1/8" PER FT. MAX RISE. 11" TREAD.
- NEW REINFORCED CONCRETE RETAINING WALL. COORDINATE WITH STRUCTURAL DRAWINGS.
- CONTROL JOINT, SEE STRUCTURAL.
- ROOF DRAIN PIPE, SEE PLUMBING DRAWINGS. PROVIDE THERMAL INSULATION.
- CONCRETE SLAB W/ MEDIUM BROOM FINISH. SEE STRUCTURAL DRAWINGS FOR REINFORCING & CONTROL JOINTS. SLIDE 28.
- FABRICATED ALUMINUM RAINING SYSTEM W/ DOWNSPUTS. INTEGRAL OUTER SYSTEM TO BE CONNECTED TO UNDERGROUND STORM DRAINAGE SYSTEM COORDINATE WITH CIVIL ENGINEER.
- 78-FAH 421-1 THERMALLY BROKEN WINDOW SYSTEM W/ 1" INSULATED, TINTED GLASS.
- PROVIDE TEMPERED WHERE REQUIRED BY CODE.
- TYPICAL EXTERIOR WALLS (ONE HOUR FIRE RATED UL 183):  
2X6 WOOD STUDS @ 16" O/C W/ 8-21 BATT INSULATION AND (1) LAYER 5/8" GYP. BD. INTERIOR FACE. (1) LAYER 1/2" FLYWOOD SHEATHING AT EXTERIOR FACE OVER CLAD W/ AW & WATER MANAGING SYSTEM & CEILING BOARDING SYSTEM (DADO BOARD) SEE DETAIL A4122.
- DOWN SPOUT LOCATIONS (FROM GUTTER ABOVE) CONNECT TO APPROVED UNDERGROUND DRAINAGE SYSTEM. COORDINATE WITH CIVIL ENGINEERING DRAWINGS. PROVIDE 3" DIA. HEAVY WALL ALUM. PIPE W/ KYNAR 500 FINISH.
- CONCRETE CURB LOCATION SEE BUILDING SECTIONS AND STRUCTURAL FOR ADDITIONAL INFORMATION.
- CMU WALL COORDINATE WITH STRUCTURAL DRAWINGS.
- REINFORCED CONCRETE WALL. COORDINATE WITH STRUCTURAL DRAWINGS.
- ROOF DRAIN PIPES (FROM ROOF DRAIN ABOVE) CONNECT TO APPROVED UNDERGROUND DRAINAGE SYSTEM. COORDINATE WITH CIVIL ENGINEERING DRAWINGS.
- CONCRETE RAMP W/ MEDIUM BROOM FINISH. SEE STRUCTURAL DRAWINGS FOR REINFORCING & CONTROL JOINTS. SLIDE 112 MAX.
- PROVIDE (N) ADA-COMPLIANT TEMPERED GLASS STOREFRONT ENTRY DOOR (7'-0" WIDE X 7'-0" HIGH). FINISH TO MATCH STOREFRONT WINDOW SYSTEM. PROVIDE BUILDING STANDARDS ADA-COMPLIANT DOOR PUSH/PULL HARDWARE, 2-PART BUTTS, SILENCER, CLOSER, WEATHERPROOF SEALS/Gaskets AND ADA-COMPLIANT THRESHOLD. COORDINATE ALL KEYS AND LOCKING REQUIREMENTS WITH OWNER. PROVIDE ELECTRIC STRIKE AS REQUIRED.
- WOOD FRAME WALL: 2X6 WOOD STUDS COVER WITH 1/2" FT. PLYWOOD AND CEMENT 3/4" CEMENT FIBER BOARD SOING (UL LISTED (1) HOUR FIRE RATED WALL ASSEMBLY).
- NON-SLIP, FIBERGLASS WATERPROOFING SYSTEM OVER 3/4" FT. PLYWOOD SUB FLOOR, TYPICAL FOR ALL BALCONIES COLOR T80.

- CONCRETE STAIR W/ MEDIUM BROOM FINISH. SEE STRUCTURAL DRAWINGS FOR REINFORCING & CONTROL JOINTS. SLOPE 1/8" PER FT. MAX RISE. 11" TREAD.
- 1.5" O.D. STD. STEEL PIPE WELDED HANDRAIL, ADA & ANS COMPLIANT, PRIME & PAINT.
- 60 MIN FIRE RATED HM DOOR AND FRAME, WITH GLASSER & ADA COMPLIANT LOCK SET, PROVIDE GASKETS 3" X 4'-8".
- 90 MIN FIRE RATED HM DOOR AND FRAME, WITH GLASSER & ADA COMPLIANT PANIC DEVICE, PROVIDE GASKETS AND THRESHOLD. 3'X7'-0".
- PRE-FABRICATED WOOD STAIR SYSTEM, 1 1/2" TREADS, 7" MAX RISER.
- PRE-FABRICATED STEEL STAIR SYSTEM, 1" X12" STEEL STRINGERS, 12'3" WHITE OAK TREADS.
- LINE OF BUILDING ABOVE.
- POLISHED CONG FLOOR SLAB.
- 3/4"X3/4" ROOF HATCH & STEEL LADDER ON WF INSULATED CURB.
- WATER PROOF, SLP RESISTANT DECK COATING SYSTEM.
- 3/4" TALL ADA/IBC COMPLIANT METAL RAILING SYSTEM, BLACK POWDER COAT POSTS AND TOP RAIL W. 1" DIA ST. STL CABLES AT 4" O.C. MAX.
- IBC COLUMN CLAD WITH (1) LAYER 1/2" GYP. BD. W/ 1 1/2" X 20 GA METAL STUD IN EACH CORNER TO ONE HOUR FIRE RATING. UL DESIGN No. 3028.
- PER IBC 2018, CHAPTER 6, SECTION 716:  
PROVIDE FIRE 2X6 AND OR 2X6 FT SOLID WOOD BLOCKING IN ALL WALLS.  
ONE HOUR FIRE RATED FLOOR/CEILING ASSEMBLY TO EXTEND THROUGH THE ENTIRE "NO ACCESS" AREA.
- FIRE EXTINGUISHER IN SEMI RECESSED CABINET-ADA COMPLIANT.
- FIRE EXTINGUISHER IN SURFACE MOUNTED RECESSED CABINET-ADA COMPLIANT.

**EGHC**  
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SHEET TITLE: **PROPOSED 2ND & 3RD FLOOR PLAN**  
PROJECT: **11 SHURS LANE PHILADELPHIA, PA 19127**

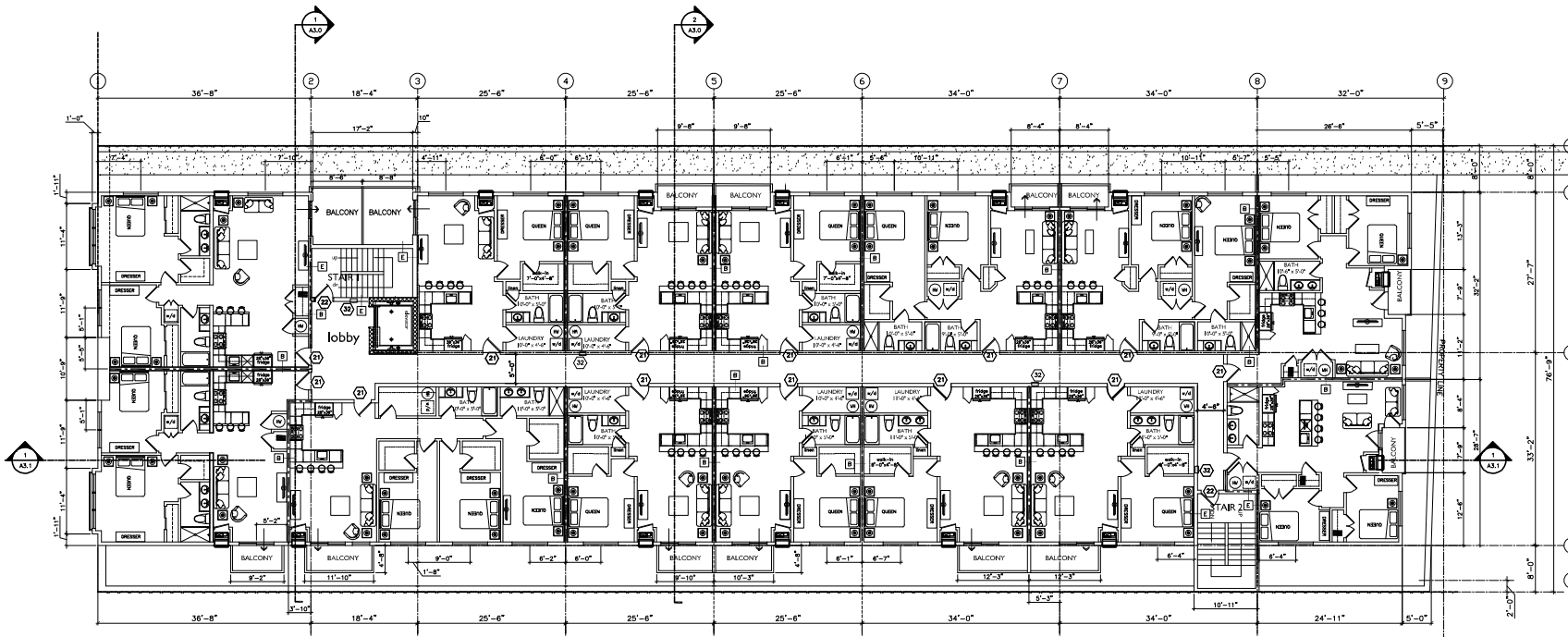
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SHEET NO. **A1.1**

10-09-24, PROGRESS.



3rd FLOOR PLAN  
SCALE: 1/8"=1'-0"

| GENERAL NOTES   | WALL TYPES  | KEY NOTES   |  |
|---|---|---|--|
| <p>1. WHEN CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTED ON PLANS, WHETHER IN CONTRACT OR NOT IN CONTRACT, HE SHALL BE RESPONSIBLE FOR LOSS AND/OR DAMAGE TO THESE ITEMS.</p> <p>2. THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE DURATION OF THE WORK, ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.</p> <p>3. DURING ALL PHASES OF WORK, DO NOT DISTURB THE DELIVERIES AND FUNCTIONS OF ADJACENT TENANTS AND NEIGHBORS.</p> <p>4. "TYP" SHALL MEAN THAT THE CONDITIONS IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED, DETAILS ARE USUALLY REVISED AND NOTED "TYP." ONLY ONCE WHEN THEY FIRST OCCUR.</p> <p>5. "SM" SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.</p> <p>6. PROVIDE PORTABLE FIRE EXTINGUISHER(S) WITH U.L. LABEL AND A RATING OF NOT LESS THAN 3A ABE, WITH 75 FT. MINIMUM DISTANCE TO ALL POSITIONS OF STORE OR AS DIRECTED BY THE DEPARTMENT FIELD INSPECTOR.</p> <p>7. PROVIDE NON-COMBUSTIBLE BALCONY AND/OR SUPPORT FRAMING TO ASSURE A COMPLETE INSTALLATION OF FINISHES, TRIM AND MILLWORK AS INDICATED IN THE DOCUMENTS REQUIRED BY THE OWNER, PRODUCT MANUFACTURERS AND AS REQUIRED FOR PROPER INSTALLATION.</p> <p>8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE ENTIRE PROJECT TO CONTRACT COMPLETION DATE INCLUDING THE SCHEDULING AND SUPERVISION OF OWNER AND OWNER'S VENDOR SUPPLIED ITEMS.</p> <p>9. ALL EXTERIOR CONCRETE SHALL RECEIVE MEDIUM BROOM FINISH AND SHALL HAVE A CROSS SLOPE OF 3/8" AWAY FROM THE BUILDING.</p> <p>10. REFER TO DRAWINGS: A4.0 - A4.17 FOR LARGE SCALE UNIT PLANS.</p> <p>11. ALL APARTMENT DOORS TO BE (3) HOUR FIRE RATED, 3'-0" x 7'-0" WOOD VENEER DOORS IN HM FRAMES W/ CLOSERS AND SMOKE SEALS. PROVIDE PEEP HOLE. ALL HARDWARE TO BE ADA/ANS COMPLIANT.</p> | <p><b>WALL TYPE A - INTERIOR PARTITION WALL</b><br/>2x6 WOOD STUDS @ 16" O/C W/ (1) LAYER 5/8" GYP. BO. EACH SIDE, RUN WALL TO DECK ABOVE.</p> <p><b>WALL TYPE B - INTERIOR PARTITION WALL</b><br/>2x6 WOOD STUDS @ 16" O/C W/ (1) LAYER 5/8" GYP. BO. INSTALLED OVER 20 GA RESILIENT CHANNELS EACH SIDE, RUN TO DECK ABOVE. PROVIDE ACOUSTIC BATT INSULATION IN CAVITY.</p> <p><b>WALL TYPE C - INTERIOR PARTITION</b><br/>2x6 WOOD STUDS @ 16" O/C W/ (1) LAYER 5/8" GYP. BO. EACH SIDE, RUN TO DECK ABOVE. PROVIDE ACOUSTIC BATT INSULATION IN CAVITY.</p> <p><b>WALL TYPE D - INTERIOR PARTITION</b><br/>2x6 WOOD STUDS @ 16" O/C W/ (1) LAYER 5/8" GYP. BO. EACH SIDE, RUN TO DECK ABOVE. PROVIDE ACOUSTIC BATT INSULATION IN CAVITY.</p> <p><b>WALL TYPE E - INTERIOR PARTITION</b><br/>2x6 WOOD STUDS @ 16" O/C W/ (1) LAYER 5/8" GYP. BO. EACH SIDE, RUN TO DECK ABOVE. PROVIDE ACOUSTIC BATT INSULATION IN CAVITY.</p> <p><b>WALL TYPE F - WALL</b><br/>CMU WALL - 2 HOUR FIRE RATED, SEE STRUCTURAL FOR ADD. INFO. FINISHED FROM U.L. LISTING NO. 1000.</p> | <p>1. ADA COMPLIANT ST. STL. DECK DRAIN TO APPROVED DRAINAGE SYSTEM, SEE PLUMBING DRAWINGS</p> <p>2. NEW REINFORCED CONCRETE RETAINING WALL COORDINATE WITH STRUCTURAL DRAWINGS</p> <p>3. CONTROL JOINT, SEE STRUCTURAL</p> <p>4. ROOF DRAIN PIPE, SEE PLUMBING DRAWINGS, PROVIDE THERMAL INSULATION</p> <p>5. CONCRETE SUB W/ MEDIUM BROOM FINISH, SEE STRUCTURAL DRAWINGS FOR REINFORCING &amp; CONTROL JOINTS, SLOPE 2% 3" MAX RISER, 11" TREAD</p> <p>6. FABRICATED ALUMINUM MANNING SYSTEM W/ DOWNSPUTS, INTERIOR, GUTTER SYSTEM TO BE CONNECTED TO UNDERGROUND DRAINAGE SYSTEM COORDINATE WITH CIVIL DWG.</p> <p>7. PROVIDE R-21 THERMAL INSULATION ABOVE AND BELOW WINDOWS, RUN FULL HEIGHT TO BOTTOM OF DECK ABOVE, TYPICAL FOR ALL WINDOWS</p> <p>8. TRL-FAB 451-7 THERMALLY BROKEN WINDOW SYSTEM W/ 1" INSULATED, TINTED GLASS.</p> <p>9. TYPICAL EXTERIOR WALL: (1) ONE HOUR FIRE RATED U.L. 1366</p> <p>10. 2x6 WOOD STUDS @ 16" O/C W/ R-21 BATT INSULATION AND (1) LAYER 5/8" GYP. BO. INTERIOR FACE, (1) LAYER 1/2" PLYWOOD SHEATHING AT EXTERIOR FACE OVER CHAD W/ HM &amp; WATER MEMBRANE SYSTEM &amp; CEMENT BONDING SYSTEM (DARCO BOARD) SEE DETAIL 4/A3.2</p> <p>11. DOWN SPOUT LEADINGS (FROM GUTTER ABOVE) CONNECT TO APPROVED UNDERGROUND DRAINAGE SYSTEM, COORDINATE WITH CIVIL ENGINEERING DRAWINGS PROVIDE 3" GA HEAVY WALL ALUM. PIPE W/ KRAVE 500 FINISH</p> <p>12. CONCRETE CURB LOCATION SEE BUILDING SECTIONS AND STRUCTURAL FOR ADDITIONAL INFORMATION</p> <p>13. CMU WALL COORDINATE WITH STRUCTURAL DRAWINGS</p> <p>14. REINFORCED CONCRETE WALL COORDINATE WITH STRUCTURAL DRAWINGS</p> <p>15. ROOF DRAIN PIPES (FROM ROOF DRAIN ABOVE) CONNECT TO APPROVED UNDERGROUND DRAINAGE SYSTEM, COORDINATE WITH CIVIL ENGINEERING DRAWINGS</p> <p>16. CONCRETE SUB W/ MEDIUM BROOM FINISH, SEE STRUCTURAL DRAWINGS FOR REINFORCING &amp; CONTROL JOINTS, SLOPE 1:12 MAX.</p> <p>17. FINISH TO MATCH STOREFRONT WINDOW SYSTEM. PROVIDE BUILDING STANDARD ADA-COMPLIANT DOOR PUSH/PULL HORIZONTAL, 2-PART METAL SLIDING CLOSER, WEARSTRIP/DOOR SEALS/GASSETS AND ADA-COMPLIANT THRESHOLD, C.C. TO COORDINATE ALL KEYING AND LOCKING REQUIREMENTS WITH OWNER, PROVIDE ELECTRIC STRIKE AS REQUIRED.</p> <p>18. WOOD FRAME WALL 2x6 WOOD STUDS COVER WITH 3/4" FT PLYWOOD AND CEMENT 5/8" GYP. FIBER BOARD SIDING U.L. LISTED (1) HOUR FIRE RATED WALL ASSEMBLY.</p> <p>19. BICYCLE PARKING FOR 15 (SEE CIVIL DRAWINGS)</p> <p>20. NON-SLIP, FIBERGLASS WATERPROOFING SYSTEM OVER 3/4" FT PLYWOOD SUB FLOOR, TYPICAL FOR ALL BALCONIES COLOR TR0</p> | <p>18. CONCRETE STAIR W/ MEDIUM BROOM FINISH, SEE STRUCTURAL DRAWINGS FOR REINFORCING &amp; CONTROL JOINTS, SLOPE 2% 3" MAX RISER, 11" TREAD</p> <p>19. 1.5" O.D. STD. STEEL PIPE WELDED HANDRAIL, ADA &amp; ANSI COMPLIANT, PRIME &amp; PAINT</p> <p>20. 60 MM FIRE RATED HM DOOR AND FRAME, WITH CLOSER &amp; ADA COMPLIANT LOCK SET, PROVIDE GASKETS AND THRESHOLD, 3"x7'-0"</p> <p>21. 90 MM FIRE RATED HM DOOR AND FRAME, WITH CLOSER &amp; ADA COMPLIANT PANIC DEVICE, PROVIDE GASKETS AND THRESHOLD, 3"x7'-0"</p> <p>22. PRE-FABRICATED WOOD STAIR SYSTEM, 1" TREADS, 7" MAX RISER</p> <p>23. PRE-FABRICATED STEEL STAIR SYSTEM, 1" X12" STEEL STRINGERS, 12"x3" WHITE OAK TREADS</p> <p>24. LINE OF BUILDING ABOVE</p> <p>25. POLISHED CONC FLOOR SLAB</p> <p>26. 3/8" OAK* ROOF HATCH &amp; STEEL LADDER ON WP INSULATED CURB</p> <p>27. WATER PROOF, SLIP RESISTANT DECK COATING SYSTEM</p> <p>28. 3/4" TALL ADA/IBC COMPLIANT METAL RAILING SYSTEM, BLACK POWDER COAT POSTS AND TOP RAIL, 6" X 6" DIA. ST. STEEL CABLES AT 4" O.C. MAX.</p> <p>29. HSS COLUMN CLAG WITH (1) LAYER 5/8" GYP. BO. W/ 1" X 20 GA METAL STUD IN EACH CORNER TO ONE HOUR FIRE RATING, U.L. DESIGN NO. 3528</p> <p>30. FIRE RUC 2018, CHAPTER 5, SECTION 718</p> <p>31. PROVIDE FIRE 2x4 AND 2x8 DFR 2x4 FT SOLID WOOD BLOCKING IN ALL WALLS. ONE HOUR, FIRE RATED FLOOR/Ceiling ASSEMBLY TO EXTEND THROUGH THE ENTIRE "NO ACCESS" AREA</p> <p>32. FIRE EXTINGUISHER IN SEM RECESSED CABINET-ADA COMPLIANT</p> <p>33. FIRE EXTINGUISHER IN SURFACE MOUNTED RECESSED CABINET-ADA COMPLIANT</p> |
| <p><b>LEGEND</b></p> <p>REFER TO KEY NOTES</p> <p>100 DENOTES SECTION/ELEVATION REFERENCE MARK</p> <p>100 DENOTES FLOOR/GRADE ELEVATION</p> <p>REVISION</p> <p>ALIGN ADJACENT WALLS</p>   | <p><b>NOTE:</b></p> <p>1. USE WATER RESISTIVE GYP BO. AT ALL TOILET ROOM WALLS</p> <p>2. TOILET ROOM WALLS SHALL RUN FULL HEIGHT TO BOTTOM OF METAL DECK ABOVE.</p> <p>3. ALL PARTITIONS SHALL RECEIVE ACOUSTIC INSULATION</p>  |   |  |

SHEET TITLE: **PROPOSED 3RD FLOOR PLAN**

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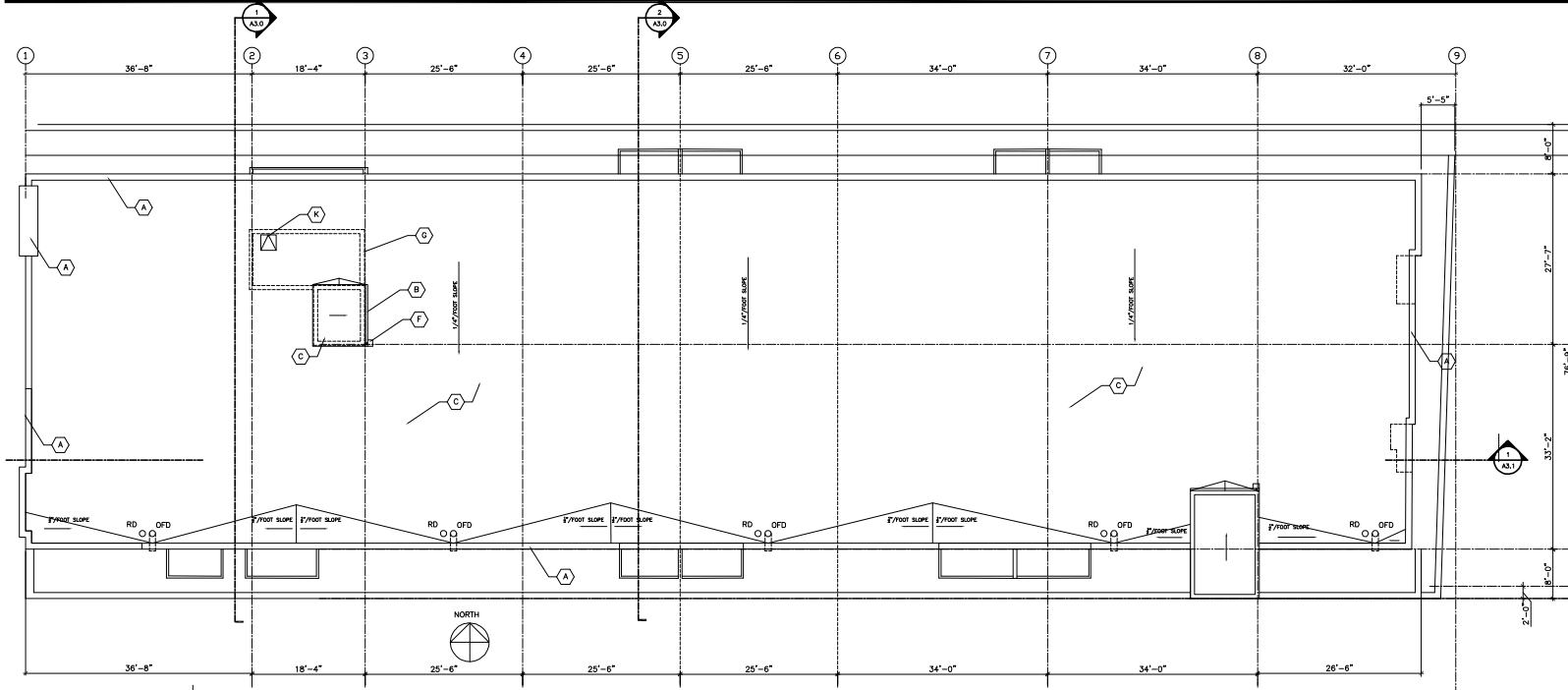
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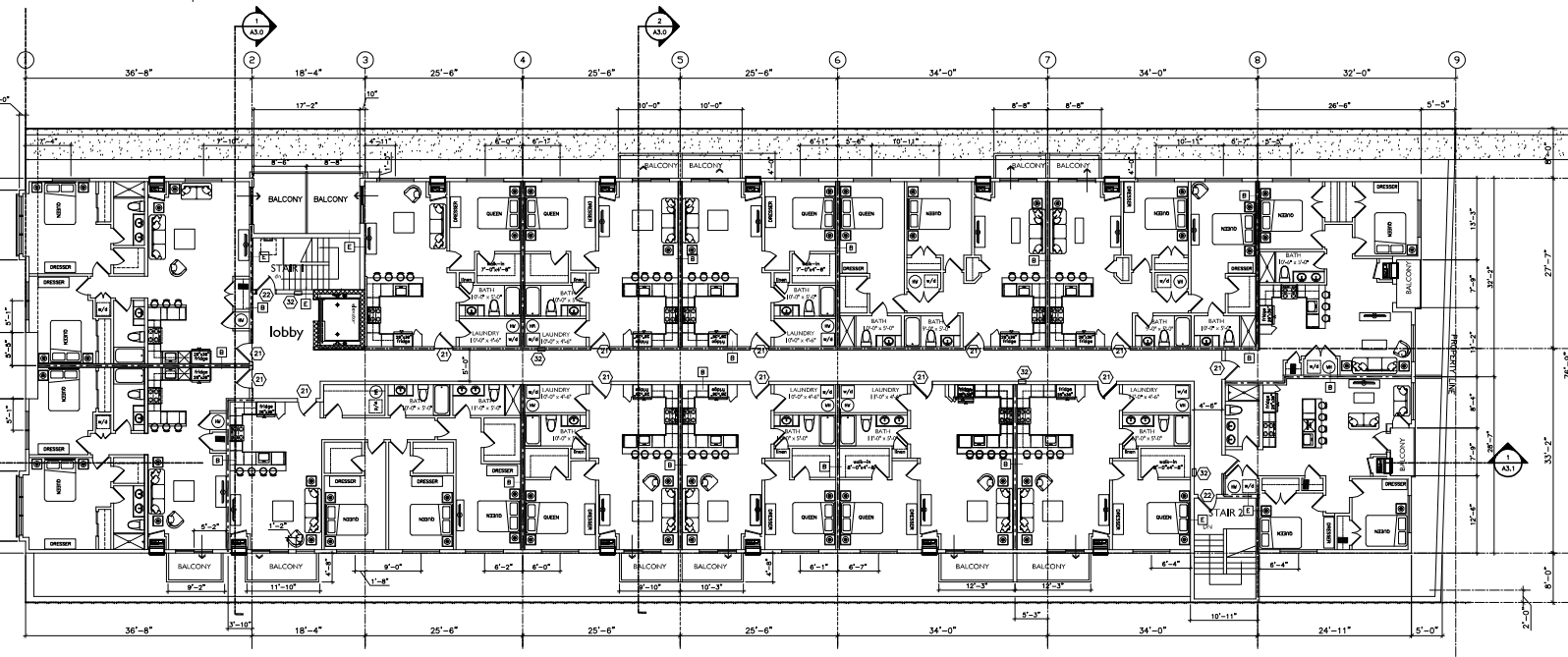
10-09-24, PROGRESS.

SHEET NO.



1 ROOF PLAN  
SCALE: 1/8"=1'-0"

- ### ROOF NOTES
- (A) 240 ALUM COATING SYSTEM W/ KYNAR 500 COATING
  - (B) 240 ALUM COATING SYSTEM W/ KYNAR 500 COATING PROVIDE ALUM SUBSTRATE TO APPROVED DRAINAGE SYSTEM COORDINATE W/ PLUMBING AND CIVIL DRAWINGS
  - (C) FULLY ADHERED 60 MIL BLACK SINGLE PLY MEMBRANE ROOFING SYSTEM OVER SLOPING 3/4" FT FURFOLD BEDDING. SLOPE 2" FOOT, TYP. (PROVIDE APPROVED ROOF TO WALL FLASHING @ ALL VERTICAL WALLS).
  - (D) MECHANICAL UNIT SEE MECHANICAL DRAWINGS
  - (E) PROVIDE 48" WIDE PROTECTION MAT ALL AROUND RTU AND ROOF HATCH
  - (F) EPDM "SPLASH BLOC" @ RAIN WATER CONDUCTOR, TYP.
  - (G) LINE OF WALL BELOW DOTTED
  - (H) HIGH POINT OF ROOF
  - (I) NEW 5" DIA ROOF DRAIN AND OVERFLOW DRAINS IN "SUMP" PIPE OVERFLOW DRAIN SEPARATELY
  - (J) NEW 30"x30" ROOF HATCH W/ STEEL LADDER TO FLOOR BELOW
  - (K) PROVIDE WATERPROOF OPENING THRU WALL BELOW (ACCESS TO ADJACENT PORTION OF ROOF) 6" WIDE X 6" TALL
  - (L) PROVIDE WATERPROOF OPENING THRU WALL BELOW (ACCESS TO ADJACENT PORTION OF ROOF) 6" WIDE X 6" TALL



1 4TH FLOOR PLAN  
SCALE: 1/8"=1'-4"

10-09-24, PROGRESS.

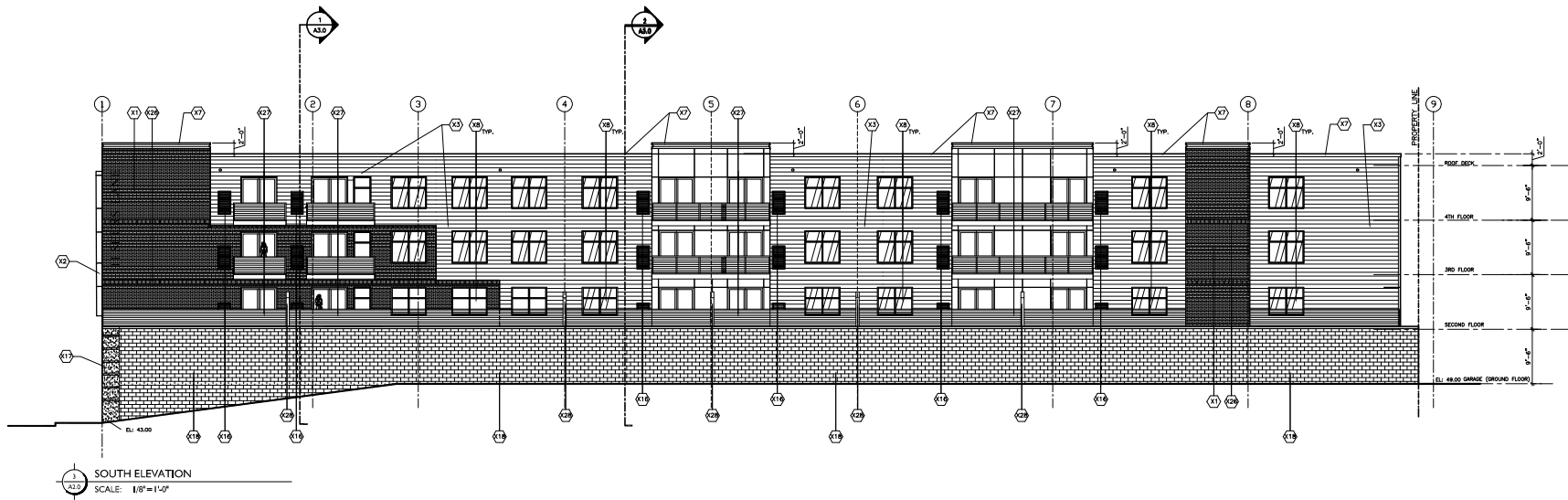


SHEET TITLE: PROPOSED 4TH FLOOR PLAN & ROOF  
PROJECT: 11 SHURS LANE PHILADELPHIA, PA 19127

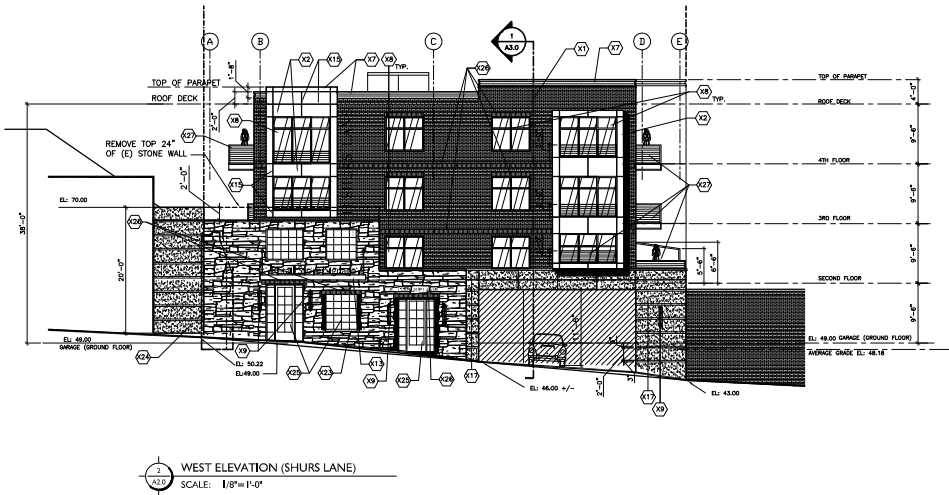
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SHEET NO. **A1.3**



3 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION (SHURS LANE)  
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL FINISH SCHEDULE

| DESIG. | DESCRIPTION                              | MANUFACTURER                                 | MODEL                               | COLOR/STYLE                                       | REMARKS  |
|--------|--|--|-------------------------------------|---|--|
| X1     | THIN-ADHEREED BRICK VENEER SYSTEM        | FELDHUIS BY UNITED WALL SYSTEMS 887-258-9800 | MODULAR BRICK                       | No. 387 BRICK                                     | INSTALL OVER 8" CONCRETE BOARD OVER AIR & WATER BARRIER OVER 2" CDX PLYWOOD CONTACT: MIK SUPPLY CONSTRUCTION BLDG 215-887-2788                                     |
| X2     | CEMENT BOARD PANEL SIDING SYSTEM         | JAMES HARVE                                  | HARDEPLANK PANEL SIDING             | SMOOTH FINISH<br>CONGO-CORBLE STONE               | 3/4" THICK PANELS. 3/8" ALUM REVEALS AT ALL PANEL EDGE, TYP. REVEAL COLOR TO MATCH SIDING COLOR.   |
| X3     | CEMENT BOARD PANEL SIDING SYSTEM         | JAMES HARVE                                  | HARDEPLANK PANEL SIDING             | SMOOTH FINISH<br>COLOR: DEEP OCEAN                | 3/4" THICK PANELS. 3/8" ALUM REVEALS AT ALL PANEL EDGE, TYP. REVEAL COLOR TO MATCH SIDING COLOR.   |
| X4     | ALUM STOREFRONT SYSTEM                   | KAWNEER                                      | TB-FAB 451-T                        | BLACK KYMAR 500                                   |  |
| X5     | CEMENT BOARD TRIM SYSTEM                 | JAMES HARVE                                  | HARD TRIM                           | SMOOTH FINISH<br>COLOR: MATCH ADJACENT SIDING     | 1" THICK   |
| X6     | WELDED STEEL RAILING SYSTEM              | CUSTOM FABRICATE                             | -                                   | BLACK POWDERCOAT FINISH                           | POSTS, BOTTOM RAIL, TOP RAIL TO BE 2"x2" STEEL TUBE WELDED HORIZONTAL BARS TO BE 3/4"x1" FLAT BAR #4" O.C.   |
| X7     | ALUM CORNIC, COPING OR FASCIA PANEL      | CUSTOM FABRICATE                             | -                                   | KYMAR 500 FINISH<br>COLOR: CHARCOAL               |  |
| X8     | ALUM WINDOW SYSTEM                       | ANDERSON                                     | 100 SERIES                          | BLACK FRAMES                                      | INSULATED GLASS, LOW E, ARGON  |
| X9     | WALL-MOUNT LIGHT SCONCE                  | TECH LIGHTING                                | ASPERN WEDGE 30<br>2700 L. LED LAMP | CHARCOAL HOUSING                                  |  |
| X10    | WALL-MOUNT LIGHT FIXT.                   | DEXTERO LIGHTING                             | BULP31 - 9"                         | BRONZE  | SEE ELECTRICAL DRAWINGS  |
| X11    | HLM DOOR & FRAME                         | -  | -                                   | PRIME AND PAINT<br>SEE SCHEDULE                   | SEE DOOR SCHEDULE FOR MORE INFO.   |
| X12    | SIGNAGE BY OWNER                         | -  | -                                   | -   | GO TO PROVIDE POWER AT TENANT SIGNAGE AS REQUIRED. SIGNAGE PACKAGE TO BE COMPLETED BY OWNER.   |
| X13    | METAL CANOPY SYSTEM                      | CUSTOM FABRICATE                             | -                                   | KYMAR 500 FINISH<br>COLOR: CHARCOAL               | BASES OF SCREEN - MATCH CANOPY   |
| X14    | VINYL CLAD, WOOD WINDOW                  | ANDERSON                                     | 100 SERIES                          | COLOR TBD   | CLEAR, LOW E, ARGON FILLED DOUBLE GLAZED   |
| X15    | 1/2" WIDE EXTRUDED ALUM RIVAL            | FRY OR EQUAL                                 | -                                   | COLOR TO MATCH SIDING<br>KYMAR 500 FINISH         |  |
| X16    | WTRUDED ALUM LOUVER VENT W/ INSET SCREEN | -  | -                                   | COLOR TO MATCH ADJACENT SIDING                    | COORDINATE REQUIRED SIZE W/ MEP DRAWINGS   |
| X17    | THIN-ADHEREED VENEER STONE SYSTEM        | ARRISCOMPT                                   | SUNSET SATIN                        | 12"x24"   | 8" CONCRETE BOARD OVER AIR & WATER BARRIER OVER 2" CDX PLYWOOD ADHERED WITH MANUFACTURER APPROVED ADHESIVE SYSTEM  |
| X18    | 12" THICK, 3 HOUR FIRE RATED CMU WALL    | FZANNO BLOCK                                 | UL LISTED 3 HOUR FIRE RATED         | COLOR TBD   | SEE STRUCTURAL DRAWINGS  |
| X19    | COMPOSITE ALUMINUM PANEL                 | ALUCCORND                                    | -                                   | KYMAR 500 FINISH<br>COLOR: MATCH HARVE DEEP OCEAN |  |
| X20    | 8"x4" ALUM DOWN SPOUT & CONDUCTOR HEAD   | CUSTOM FABRICATE                             | -                                   | KYMAR 500 FINISH<br>COLOR: CHARCOAL               |  |
| X21    | BULLNOSE LIMESTONE TRIM                  | ARRISCOMPT                                   | SUNSET SATIN                        | ROCK FACE TEXTURE                                 | SEE WALL SECTIONS  |
| X22    | FLAT LIMESTONE TRIM                      | ARRISCOMPT                                   | SUNSET SATIN                        | ROCK FACE TEXTURE                                 | SEE WALL SECTIONS  |
| X23    | EXISTING STONE WALL                      | -  | -                                   | -   | EXISTING STONE WALL TO BE CLEANED, REPAIRED, REPOINTED AND RESTORED TO "LIKE NEW CONDITION"  |
| X24    | EXISTING CONCRETE WALL                   | -  | -                                   | -   |  |
| X25    | ALUM WINDOW OR DOOR SYSTEM               | KAWNEER                                      | -                                   | BLACK FRAMES                                      | TEMPORARY INSULATED GLASS, LOW E, ARGON INSTALL IN EXISTING STONE WALL. VERIFY EXISTING OPENINGS AND/OR CREATE NEW OPENINGS WITH NEW STRUCTURAL STEEL UNLESS NOTED |
| X26    | BRICK SOLDIER COURSE                     | -  | MODULAR BRICK                       | COLOR TBD   |  |
| X27    | ALUM RAILING SYSTEM                      | -  | -                                   | BLACK POWDERCOAT FINISH                           | TOP 60 RAILING TO BE 42" ABOVE ADJACENT WALKING SURFACE, UNLESS OTHERWISE NOTED  |
| X28    | VINYL PRIVACY SCREEN SLAT WALL           | -  | CHARCOAL GRAY                       | -   |  |

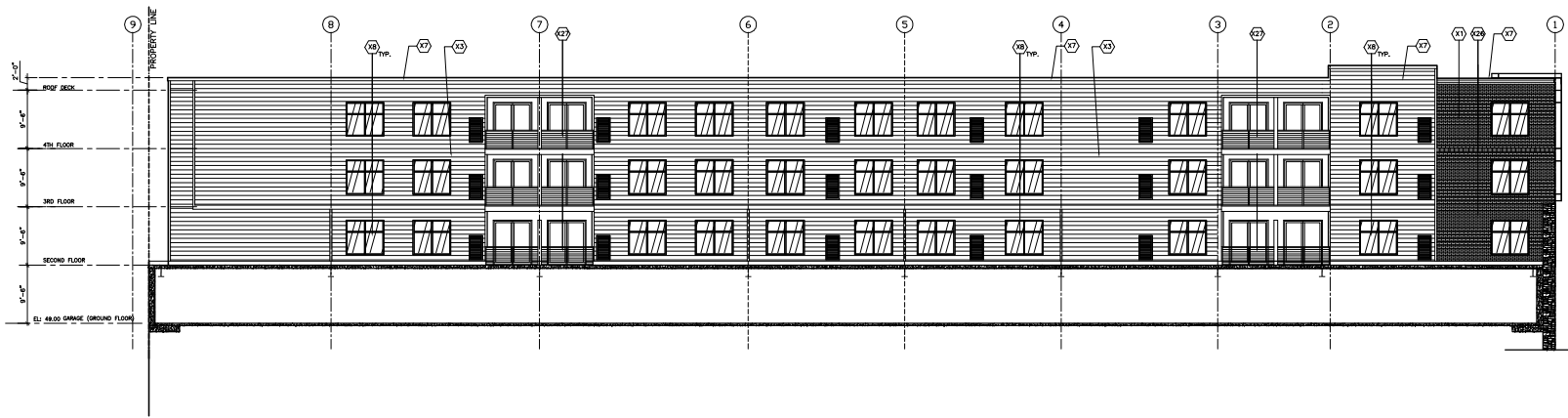
SHEET TITLE: BUILDING ELEVATIONS

PROJECT: 11 SHURS LANE PHILADELPHIA, PA 19127

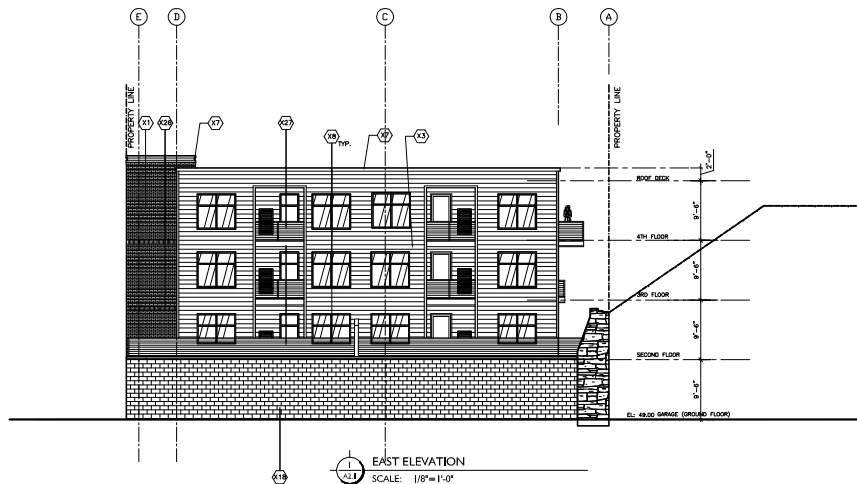
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10-09-24 PROGRESS



NORTH ELEVATION  
SCALE: 1/8"=1'-0"



EAST ELEVATION  
SCALE: 1/8"=1'-0"

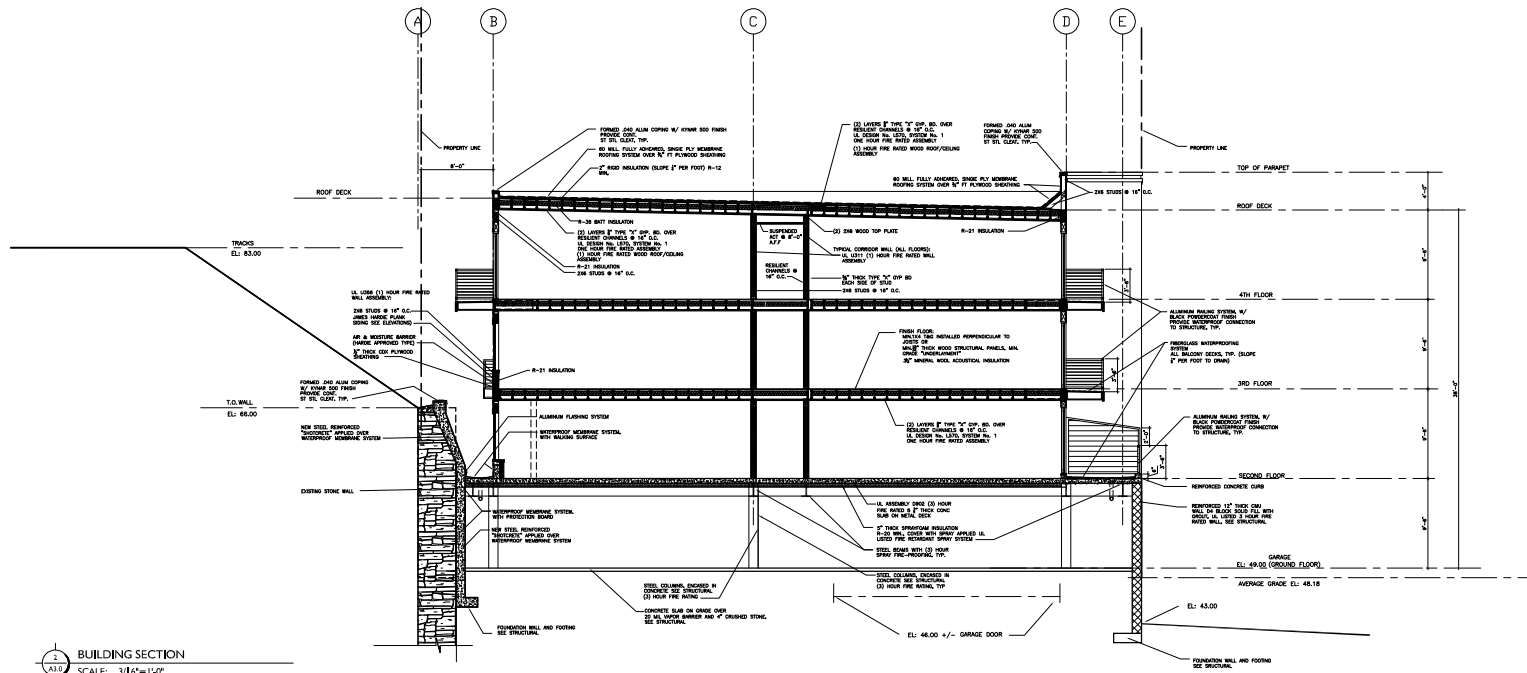
### EXTERIOR MATERIAL FINISH SCHEDULE

| DESG. | DESCRIPTION                                   | MANUFACTURER                                 | MODEL                          | COLOR/STYLE                                     | REMARKS   |
|-------|---|--|--------------------------------|---|---|
| (11)  | THIN-ADHESION BRICK VENEER SYSTEM             | FELDAUSE BY UNITED WALL SYSTEMS 857-258-9800 | MODULAR BRICK                  | No. 387 BRICK                                   | INSTALL OVER 1" CONCRETE BOARD OVER AIR & WATER BARRIER OVER 1/2" OSB PLYWOOD CONTACT: Nick Johnson Connorsodded Brick 215-687-2788                           |
| (12)  | CEMENT BOARD PANEL SIDING SYSTEM              | JAMES HARDIE                                 | HARDIEPLANK PANEL SIDING       | SMOOTH FINISH 1200M-MOISTURE RESISTANT          | 1/4" THICK PANELS, 3" ALUM REVEALS AT ALL PANEL EDGE, TYP. REVEAL COLOR TO MATCH SIDING COLOR   |
| (13)  | CEMENT BOARD PANEL SIDING SYSTEM              | JAMES HARDIE                                 | HARDIEPLANK PANEL SIDING       | SMOOTH FINISH COLOR: DEEP OCEAN                 | 1/4" THICK PANELS, 3" ALUM REVEALS AT ALL PANEL EDGE, TYP. REVEAL COLOR TO MATCH SIDING COLOR   |
| (14)  | ALUM STOREFRONT SYSTEM                        | KAWNEER                                      | 780-PAB 451-T                  | BLACK KYNAR 500                                 |   |
| (15)  | CEMENT BOARD TRIM SYSTEM                      | JAMES HARDIE                                 | HARDIE TRIM                    | SMOOTH FINISH COLOR: MATCH ADJACENT SIDING      | 1" THICK  |
| (16)  | WELDED STEEL RAILING SYSTEM                   | CUSTOM FABRICATE                             | -                              | BLACK POWDERCOAT FINISH                         | POSTS, BOTTOM RAIL, TOP RAIL TO BE 2"x2" STEEL TUBE WELDED HORIZONTAL BARS TO BE 3/4"x1" FLAT BAR 8"x4" O.C.  |
| (17)  | ALUM CORNICE, COPING OR FACIA PANEL           | CUSTOM FABRICATE                             | -                              | KYNAR 500 FINISH COLOR: CHARCOAL                |   |
| (18)  | ALUM WINDOW SYSTEM                            | ANDERSON                                     | 100 SERIES                     | BLACK FRAMES                                    | INSULATED GLASS, LOW E, ARGON   |
| (19)  | WALL-MOUNT LIGHT SCIENCE                      | TECH LIGHTING                                | ASPEN WEDGE 38 2700 K LED LAMP | CHARCOAL HOUSING                                |   |
| (20)  | WALL-MOUNT LIGHT FIXT.                        | DEXTERO LIGHTING                             | MUP21 - 0"                     | BRONZE  | SEE ELECTRICAL DRAWINGS   |
| (21)  | H.M. DOOR & FRAME                             | -  | -                              | PRIME AND PAINT SEE SCHEDULE                    | SEE DOOR SCHEDULE FOR MORE INFO.  |
| (22)  | SIGNAGE BY OWNER                              | -  | -                              | -   | GC TO PROVIDE POWER AT TENANT SIGNAGE AS REQUIRED. SIGNAGE, ENCASED, TO BE COMPLETED BY OWNER   |
| (23)  | METAL CANOPY SYSTEM                           | CUSTOM FABRICATE                             | -                              | KYNAR 500 FINISH COLOR: CHARCOAL                | BASES OF DESIGN: MAPES CANOPY   |
| (24)  | VINYL CLAD, WOOD WINDOW                       | ANDERSON                                     | 100 SERIES                     | COLOR TBD                                       | CLEAR, LOW E, ARGON FILLED DOUBLE GLAZED  |
| (25)  | 1/2" WIDE EXTRUDED ALUM REVEAL                | FRY OR EQUAL                                 | -                              | COLOR TO MATCH SIDING                           |   |
| (26)  | WINDPROOF ALUM LOWER VENT W/ INSECT SCREEN    | -  | -                              | COLOR TO MATCH ADJACENT SIDING                  | COORDINATE REQUIRED SIZE W/ MEP DRAWINGS  |
| (27)  | "ARRISCAFT" THIN-ADHESION VENEER STONE SYSTEM | ARRISCAFT                                    | SUNSET SATIN                   | 12"x24"   | 1" CONCRETE BOARD OVER AIR & WATER BARRIER OVER 1/2" OSB PLYWOOD ADHERED WITH MANUFACTURER APPROVED ADHESIVE SYSTEM   |
| (28)  | 1 1/2" THICK, 3 HOUR FIRE RATED CMU WALL      | FLGANG BLOCK                                 | UL LISTED 3 HOUR FIRE RATED    | COLOR TBD                                       | SEE STRUCTURAL DRAWINGS   |
| (29)  | COMPOSITE ALUMINUM PANEL                      | ALUCOBOND                                    | -                              | KYNAR 500 FINISH COLOR: MATCH HARDIE DEEP OCEAN |   |
| (30)  | 6"x4" ALUM DOWN SPOUT & CONDUCTOR HEAD        | CUSTOM FABRICATE                             | -                              | KYNAR 500 FINISH COLOR: CHARCOAL                |   |
| (31)  | BULLMOOSE LIMESTONE TRIM                      | ARRISCAFT                                    | SUNSET SATIN                   | ROCK FACE TEXTURE                               | SEE WALL SECTIONS   |
| (32)  | FLAT LIMESTONE TRIM                           | ARRISCAFT                                    | SUNSET SATIN                   | ROCK FACE TEXTURE                               | SEE WALL SECTIONS   |
| (33)  | EXISTING STONE WALL                           | -  | -                              | -   | EXISTING STONE WALL TO BE CLEANED, REPAIRED, REPOINTED AND RESTORED TO "LIKE NEW CONDITION"   |
| (34)  | EXISTING CONCRETE WALL                        | -  | -                              | -   |   |
| (35)  | ALUM WINDOW OR DOOR SYSTEM                    | KAWNEER                                      | BLACK FRAMES                   | -   | TYPIFIED: INSULATED GLASS, LOW E, ARGON. REVEAL IN EXISTING STONE WALL. VERIFY EXISTING OPENINGS AND/OR CREATE NEW OPENINGS WITH NEW STRUCTURAL STEEL LINELS. |
| (36)  | BRICK SOLDIER COURSE                          | -  | MODULAR BRICK                  | COLOR TBD                                       |   |
| (37)  | ALUM RAILING SYSTEM                           | -  | BLACK POWDERCOAT FINISH        | -   | TOP OD RAILING TO BE 42" ABOVE ADJACENT WALKING SURFACE, UNLESS OTHERWISE NOTED   |
| (38)  | VINYL PRIVACY SCREEN SLAT WALL                | -  | CHARCOAL GRAY                  | -   |   |
| (39)  | -   | -  | -                              | -   |   |

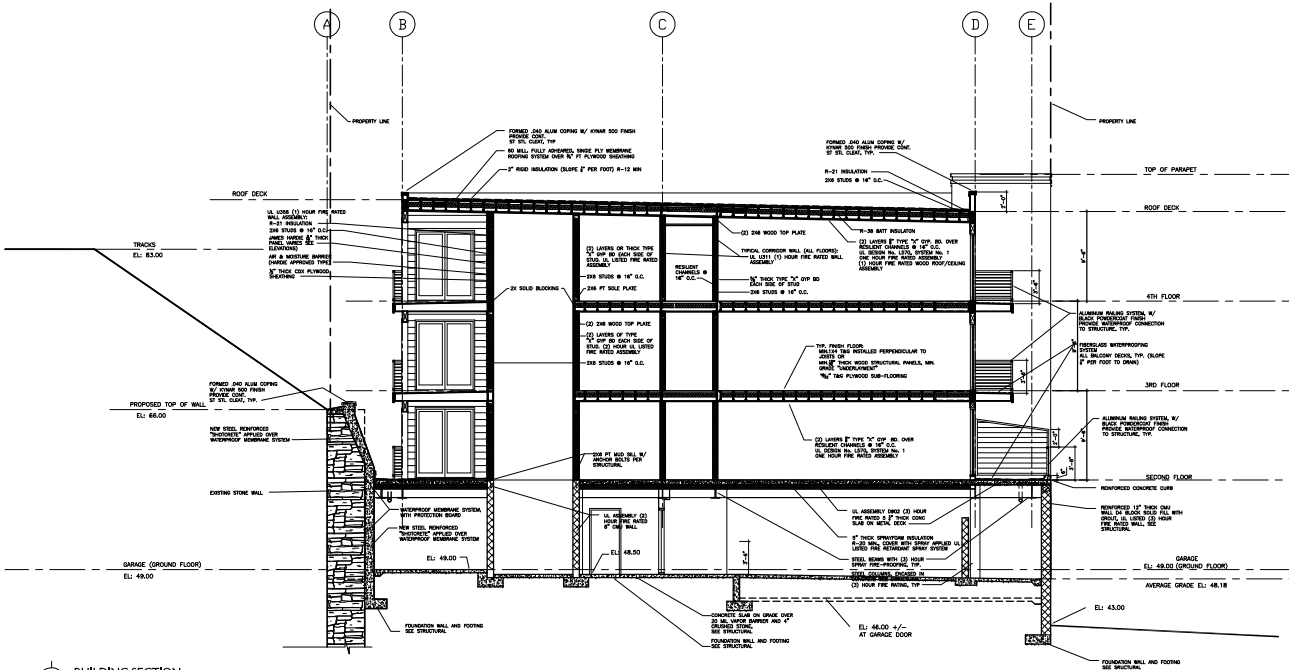
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**BUILDING SECTION**  
SCALE: 3/16"=1'-0"



**BUILDING SECTION**  
SCALE: 3/16"=1'-0"



**BUILDING SECTIONS**  
PROJECT:  
11 SHURS LANE  
PHILADELPHIA, PA 19127

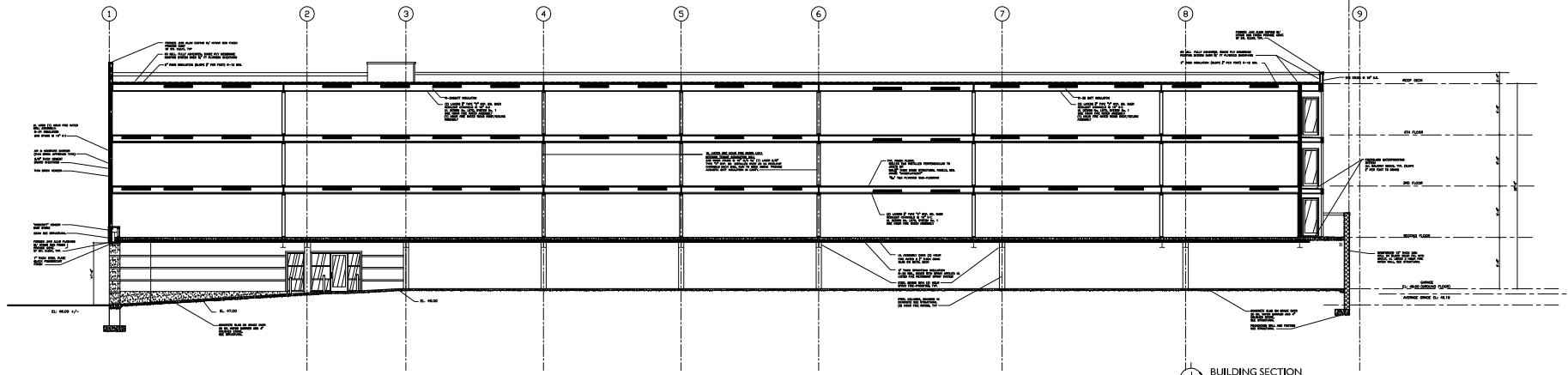
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**A3.0**





BUILDING SECTION  
SCALE: 3/16"=1'-0"

10-09-24, PROGRESS.

**EGHC**  
ARCHITECTS, LLC  
109 WEST LANCASTER AVE  
PHILADELPHIA, PA 19107  
(610) 542-7881

SHEET TITLE: **BUILDING SECTIONS**  
PROJECT: **11 SHURS LANE  
PHILADELPHIA, PA 19127**

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SHEET NO. **A3.1**

**11 SHURS LANE  
OCTOBER 7, 2024  
SUBMISSION TO PHILADELPHIA HISTORICAL COMMISSION**

# **EXHIBIT “1”**

# **STRUCTURAL ENGINEERING REPORT**

July 15, 2024

Mr. Andrew Langsam  
6060 Ridge Avenue  
Philadelphia, PA 19128

(sent via email)

Reference: **11 Shurs Lane (Manayunk), Phila., PA**  
**Existing Facade Wall/Building Structural Evaluation**  
**Structural Engineering Observation Report; DA No. 2024-000.99**

Dear Mr. Langsam:

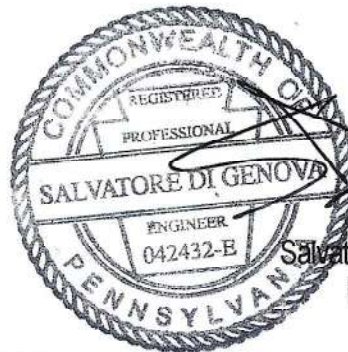
Per your request, this letter is being sent as a follow-up to our meeting with you and site visit, specifically to review the current conditions of the existing facade wall and building at the above referenced property.

We performed a "hands on" inspection of the stone facade wall and adjacent building that are located directly along Shurs Lane. The facade wall exhibits cracking and bulging throughout. There are "star-bolts and "bracing" - previous attempts to stabilize the wall. The adjacent remaining building, has had previous fire damage and partially burned down years ago.

Based on our site observations, our engineering judgment/analyses and professional opinion, we believe that both the facade wall and remaining building are in very poor structural condition. These current conditions do not allow for them to be salvaged or repaired. It will be a very unsafe condition to try to re-use any of these structures, and structurally not feasible, to incorporate them into the future new development planned at this location. We recommend that these exiting structures be removed in their entirety. As we discussed, as part of the planned development, the existing building facade can be replicated, but with new appropriate construction materials.

Mr. Langsam, I trust that this letter is useful for your purposes. Please do not hesitate to call if you have any questions regarding the above info or if you need anything else. Thank you.

Sincerely,



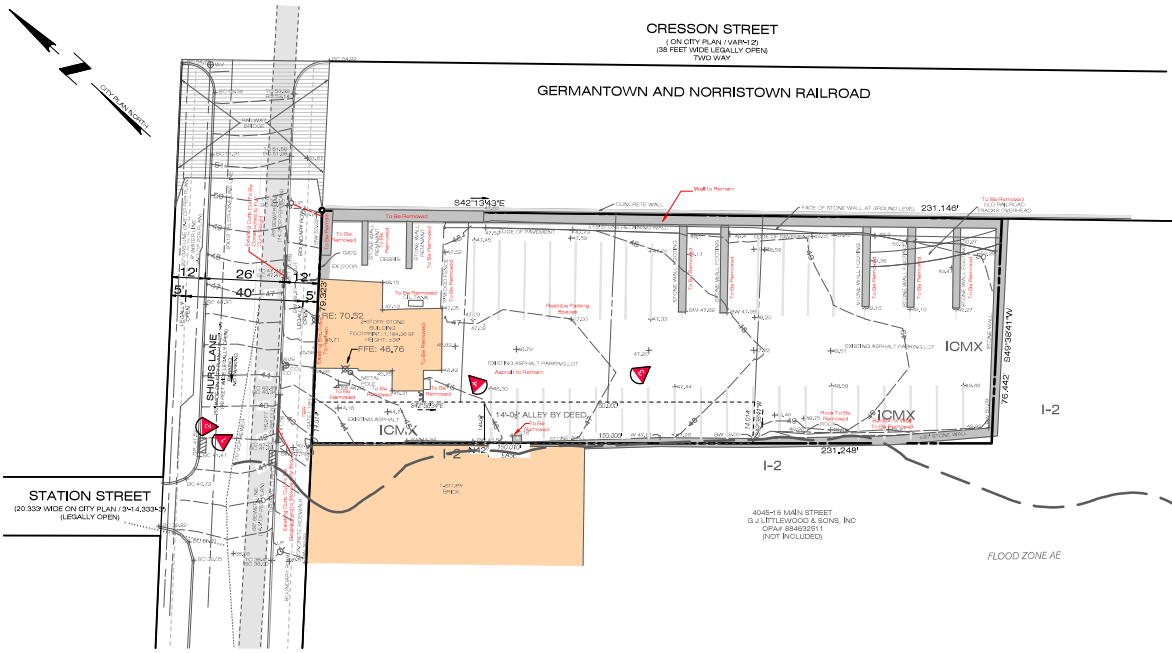
Salvatore Di Genova, P.E.  
PA P.E. # 042432-E

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**11 SHURS LANE  
OCTOBER 7, 2024  
SUBMISSION TO PHILADELPHIA HISTORICAL COMMISSION**

# **EXHIBIT “2”**

# **ZONING PLANS**



**STEEP SLOPE NOTE**  
ALL SLOPES ON THE SITE ARE LESS THAN 15%.

**LEGEND**

**EXISTING FEATURES**

- TELECOMMUNICATION MANHOLE
- WATER MANHOLE
- ELECTRICAL MANHOLE
- SANITARY MANHOLE
- CITY INLET
- FIRE HYDRANT
- WATER VALVE
- UTILITY POLE
- SEWER
- LIGHT STANDARD
- COMBINED SEWER
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD AERIAL LINE
- FENCE LINE
- EXISTING BUILDINGS
- ZONING BOUNDARY LINE

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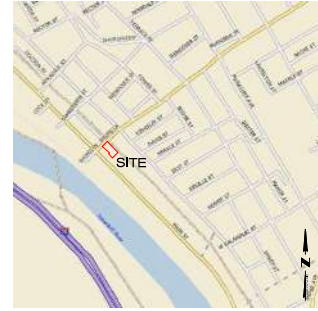
RETAINING WALL  
STEEP SLOPE 15-20%  
STEEP SLOPE >25%

**ICMX - INDUSTRIAL COMMERCIAL MIXED-USE ZONING CRITERIA**

| LOT REQUIREMENTS     | Required |
|----------------------|----------|
| Max. % Occupied Area | 100%     |
| Min. % Open Area     | 0%       |

| SUBMITTAL REQUIREMENTS | None required |
|------------------------|---------------|
| Sign                   | 0 / If used   |
| Rear Yard Setback      | 0 / If used   |
| Building Height        | 500'          |

- NOTES**
- Boundary and Location information is based on a field survey performed by Ruggiero Plante Land Design on December 21, 2021.
  - Boundary dimensions are identified in Philadelphia District Standard feet. Other stated dimensions are in U.S. standard feet.
  - The change from inches to the more precise decimal expression may result in round changes in the second and third decimal places. These are not mistakes or oversights but more precise values.
  - Vertical datum is NAVD 1983. The benchmark is "C-252" a standard brass disk set in a concrete retaining wall having an elevation of 41.29'. Located 0.25 miles southeast along the Reading Railroad from the Station at Manayunk, 59' southeast of the southeast abutment of the Rittenhouse Avenue underpass. If southeast of the southwest rail of the southwest set of tracks, set in the top end at the east corner of an offset in the concrete retaining wall around the two southwest legs of a metal pylon, 8.0' east to the more southeasterly of the two southwest legs of the pylon, 1.1' north of a metal fence post and about level with the track, Tri-Achene City datum, Subtract 4.81'.
  - The bearings shown herein are referenced from a "PLAN OF PROPERTY" made for Aaron Hart by Israel Beretta, Surveyor and Registrar of the Ninth Survey District of Philadelphia, dated August 1, 1966.
  - FEPA (RFR) map #A2075700893 effective January 17, 2007 designates the site as Zone X - Other Flood Area.
  - Some of site improvements such as buildings, curbing, and parking have been taken from aerial photographs, other plans and from public GIS sources.
  - Only above ground visible improvements have been located. The location of the underground utilities must be field verified by contractor before commencement of any construction.
  - The property is identified as within the Industrial Commercial Mixed-Use District (ICMX).



**UTILITY OWNERS**

DATE CONTACTED: December 13, 2021  
SERIAL NUMBER: 20213472676

COMPANY: COMCAST GABLEVIEW SEEN  
ADDRESS: 4400 WAYNE AVE  
PHILADELPHIA, PA 19140  
CONTACT: BOB HARVEY  
EMAIL: bob\_harvey@comcast.com

COMPANY: USBC  
ADDRESS: 450 S HENDERSON RD, SUITE B  
KING OF PRUSSIA, PA 19406  
CONTACT: GAVIN HEWITT  
EMAIL: gahewitt@usbc.com

COMPANY: PHILADELPHIA CITY WATER DEPARTMENT  
ADDRESS: 1101 MARKET STREET, 2ND FLOOR, 47A TOWER  
PHILADELPHIA, PA 19107  
CONTACT: ERIC HOWETT  
EMAIL: eric.howett@phila.gov

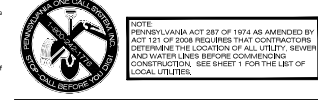
COMPANY: PHILADELPHIA CITY DEPARTMENT OF STREETS  
ADDRESS: 1407 JFF BLDG, ROOM 640 NBB  
PHILADELPHIA, PA 19102  
CONTACT: JOSEPH HISEL  
EMAIL: joseph.hisel@phila.gov

COMPANY: PHILADELPHIA GAS WORKS  
ADDRESS: 800 W MONTGOMERY AVE  
PHILADELPHIA, PA 19122  
CONTACT: JAMES BOCHANAN

COMPANY: SOUTHEASTERN PA TRANSPORTATION AUTHORITY  
ADDRESS: 1524 MARKET ST, 27TH FL  
PHILADELPHIA, PA 19107  
CONTACT: DAVID MONTYDAS  
EMAIL: smontydas@septa.org

COMPANY: VERIZON PENNSYLVANIA, L.L.C.  
ADDRESS: 185 BRIDGE BLVD, STE 2100 ROOM NA  
EXTON, PA 19341  
CONTACT: KELLY BLONETT  
EMAIL: kelley.blonett@verizon.com

**OWNER OF RECORD**  
11 SHURS LANE  
SMITH BROTHERS  
JAMES & LORNA AVE  
PHILADELPHIA, PA 19125



| REVISIONS |           |
|-----------|-----------|
| NO. 00001 | NO. 00001 |
| NO. 00002 | NO. 00002 |
| NO. 00003 | NO. 00003 |

**11 SHURS LANE**  
Philadelphia, PA 19127  
21ST WARD - OPA #884629701

prepared for:  
**Andrew Langsam**  
1257 Bobarn Drive  
Parr Valley, PA 19072

**DAVID J. PLANTE, Professional Engineer** PA, No. PE-043820-E

**Ruggiero Plante Land Design**  
5900 Ridge Avenue Philadelphia, PA 19128  
phone: 215.508.3600 fax: 215.508.8800 www.ruggieroplante.com

Plan Date: JANUARY 18, 2024  
Scale: 1" = 20'-0"  
20' 0" 10' 0" 0'

Sheet Title:  
**ZONING SUBMISSION**  
Sheet Title:  
**EXISTING CONDITION PLAN**  
Sheet 1 of 3



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4

**SOURCE OF TITLE**

Deed from C.O. Struss & Sons to Smith & Boyd, Inc., dated January 28, 1967, being recorded in the City of Philadelphia on January 29, 1967 as Document No. 901, Pg. 368.

**PLAN REFERENCES**

- PLAN OF PROPERTY made for Glenwies Corporation by Israel Beretta, Surveyor & Registrar of the 9th Survey District of Philadelphia dated December 21, 1964 and last revised by Vincent J. Collier on August 31, 1976.
- PLAN OF PROPERTY made by K.W. Grandlund, Surveyor & Registrar of the 8th Survey District of Philadelphia dated March 5, 1926.

**ZONING SCHEDULE**  
**ZONE: ICXW (INDUSTRIAL, COMMERCIAL MIXED-USE ZONING) (CIFA)**

ADJUTING ZONING DISTRICT: IC2 MEDIUM INDUSTRIAL  
 ZONING DISTRICT: ACROSS STREET (ICXW) INDUSTRIAL COMMERCIAL MIXED-USE

LOT AREA: 17,963 SF OR 0.4131 AC

USE: IMPED-USE

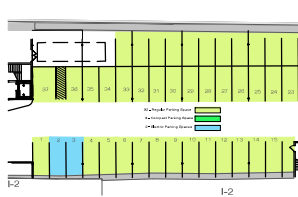
| ZONING DATA               | PERMITTED | PROP. LOT |
|---------------------------|-----------|-----------|
| MAX. % OCCUPIED AREA      | 100       | 81        |
| MIN. FRONT YARD (FT)      | 0 [0]     | 0         |
| MIN. SIDE YARD WIDTH (FT) | 8 [0]     | 0         |
| MIN. REAR YARD DEPTH (FT) | 8 [0]     | 0         |
| MAX. HEIGHT (FT)          | 38        | 38        |
| MAX. FLOOR AREA RATIO (%) | 500       | 249       |

Note: [3] Where the lots abut a residential district, front yards, side yards, and rear yards shall be provided on the lot on the side abutting the residential district. The minimum requirements for those yards shall be either those for the industrial district, or those for the residential district on the abutting side, whichever is larger.

**OCCUPIED AREA CALCULATIONS**

PROPOSED  
 LOT AREA: 17,963 SF  
 OCCUPIED AREA: 14,566 SF  
 % OCCUPIED AREA: 80.95  
 % OPEN AREA: 19.05

**PARKING KEY MAP**



**PARKING IN INDUSTRIAL DISTRICT (TABLE 14-300-2)**

RESIDENTIAL USE CATEGORY: MULTI-FAMILY  
 Required: 1/2 units  
 Total Number of Units = 42  
 Required Number of spaces = 21

RETAIL USE CATEGORY:  
 Required: 0 for first 2,000 SF  
 Total SF: 465 SF  
 Required Number of spaces = 0

Total spaces Required: 21  
 Total Proposed Spaces: 37  
 30+ Regular Parking Space  
 2+ ADA Spaces  
 2+ Compact Parking Space  
 2+ Decks Parking Spaces

**PARKING FOR PERSONS WITH DISABILITIES (TABLE 14-300-3)**

MULTI-FAMILY USE: Two percent of the parking spaces, but not less than one proposed parking space.  
 Required: 2% x 37 of proposed spaces = 0.74  
 Proposed: 2 proposed

**ELECTRIC VEHICLE PARKING SPACES (TABLE 14-300-3)**

Total Number of Spaces Proposed = 37  
 Total Number of Electric Spaces Required = 2  
 Total Number of Electric Spaces Provided = 2

**REQUIRED BIKE PARKING (TABLE 14-300-4)**

MULTI-FAMILY Building: 12 or More Dwelling Units  
 Required: 1 per every 3 DU's of Fraction Thereof  
 Total Number of Units = 42  
 Required Number Bicycle Parking = 14  
 Provided Bicycle Parking = 14

**COMPLETE STREETS ZONE REQUIREMENTS**

Shurs Lane Urban Arterial  
 Pedestrian = 4' Min. (Or half total sidewalk)  
 Building = No Min. Requirement  
 Furnishing = 4' Minimum

**STREET TREE PLANTING REQUIREMENT**

At least one tree per 35 feet of linear frontage, and provide at least 15 feet spacing between minimum space between the trunk.

| BOTANICAL NAME | COMMON NAME  | NOTES          | QUANTITY |
|----------------|--------------|----------------|----------|
| Populus nigra  | Black Willow | 2.5'-3' CM DBH | 2        |

All landscaping shall be in accordance with PCPC Recommended plant list.

**NEIGHBORHOOD COMMERCIAL AREA OVERLAY DISTRICT**

MIN STREET MAXWAY/INK AND VENICE ISLAND SUB AREA  
 (C) Height  
 (1) The height of the building may not exceed 38 ft.  
 (2) Addition to buildings in existence on July 1, 1997 that do not increase the floor area of the building by more than 10% may be built to a height not to exceed the existing building.  
 (d) Setbacks - not applicable to Subarea 6  
 (e) Parking in Subarea 6, pertaining to eating and drinking not applicable.

**INTERIOR LANDSCAPING (14-300-5)(1)**

10% of the interior surface parking lot. (Covered Parking Area excluded)  
 Total Open Area = 1,033 SF  
 Required Area = 1,033 SF 10 = 103 SF  
 Provided Area = 200.25 SF

**LANDSCAPING (14-300-5)**

1 Single Tree 200 SF  
 3 shrubs 200 SF  
 15 groundcover/perennials/200 SF  
 Provided Area = 200.25 SF

**REQUIRED BIKE PARKING (TABLE 14-300-4)**

MULTI-FAMILY Building: 12 or More Dwelling Units  
 Required: 1 per every 3 DU's of Fraction Thereof  
 Total Number of Units = 42  
 Required Number Bicycle Parking = 14  
 Provided Bicycle Parking = 14

**BUILDING IDENTIFICATION SIGN IN ICXW (TABLE 14-604-1)**

Allowed:  
 Maximum Number: 1 per frontage  
 Signage area: Lots with one building frontage: 3 sf per lin. ft. of building frontage  
 Maximum Height: The lower roof line or second floor window sill.  
 Permitted Sign Characteristics: Static Illumination, Animated Wall, and Mechanical Motion  
 Proposed:  
 Maximum Number: 1 per frontage  
 Signage Area Allowed: 70.52' x 26.44' = 1851.31 sq ft  
 Signage Area Proposed: 13,311 sq ft  
 Maximum Height: Lower Roof  
 \*Sign is shown on Front Elevation, Sheet 3 of 3.

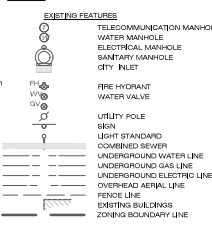
**CRESSON STREET**

(ON CITY PLAN VARI-18)  
 (8 FEET WIDE LEGALLY OPEN)  
 TWO-WAY

**NOTES**

- Boundary and Location information is based on a field survey performed by Ruggiero Plante Land Design on December 21, 2021.
- Boundary dimensions are identified in Philadelphia District Standard feet. Other stated dimensions are in U.S. standard feet.
- The change from inches to the more precise decimal expression may result in minor changes in the second and third decimal places. These are not mistakes or overights but more precise values.
- Vertical datum is NAD83 1929, the benchmark is 10259' is standard brass disk set in a concrete retaining wall, having an elevation of 81.29'. Located 0.20 miles southeast along the Reading Railroad from the Station at Manayunk, 50' southeast of the southeast abutment of the Norrisburg Avenue underpass, 9' southwest of the southwest end of the southeast set of tracks, set in the top and at the east corner of the southeast abutment of the Norrisburg Avenue underpass, 9' southwest of a metal sign, 8' east to the more southeasterly of the two southwest legs of the sign, 1.71 north of a metal fence post and abutment with the tracks. To Achieve City datum, Subtract 4.91'.
- The bearings shown herein are referenced from a PLAN OF PROPERTY made for Aaron Hart by Israel Serota, Surveyor and Registrar of the Ninth Survey District of Philadelphia, dated July 1, 1985.
- FEMA FIRM map #4207700695 effective January 17, 2007 designates the site as Zone X - Other Flood Area.
- Some off site improvements such as buildings, curbing, and parking have been taken from aerial photographs, other plans and from public GIS sources.
- Only above ground utility improvements have been located. The location of the underground utilities must be field verified by contractor before commencement of any construction.

**LEGEND**



**SOURCE OF TITLE**

Deed from C.O. Struve & Sons to Smith & Boyd, Inc., dated January 25, 1967, being recorded in the City of Philadelphia on January 26, 1967 as Document No. 301, Pa. 306.

**PLAN REFERENCES**

- PLAN OF PROPERTY made for Genesee Corporation by Israel Serota, Surveyor & Registrar of the 8th Survey District of Philadelphia dated December 21, 1984 and last revised by Vincent F. Collier on August 31, 1978.
- PLAN OF PROPERTY made by G.W. Dowland, Surveyor & Registrar of the 8th Survey District of Philadelphia dated March 5, 1928.

**PLANT LIST**

**TREES**

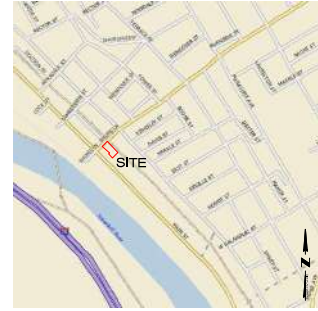
| CODE | BOTANICAL NAME | COMMON NAME     | SIZE            |
|------|----------------|-----------------|-----------------|
| 2 AG | Acer griseum   | Paperbark Maple | 2.5-3" Cal. B&B |

**SHRUBS/GRASSES**

| CODE | BOTANICAL NAME       | COMMON NAME   | SIZE   |
|------|----------------------|---------------|--------|
| 3 VD | Viburnum dentatum    | Viburnum      | 5 gal. |
| 3 AX | Abeloa x grandiflora | Glossy Abeloa | 5 gal. |

**PERENNIALS**

|       |                 |       |
|-------|-----------------|-------|
| 30 LM | Liriope muscari | 1' OC |
|-------|-----------------|-------|



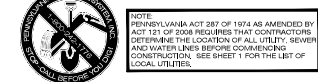
**UTILITY OWNERS**

- DATE CONTACTED: December 13, 2021  
 SERIAL NUMBER: 2021347295
- COMPANY: COMCAST GABLEVIEW SDN  
 ADDRESS: 4400 WAYNE AVE  
 PHILADELPHIA, PA 19140  
 CONTACT: BOB HARVEY  
 EMAIL: bob\_harvey@comcast.com
- COMPANY: USG  
 ADDRESS: 450 S HENDERSON RD, SUITE B  
 KING OF PRUSSIA, PA 19406  
 CONTACT: GAVIN HEWITT  
 EMAIL: gavin.hewitt@usg.com
- COMPANY: PHILADELPHIA CITY WATER DEPARTMENT  
 ADDRESS: 1101 MARKET STREET, 2ND FLOOR, AREA TOWER  
 PHILADELPHIA, PA 19107  
 CONTACT: ERIC HOWETT  
 EMAIL: eric.howett@phila.gov
- COMPANY: PHILADELPHIA CITY DEPARTMENT OF STREETS  
 ADDRESS: 1401 JEFFERSON ROOM 640 NBB  
 PHILADELPHIA, PA 19102  
 CONTACT: JOSEPH HEBEL  
 EMAIL: joseph.hebel@phila.gov
- COMPANY: PHILADELPHIA GAS WORKS  
 ADDRESS: 800 W MONTGOMERY AVE  
 PHILADELPHIA, PA 19122  
 CONTACT: JAMES BOCHANAN
- COMPANY: SOUTHEASTERN PA TRANSPORTATION AUTHORITY  
 ADDRESS: 1234 MARKET ST, 12TH FL  
 PHILADELPHIA, PA 19107  
 CONTACT: DAVID MONTYVON CAS  
 EMAIL: smontyvsd@septa.org
- COMPANY: VERIDON PENNSYLVANIA, L.L.C.  
 ADDRESS: 180 S BRIDGE BLVD, STE 2100 ROOM NA  
 EXTON, PA 19341  
 CONTACT: KELLY BLATT  
 EMAIL: kblatt@septa.net

**OWNER OF RECORD**

11 SHURS LANE  
 21ST WARD - OPA #884629701

prepared for:  
 Andrew Langsam  
 1257 Bobam Drive  
 Penn Valley, PA 19072



| REVISIONS                   |
|-----------------------------|
| 1. 02/03/24 ZONING COMMENTS |
| 2. 02/03/24 ZONING COMMENTS |
| 3. 02/03/24 ZONING COMMENTS |

**11 SHURS LANE**  
 Philadelphia, PA 19127  
 21ST WARD - OPA #884629701

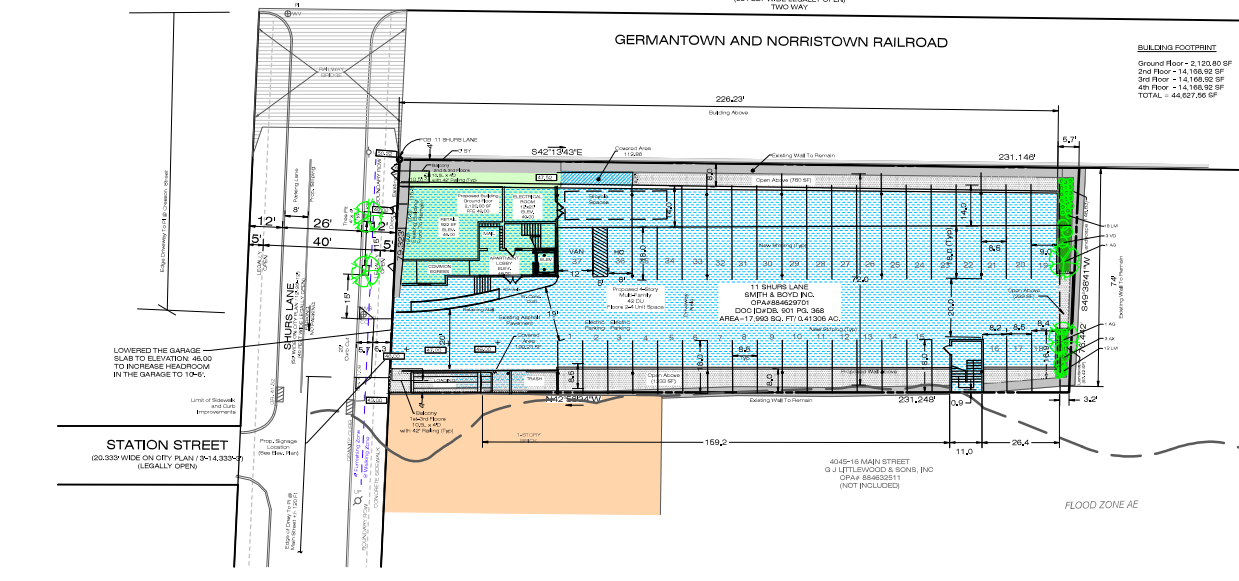
Scale: 1" = 20'-0"  
 JANUARY 16, 2024

Sheet Title:  
**ZONING SUBMISSION**  
 Sheet Title:  
**SITE PLAN**  
 Sheet 2 of 3

Ruggiero Plante Land Design  
 5900 Ridge Avenue Philadelphia, PA 19128  
 phone: 215.508.3000 fax: 215.508.3800 www.ruggieroplante.com



15' x 15' root ball shall be provided for deciduous trees planted in accordance with the following minimum requirements:  
 - Trunk: 2.5" - 3" Cal. B&B  
 - Canopy: 15' - 20' spread  
 - Soil: 18" depth of soil  
 - Mulch: 2" depth of mulch  
 - Fertilizer: 10 lbs of fertilizer

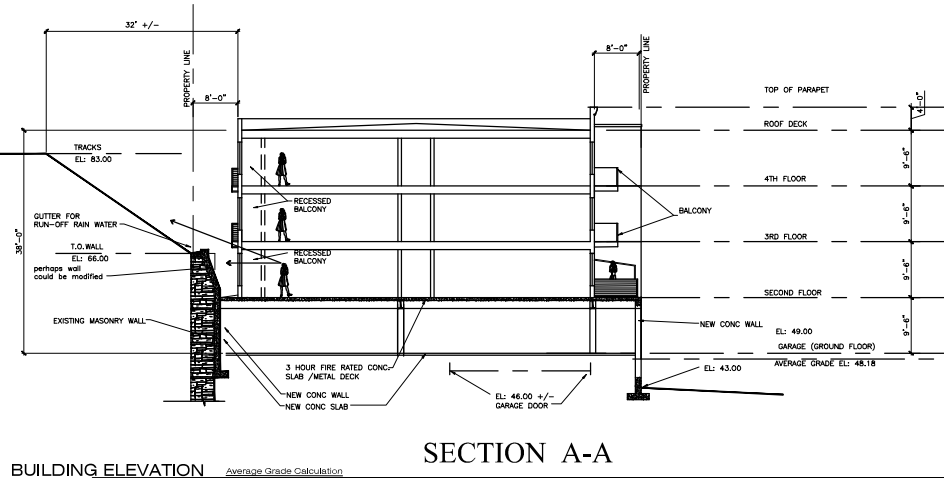


**BUILDING FOOTPRINT**

Ground Floor = 2,120.80 SF  
 2nd Floor = 14,193.92 SF  
 3rd Floor = 14,193.92 SF  
 4th Floor = 14,193.92 SF  
 TOTAL = 44,627.56 SF

**FLOOD ZONE AE**

4048-S MAIN STREET  
 Q J LITTLEWOOD & SONS, INC  
 ONAF 884625511  
 (NOT INCLUDED)



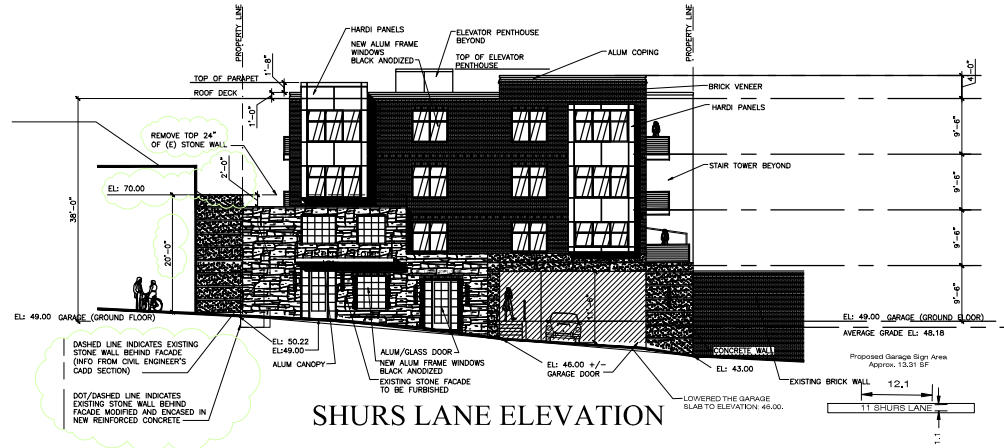
**BUILDING ELEVATION**

Scale: 1" = 10'-0"

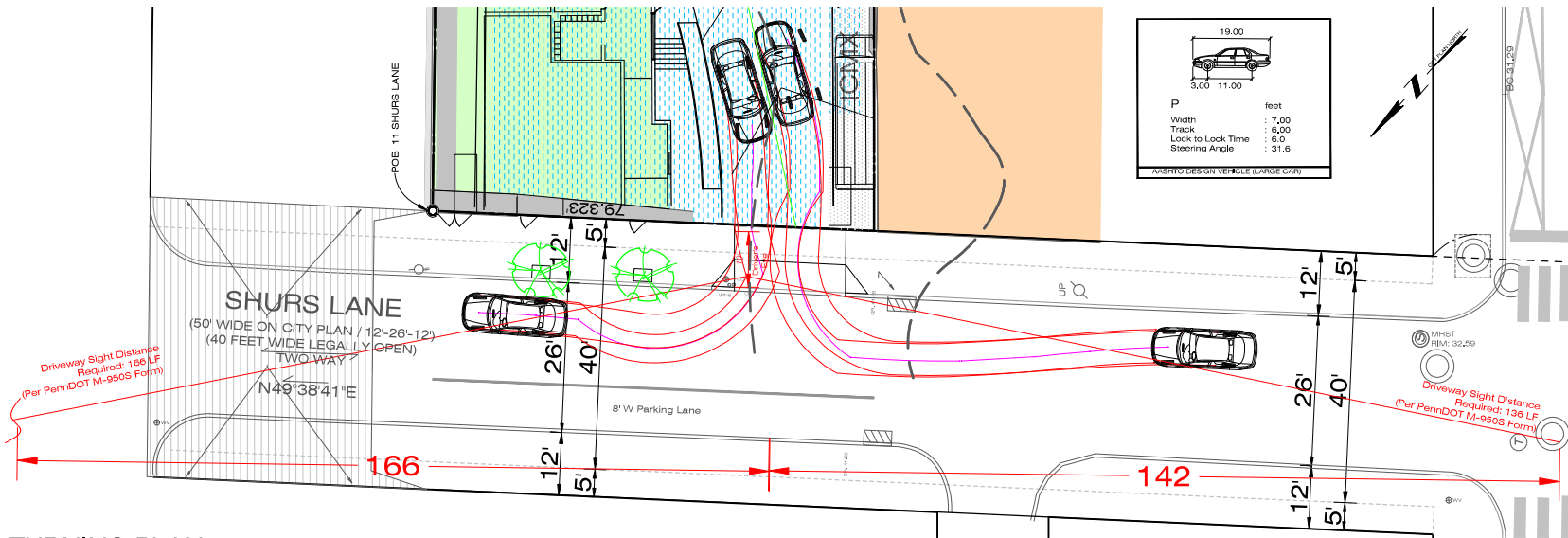
Average Grade Calculation

|           |        |
|-----------|--------|
| +         | 42.75  |
| +         | 49.45  |
| +         | 50.27  |
| +         | 182.70 |
| Σ = 49.18 |        |

**SECTION A-A**



**SHURS LANE ELEVATION**



**TURNING PLAN**

NOTE: PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 121 OF 2008 REQUIRES THAT CONTRACTORS DETERMINE THE LOCATION OF ALL UTILITY, SEWER AND WATER LINES BEFORE COMMENCING CONSTRUCTION. SEE SHEET 1 FOR THE LIST OF LOCAL UTILITIES.

| ISSUE NO. | DATE | REVISIONS |
|-----------|------|-----------|
|           |      |           |
|           |      |           |
|           |      |           |

**11 SHURS LANE**  
 Philadelphia, PA 19127  
 21ST WARD - OPA #884629701

prepared for:  
 Andrew Langsam  
 1257 Bobam Drive  
 Penn Valley, PA 19072

**DAVID J. PLANTE, Professional Engineer** PA, No. PE-043820-E

**Ruggiero Plante Land Design**  
 5900 Ridge Avenue Philadelphia, PA 19128  
 phone: 215.508.2600 fax: 215.508.8800 www.ruggieroplante.com

Plan Date: **JANUARY 18, 2024** Scale: 1" = 20'-0"

Sheet Title:  
**ZONING SUBMISSION**  
 Sheet Title:  
**BUILDING ELEVATION AND TURNING PLAN**  
 Sheet 3 of 3

**11 SHURS LANE  
OCTOBER 7, 2024  
SUBMISSION TO PHILADELPHIA HISTORICAL COMMISSION**

# **EXHIBIT “3”**

# **3D RENDERINGS**





designblendz

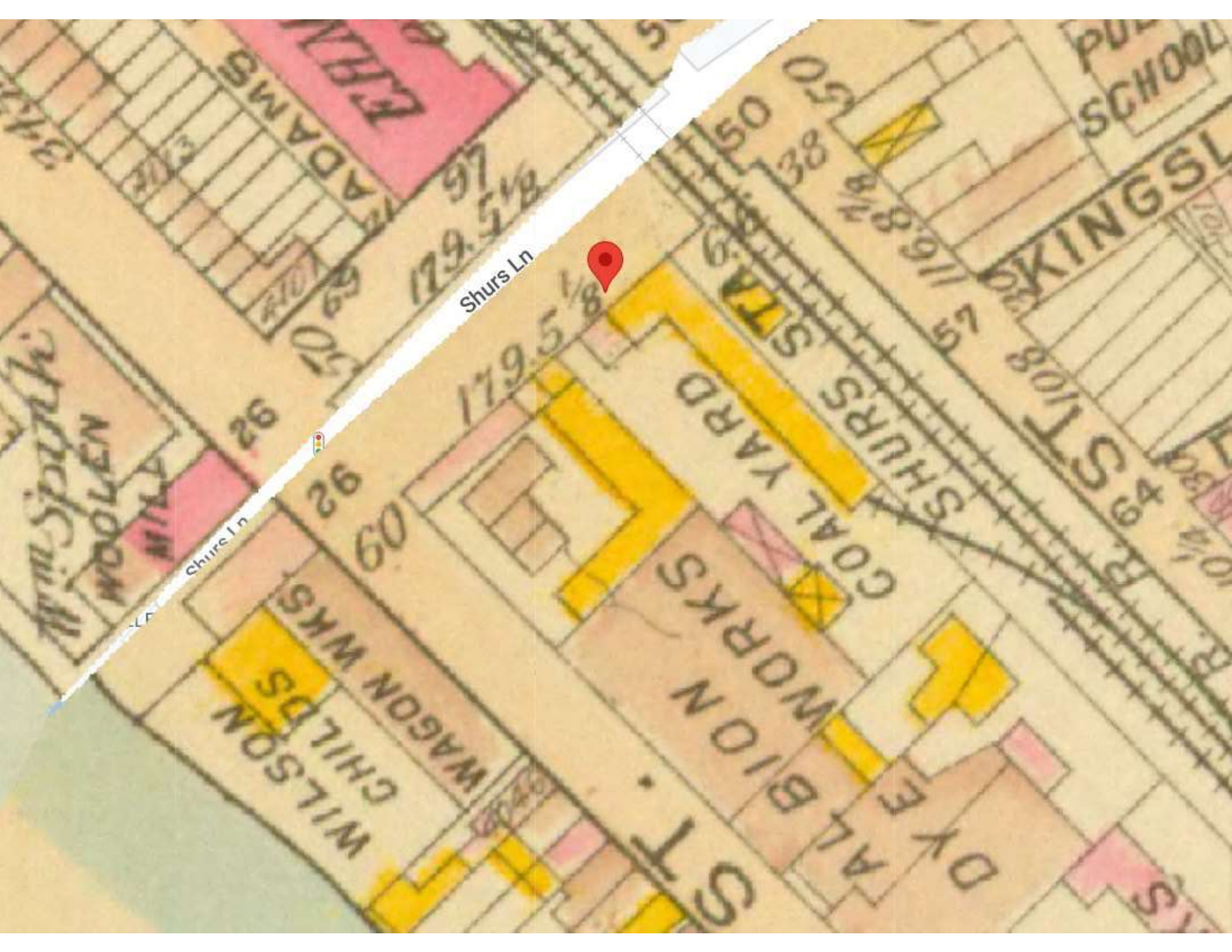


designblendz

**11 SHURS LANE  
OCTOBER 7, 2024  
SUBMISSION TO PHILADELPHIA HISTORICAL COMMISSION**

# **EXHIBIT “4”**

# **1910 ATLAS MAP**



Shurs Ln



Shurs Ln

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WILSON  
CHILD'S  
WAGON WKS

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ST 150

PULP  
SCHOOL

ADAMS  
FERRIS

**11 SHURS LANE  
OCTOBER 7, 2024  
SUBMISSION TO PHILADELPHIA HISTORICAL COMMISSION**

# **EXHIBIT “5”**

# **1959 PHILADELPHIA INQUIRER ARTICLE**

1,  
a. **COALYARD BURNS**

c- Earlier, a three-alarm fire  
is raged through a Manayunk coal-  
d yard, blanketing the area with a  
pall of dense black smoke and  
c- blocking traffic for more than an  
n hour.

s. The fire which began at the  
n C. O. Struse and Sons Co. at  
t 4:17 P. M. destroyed a frame  
structure and damaged portions  
r of 15 coal silos. Large quantities  
s of lime and cement were ruined  
d by water.

d Detours were set up on Main  
st. at the height of the blaze.

**11 SHURS LANE  
OCTOBER 7, 2024  
SUBMISSION TO PHILADELPHIA HISTORICAL COMMISSION**

# **EXHIBIT “6”**

# **PHOTOGRAPHS OF EXISTING SITE LOCATIONS TAKEN 10-1-2024**















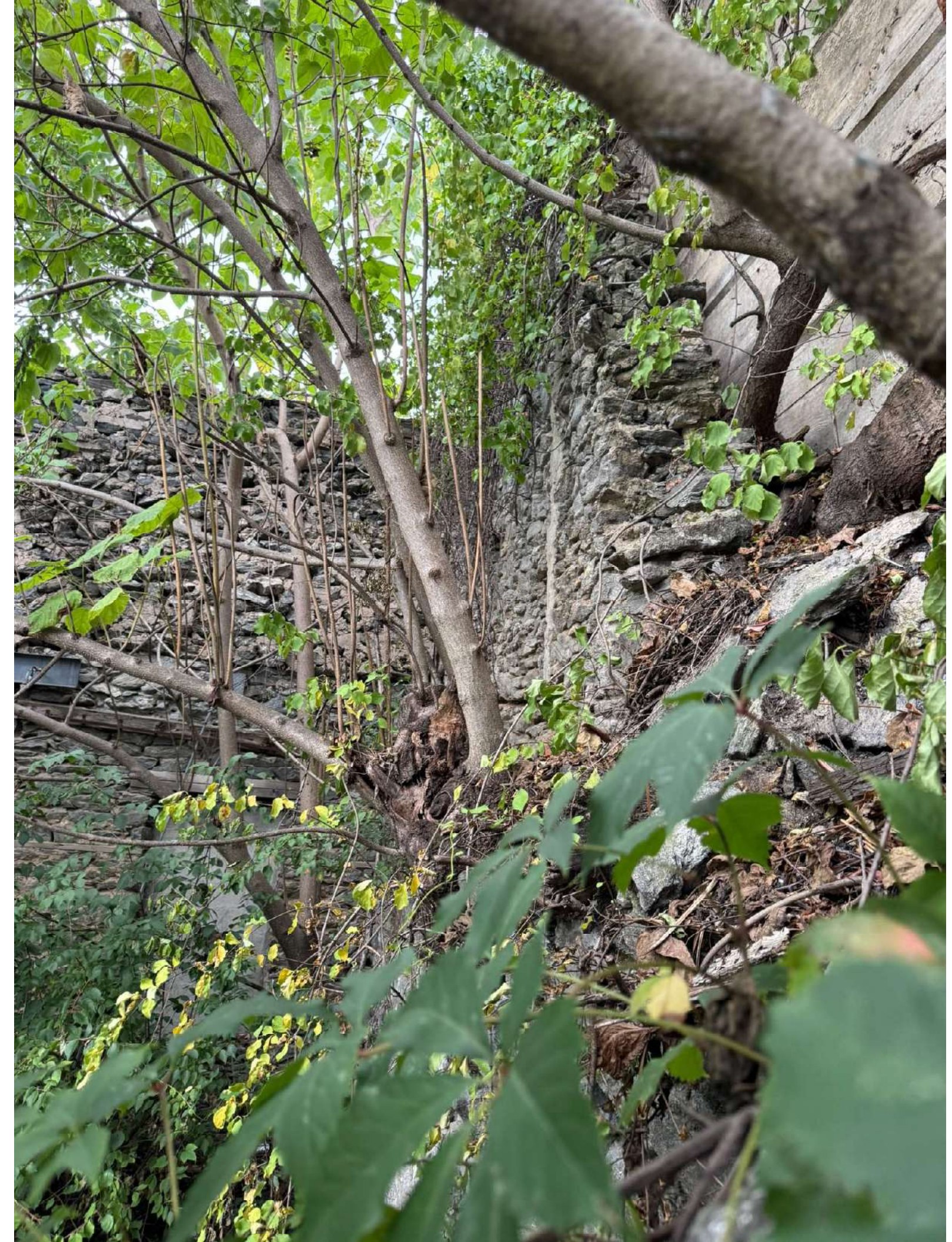


















PENNSYLVANIA  
MDA-6467  
www.pa.gov













The building is a two-story structure with a grey stucco exterior. The upper story features a large, multi-paned window with a white frame. The lower story has a window with black metal bars and a door completely covered in light-colored plywood. A small, black outdoor light fixture is mounted on the wall to the right of the boarded-up door. The roof is dark and appears to be made of asphalt shingles, with a small, square vent or light fixture protruding from the peak. The building shows signs of age and neglect, with some peeling stucco and overgrown vegetation on the right side.

A weathered wooden fence runs along the right side of the building. The fence is made of vertical wooden planks and is heavily overgrown with green ivy and other climbing plants. The fence appears to be made of old, greyed wood. In the background, behind the fence, there are more trees and a glimpse of another building with a corrugated metal roof.

The foreground consists of a dark asphalt surface, likely a parking lot or driveway. There is a white number '3' painted on the asphalt in the lower-left corner. The ground is somewhat uneven, with some gravel and debris scattered near the base of the fence and building.

In the background, to the left, there is a brick building with a white roof. Further back, there are green trees and a hillside under a cloudy sky.

The sky is filled with heavy, grey, overcast clouds, creating a somber and dramatic atmosphere. The clouds are dense and cover most of the upper half of the image.



NOTICE  
This building is  
under construction  
and is not to be  
entered.







PLANNING PERMIT DAY  
at  
Pay the **Permit** App  
...  
**CALL US AT 214-242-2424**  
...  
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