

**ADDRESS: 248 N LAWRENCE ST**

Proposal: Construct 5-story condo building on vacant lot

Review Requested: Review and Comment

Owner: Gianni Pignetti

Applicant: Joseph Jancuska, j2a Architects

History: Vacant Lot

Individual Designation: None

District Designation: Old City Historic District, Non-contributing, 12/12/2003

Staff Contact: Heather Hendrickson, [heather.hendrickson@phila.gov](mailto:heather.hendrickson@phila.gov)

**OVERVIEW:** This application proposes to construct a five-story condominium building with pilot house and roof deck on a vacant lot at 248 N. Lawrence Street in the Old City Historic District. This lot was vacant when the Old City Historic District was designated in 2003 and was classified as non-contributing. It is an undeveloped site. In cases such as this, the Architectural Committee and Historical Commission are entitled to “review and comment” jurisdiction only.

**SCOPE OF WORK:**

- Construct five-story condo building on vacant lot

**STANDARDS FOR REVIEW:**

The Secretary of the Interior’s Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
  - The proposed building would be more compatible with the Old City Historic District if the primary façade color is changed from white to red to reflect the brick red in the area, the height of the front of the building is more in keeping with the neighboring historic building and another material instead of vinyl siding was chosen for the side elevations such as cement fiber board, brick veneer, or a dark stucco.

**STAFF RECOMMENDATION:** The staff comments that the proposed construction at 248 N. Lawrence Street should be revised as suggested to be compatible with the Old City Historic District, pursuant to Standard 9.



715 s. 3<sup>rd</sup> street Philadelphia, PA  
13 Farm Ave Wilmington, DE 19810

AUGUST 7, 2024

TO: Philadelphia Historic Commission  
Project location : 248 N. Lawrence Street. Philadelphia, PA  
Date: August 7, 2024  
Re: Design Review for new multi-story building

This letter serves as application and submission for the August design review meeting.

The following items as requested are provided.

1. Project address. 248 N. Lawrence Street Philadelphia, PA
2. Applicant name and contact information.  
**Joseph Jancuska R.A. j2a Architects**  
13 Farm Ave Wilmington, DE 19810  
[J2aarchitects@comcast.net](mailto:J2aarchitects@comcast.net)
3. Project description  
The site is currently a vacant lot zoned for multi family use  
The project is not phased and will be built as a single stand alone structure  
5 Story condo building, 5 unit, condo building with 5 separate users.
4. See attached zoning plan for photos of the property
5. See attached architectural plans
6. Requirements per section 6.7
  - 6.7a Application to Philadelphia historic committee made through this email.
  - 6.7b. The application serves as our cover letter
  - 6.7c. The lot is vacant and not historic documentation exist for this site.
  - 6.7d. This is a vacant lot, no demolition will occur.
  - 6.7e. See attached plans and elevations, to scale, for proposed work for new construction
  - 6.7f. No existing interior work will be part of this application. Location is a vacant lot
  - 6.7g. No items are to be replaced. This is a new build on a vacant lot
  - 6.7h. See attached manufacturers specifications for exterior materials attached
  - 6.7i. No claim for financial hardship

- 6.7j. No claim for financial hardship.
- 6.7k. No claim for necessity in the public interest

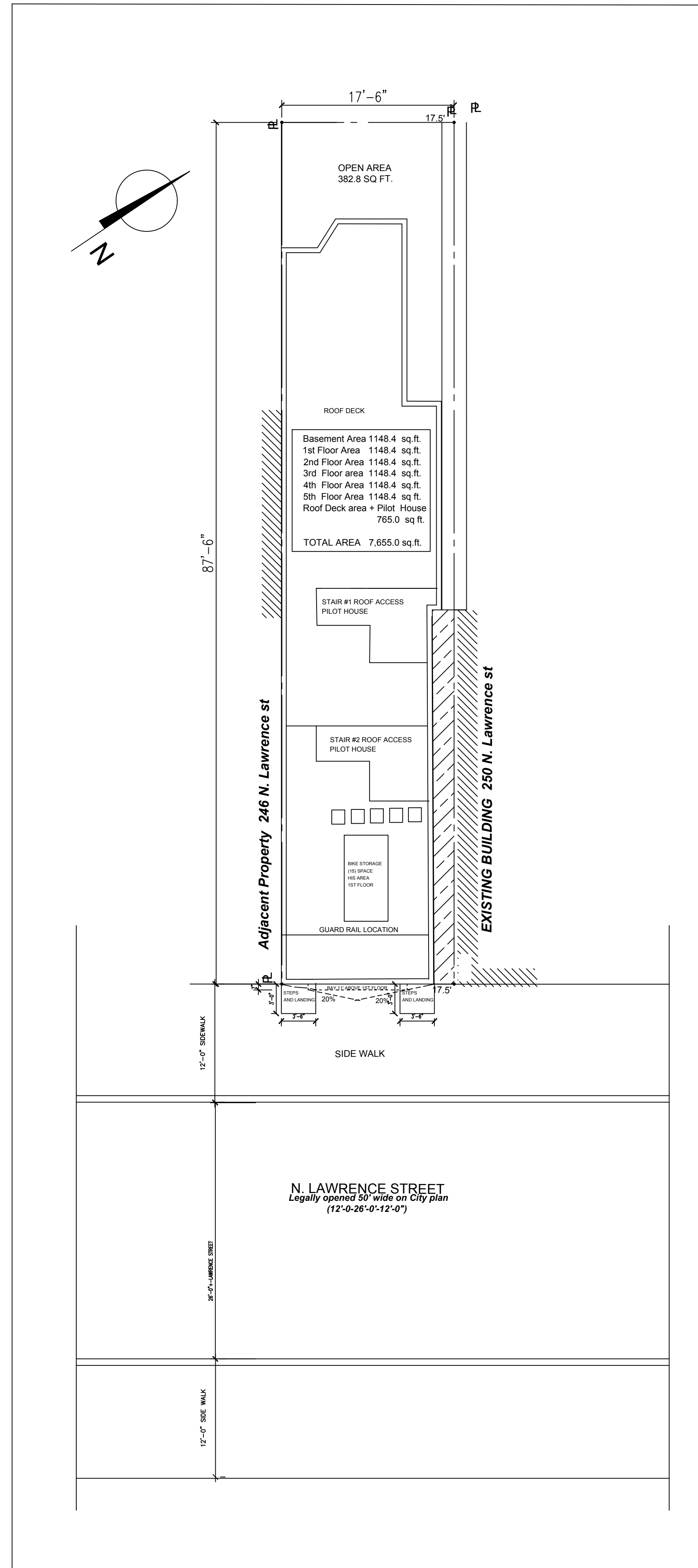
- 7. See following attachments for review
  - a. Zoning plan
  - b. Site and location photos
  - c. Proposed floor plans
  - d. Proposed elevations
  - e. Proposed building materials.

Thank you for your consideration in this review and look forward to meeting to further discuss this application.

Sincerely,

Joseph Jancuska R.A.

# Supplemental submission from Applicant



**Zoning Site Plan** Scale 1/8" - 1'-0"

ZONING SUMMARY	
Zoning District	CMX-3
Existing Use: Vacant lot	
Proposed Use	5 RESIDENTIAL UNITS
<b>Zoning Requirements</b>	
Lot building coverage	75%
Lot area	1531.25
Front Yard	N/A
Side Yard	N/A
Rear Yard	N/A
Allowable building hgt base code	N/A
Actual lot size	1531.25 sq ft
<b>OVERLAY DISTRICT CONTROLS</b>	
CC Commercial District control area	N/A
CC Residential District control area	N/A
Old City Residential supplemental use controls	Allowable hgt 65' Actual 60'
CC Vine street Area (Sign controls)	N/A
CC Old City Residential area	N/A
CC Old City Residential Controls	N/A
NIS Narcotics injection site	N/A
<b>Existing Use:</b> Vacant lot	
<b>Proposed Use</b>	5 UNIT Residential Building
<b>PARKING</b>	1.5 Spaces Required
Parking bonus for bike storage	0 Provided
Bicycle space (ground level interior)	15 Provided
<b>Open area required 25% 1531,25 lot size x .25</b>	
Occupied area Max. 75%	382.8 sq ft required 1148.4 sq ft max. allowed
Rear yard required	0 ft
Front yard required	0 ft
Lot width	N/A
Gross Floor area allowed	500% lot area 7,656.25 sq ft
Occupied area of lot 75%	716 sq ft
<b>Basement Area</b> 1148.4 sq.ft.	
<b>1st Floor Area</b> 1148.4 sq.ft.	
<b>2nd Floor Area</b> 1148.4 sq.ft.	
<b>3rd Floor area</b> 1148.4 sq.ft.	
<b>4th Floor Area</b> 1148.4 sq.ft.	
<b>5th Floor Area</b> 1148.4 sq ft.	
<b>Roof Deck area + Pilot House</b> 765.0 sq ft.	
<b>TOTAL AREA</b> 7,655.0 sq.ft.	

- DEVELOPER OWNER WILL COMPLY WITH ALL PHILADELPHIA REGULATIONS PERTAINING TO PROPER ABANDONMENT AND OR REUSE OF WATER SERVICE LINES AND SEWER LATERALS. PROOF OF ABANDONMENT AND OR WATER DISCONTINUANCE MUST BE PROVIDED UPON REQUEST. OWNER TO BE RESPONSIBLE FOR ALL FUTURE MAINTENANCE OF ALL WATER AND SEWER SERVICES.
  - THERE WILL BE NO PROPOSED UTILITY EASEMENT
  - THERE WILL BE NO PROPOSED CRANE
  - THERE WILL BE NO PROPOSED STOCK PILE
  - THERE WILL BE NO PROPOSED CONSTRUCTION SITE ENTRANCE
- REGISTERED COMMUNITY ORGANIZATION  
FRANKLIN BRIDGE NORTH NEIGHBORHOOD INC  
PLANNING DISTRICT: CENTRAL

### General Notes

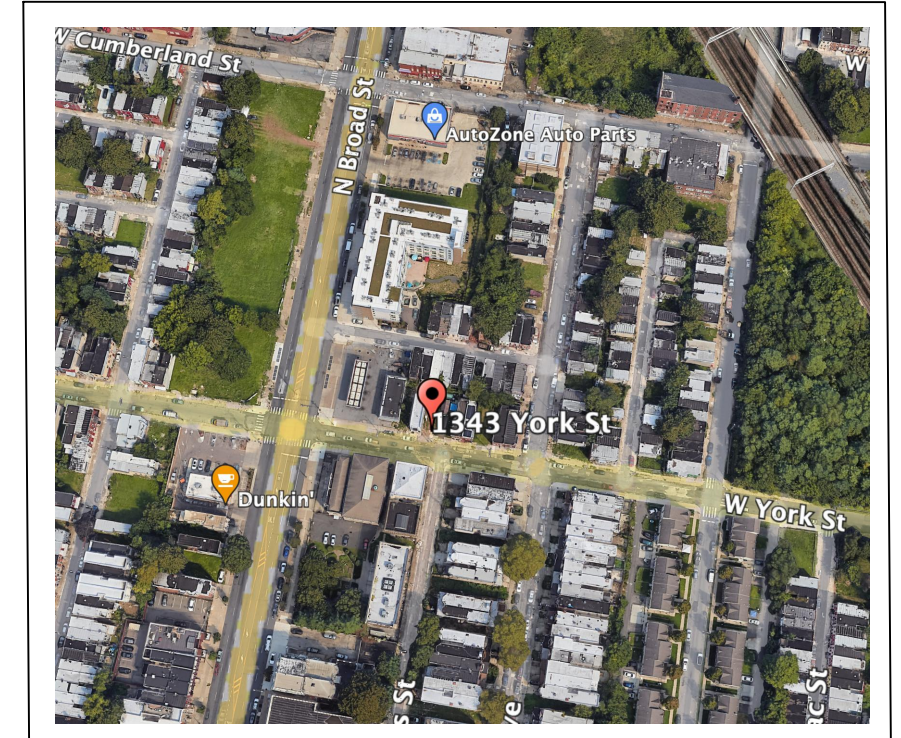
PA ONE 800-242-1776 CALL REQUIRED 3 DAYS PRIOR  
SERIAL NO. 22024 246 1826

**Zoning Plan** 248 N. LAWRENCE ST  
Philadelphia, PA

**j2a ARCHITECTS LLC**  
Contact: 302 373 6345 Design Professional Contact Joseph Jancuska

**owner:** Grand Capitol LLC  
Barry Hoffman

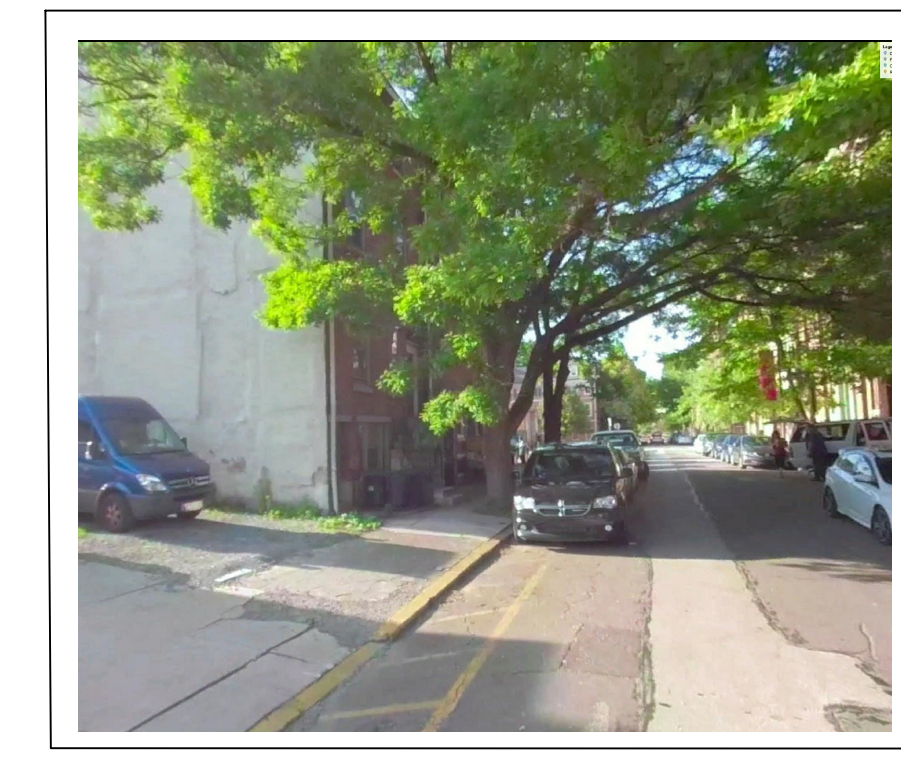
ISSUED FOR ZONING	SCALE 0 5' 10' 15' 20'	Submission date August 3, 2024
CHECKED BY		DRAWING NO. <b>Z-1</b>
PROJECT NO. Z-2024-1-248		



Location Map



Street View South



Street View North

248 N. Lawrence Street  
Philadelphia, Pa

**j2a**

**ARCHITECTS**

13 FARM AVE WILMINGTON DELAWARE 19810  
715 S. 3RD PHILADELPHIA, PA 302.373.6345

### ZONING PLAN

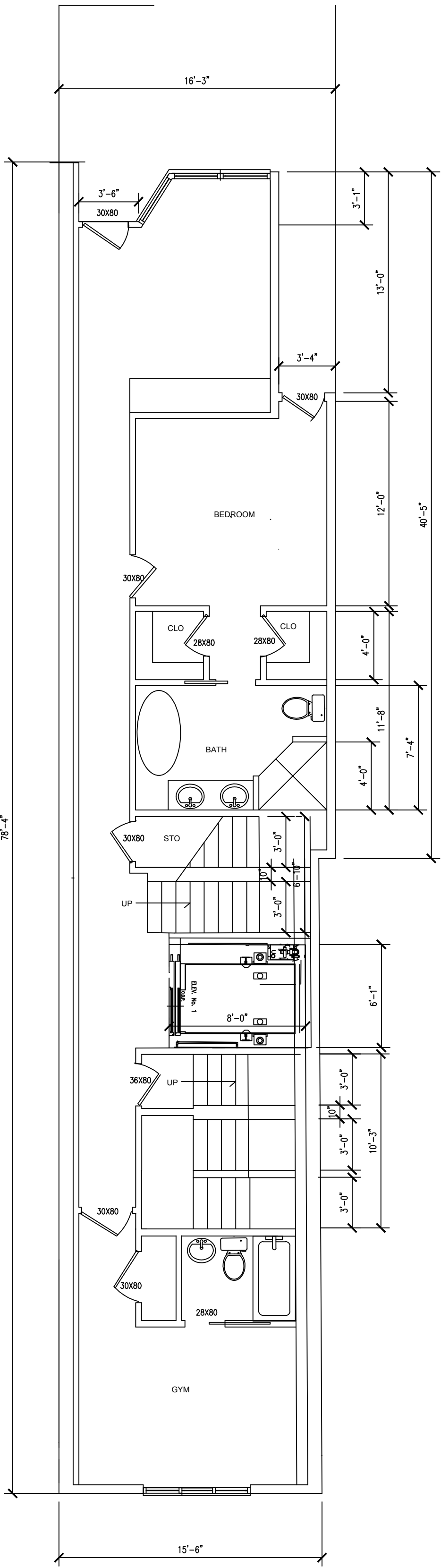
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NO	DATE

DATE AUGUST 2, 2024  
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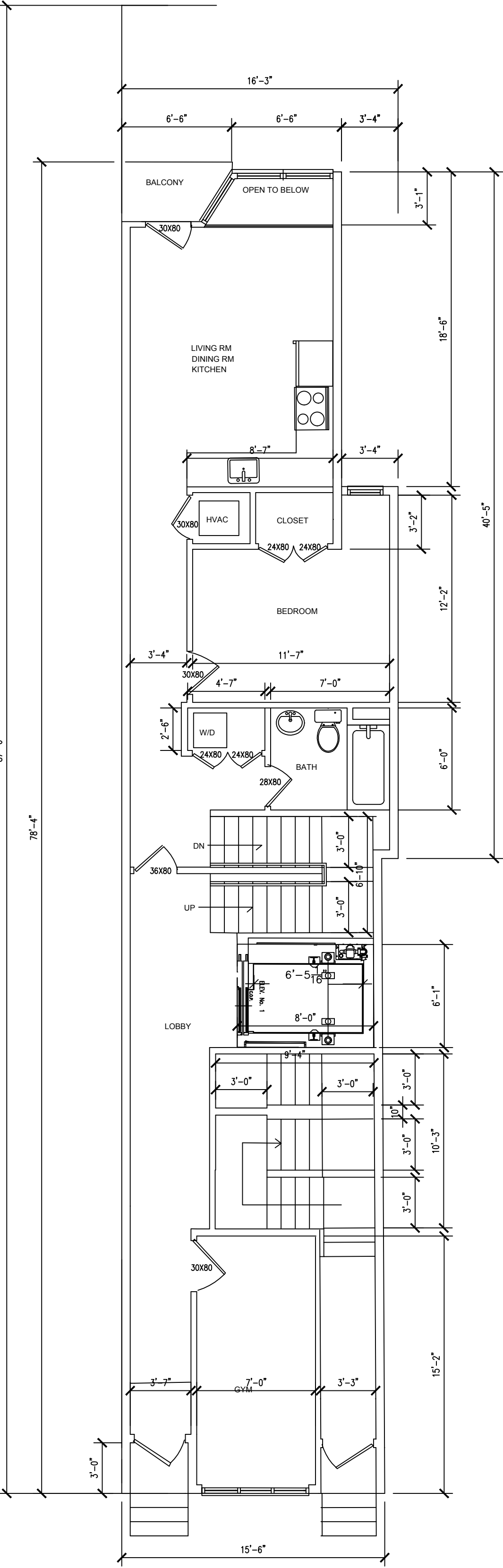
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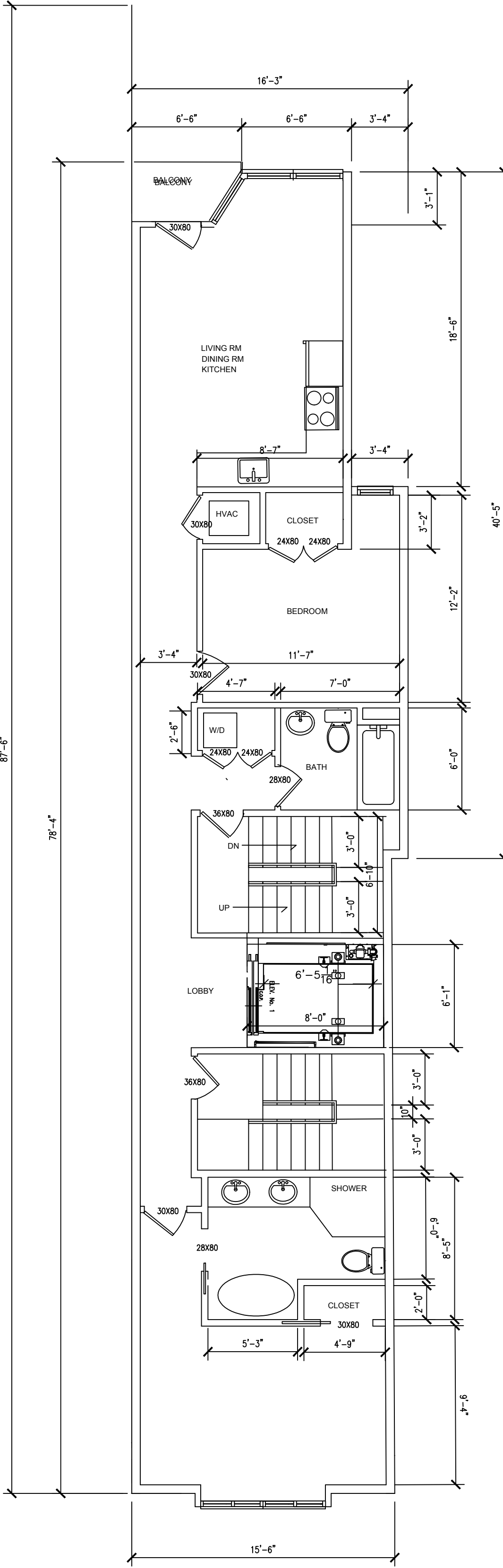
Basement Plan

SCALE 3/16" = 1'-0"



First Floor Plan

SCALE 3/16" = 1'-0"



Second Floor Plan

SCALE 3/16" = 1'-0"

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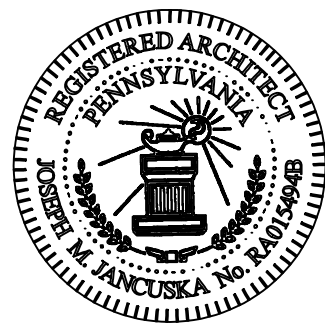


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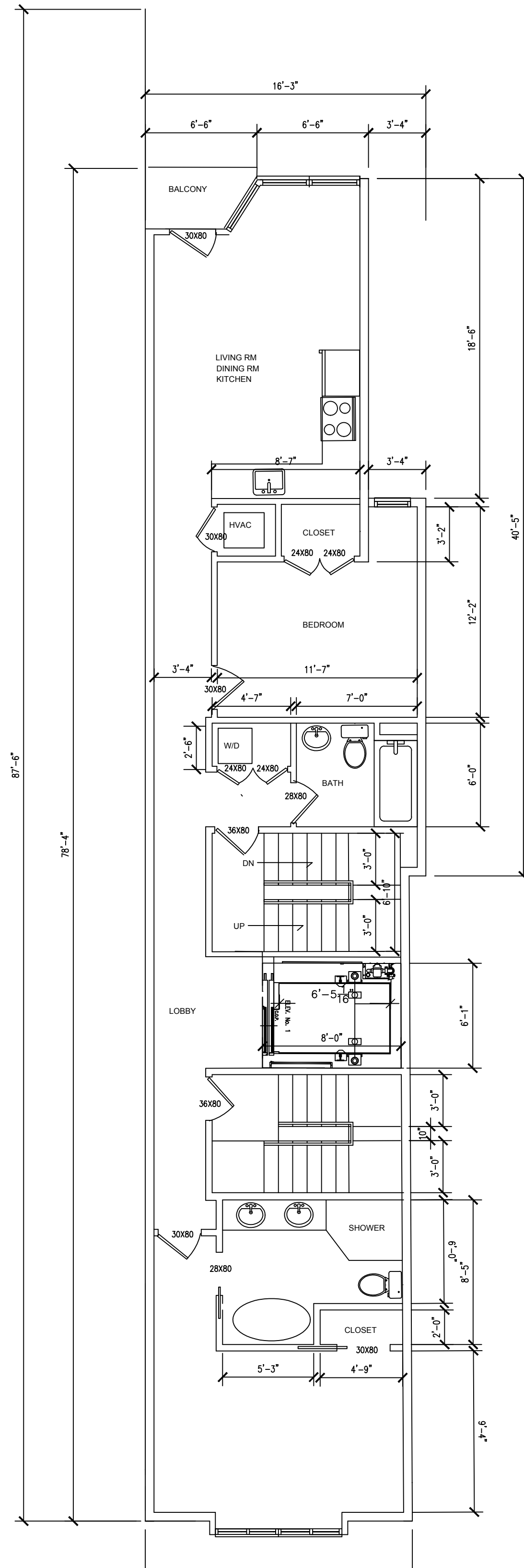
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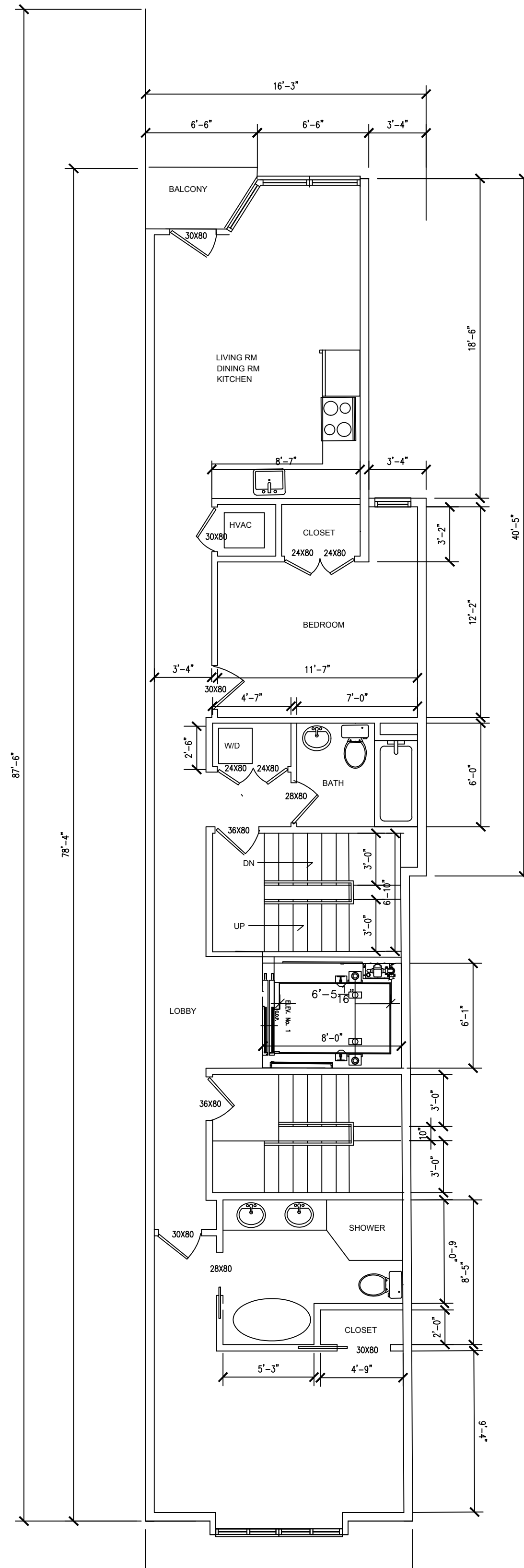
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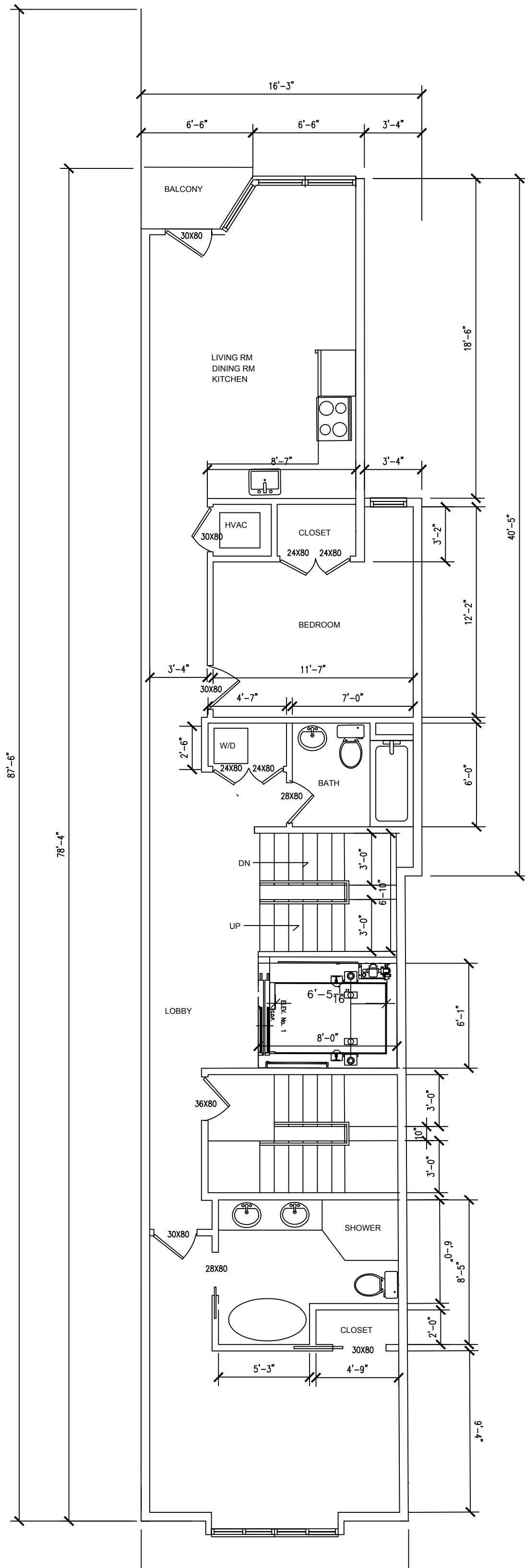
3rd Floor Plan

SCALE 3/16" = 1'-0"



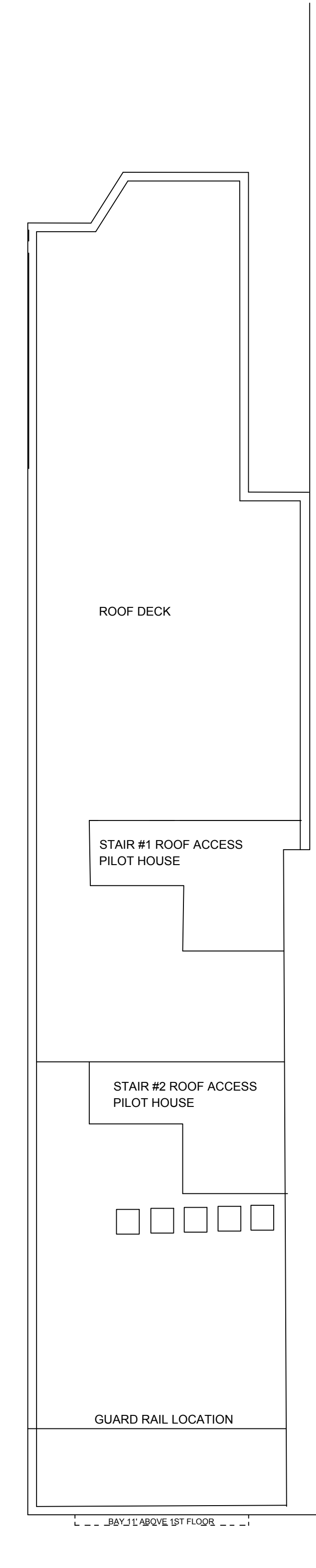
4th Floor Plan

SCALE 3/16" = 1'-0"



5th Floor Plan

SCALE 3/16" = 1'-0"



Roof Plan

SCALE 3/16" = 1'-0"

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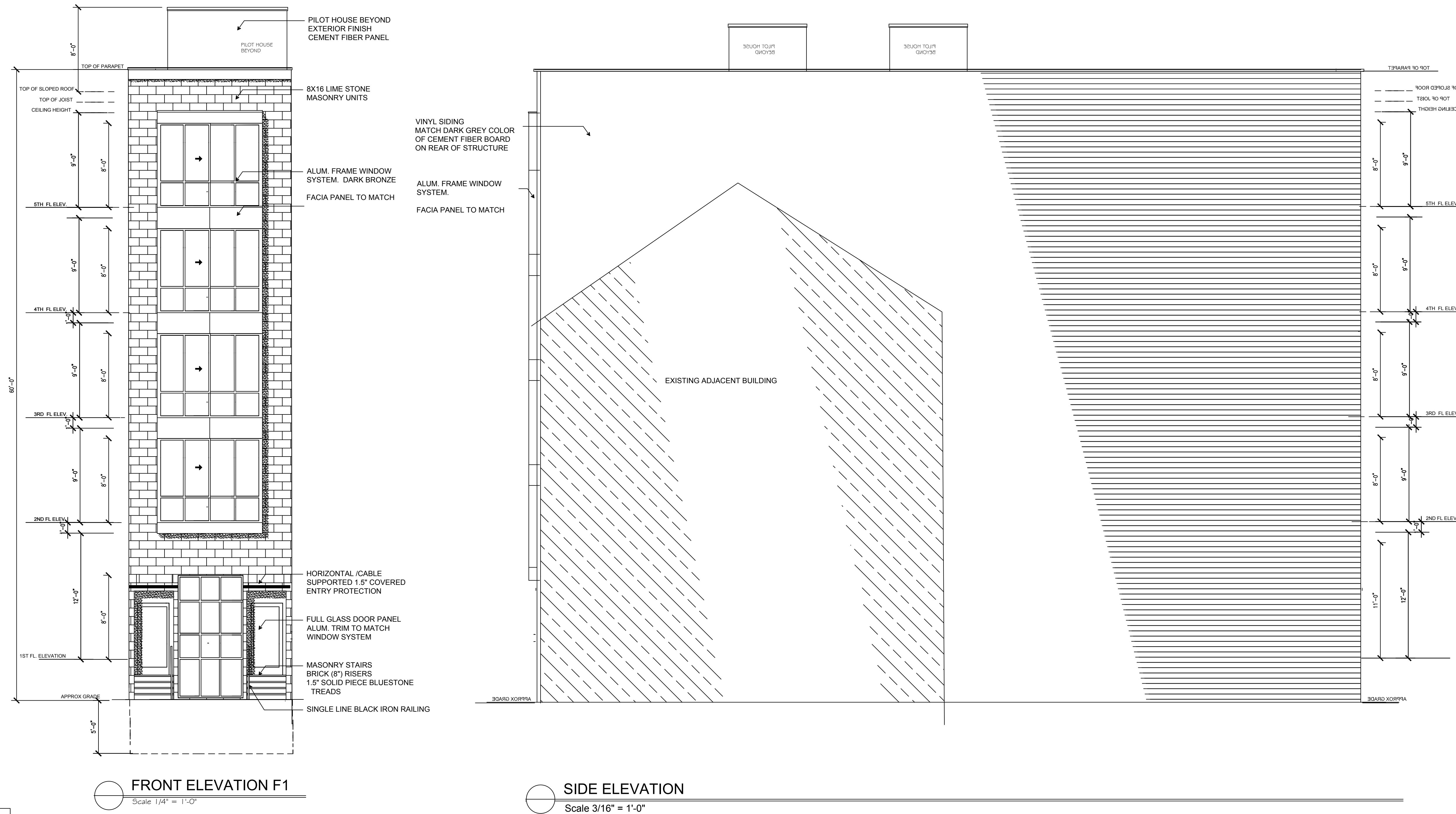
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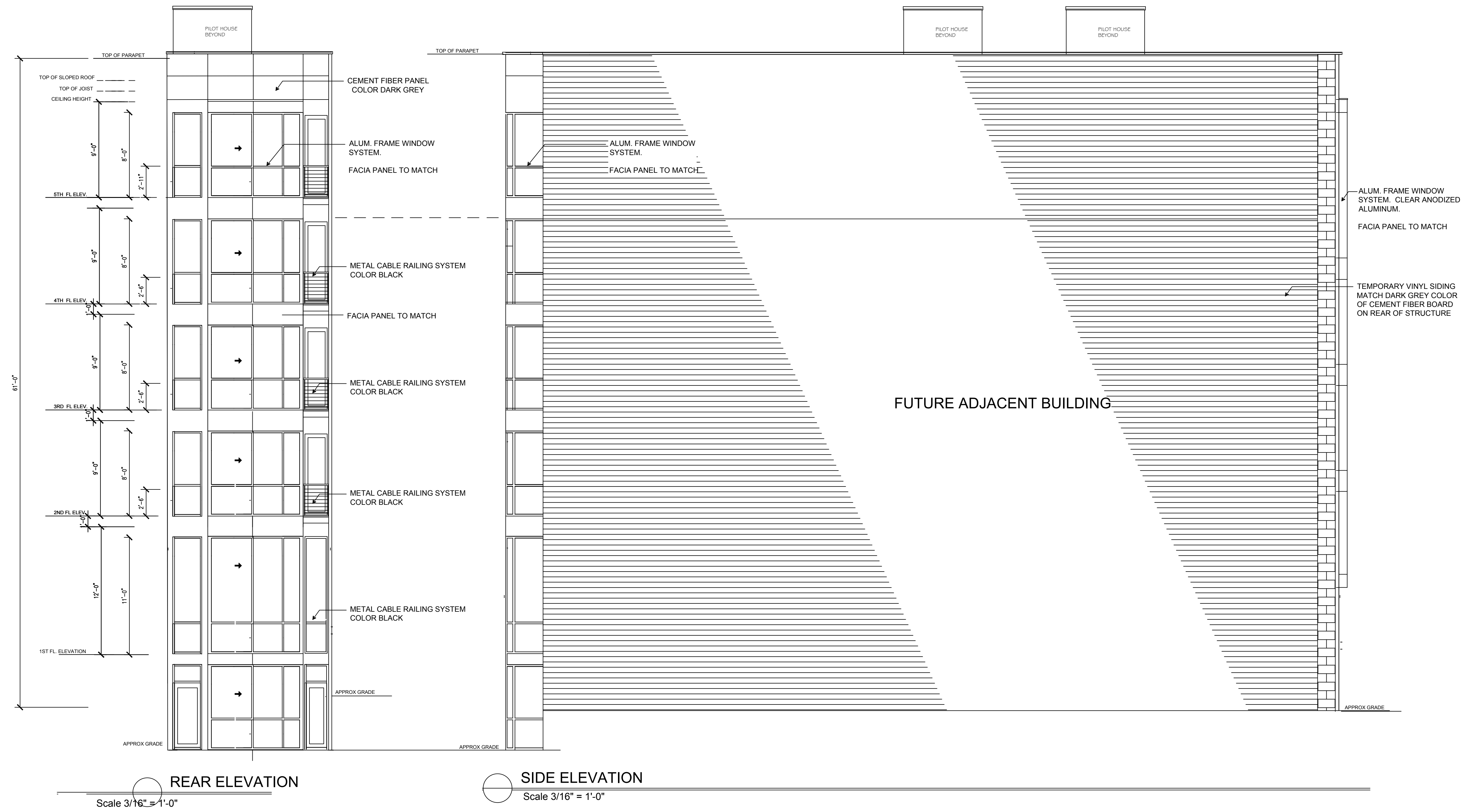
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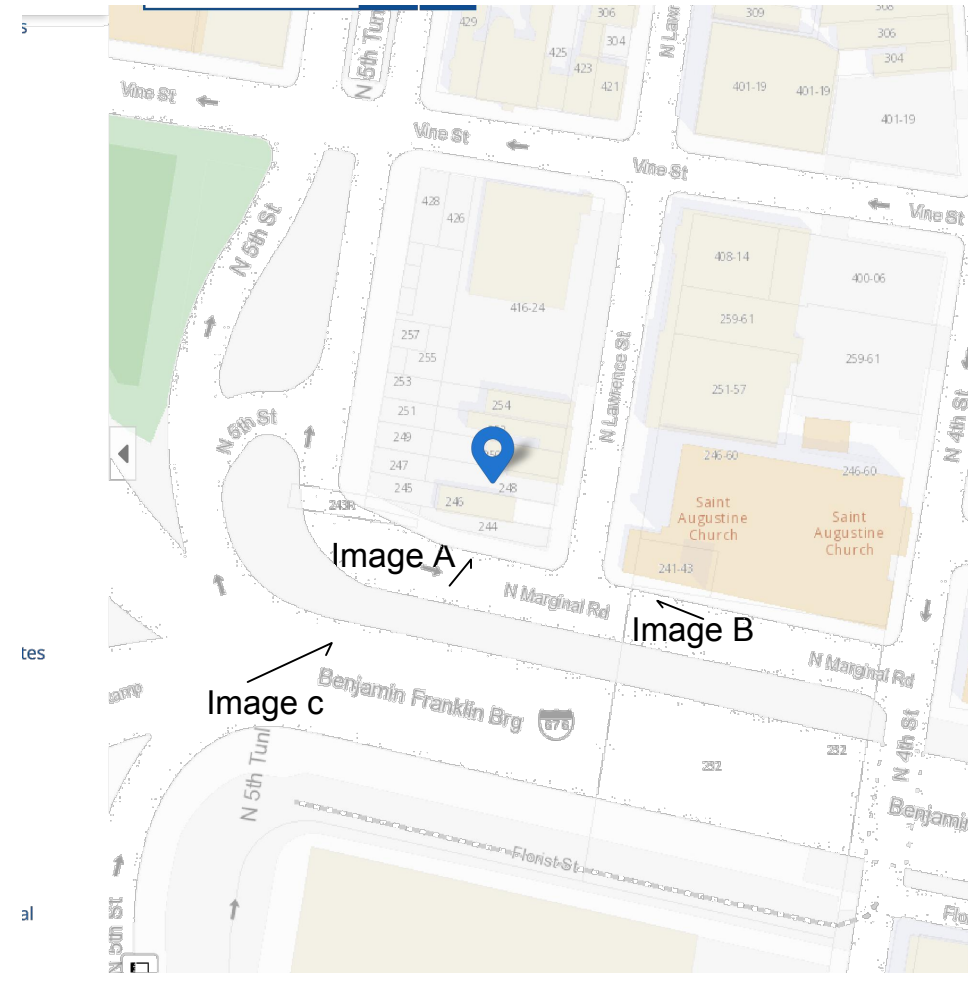
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Location Map



Image A Side view of site



Streetscape of adjacent buildings



View of Parking lot across the street from site



Image B View of adjacent building

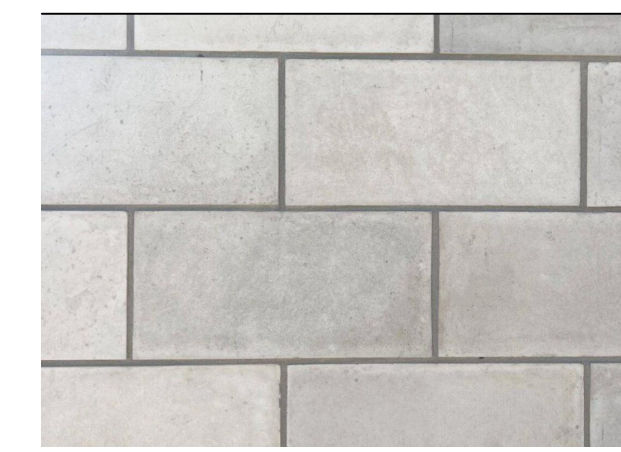


ImageC View of site from bridge

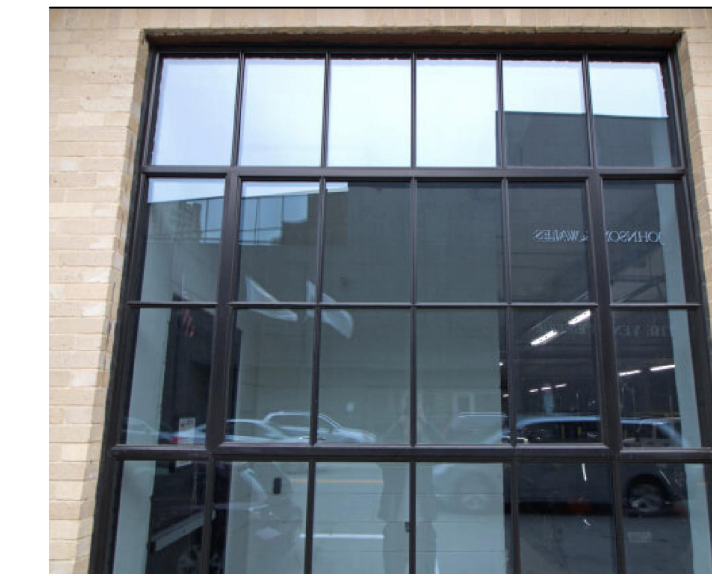
EXISTING BILL BOARD AND STRUCTURAL FRAMEWORK



PROPOSED BUILDING EXISTING BUILDING



PROPOSED LIMESTONE VENEER



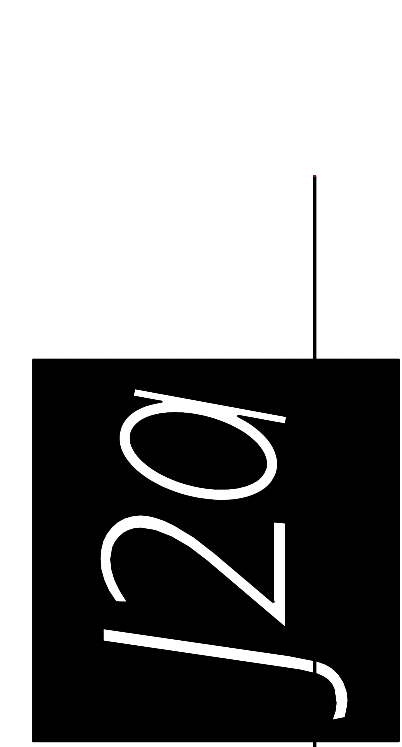
PROPOSED WINDOW FRAME COLOR



EXISTING BUILDING PROPOSED BUILDING EXISTING BUILDING EXISTING BUILDING EXISTING BUILDING

STREET VIEW BLOCKING DIAGRAM

248 N. Lawrence Street  
Philadelphia, Pa

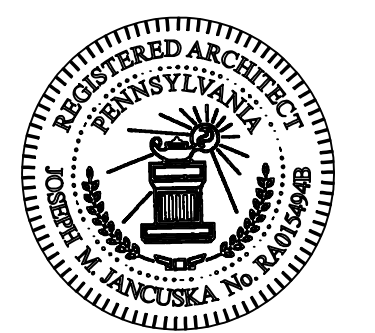


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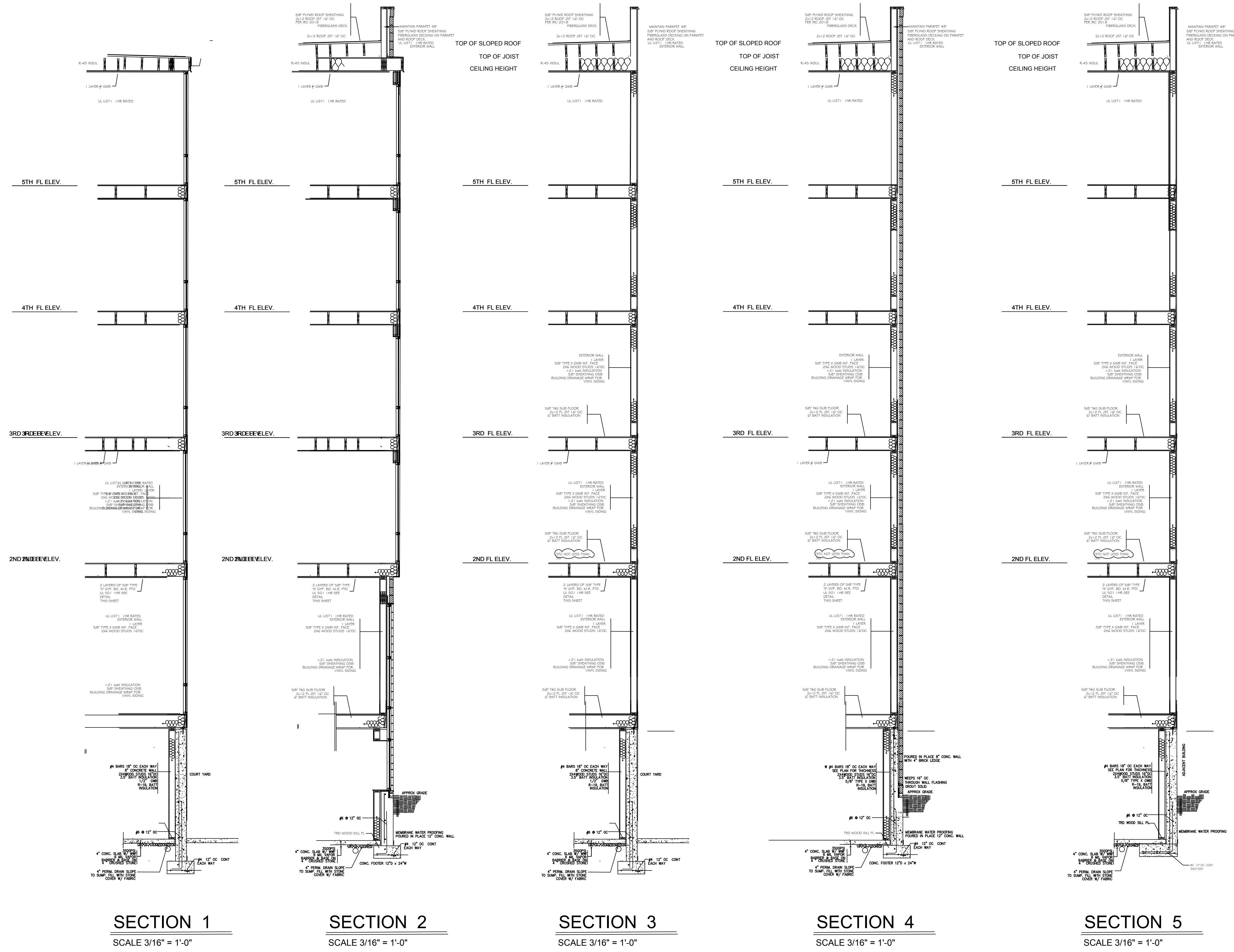


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**SECTION 1**  
SCALE 3/16" = 1'-0"

**SECTION 2**  
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**SECTION 3**  
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**SECTION 4**  
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**SECTION 5**  
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**SECTIONS**

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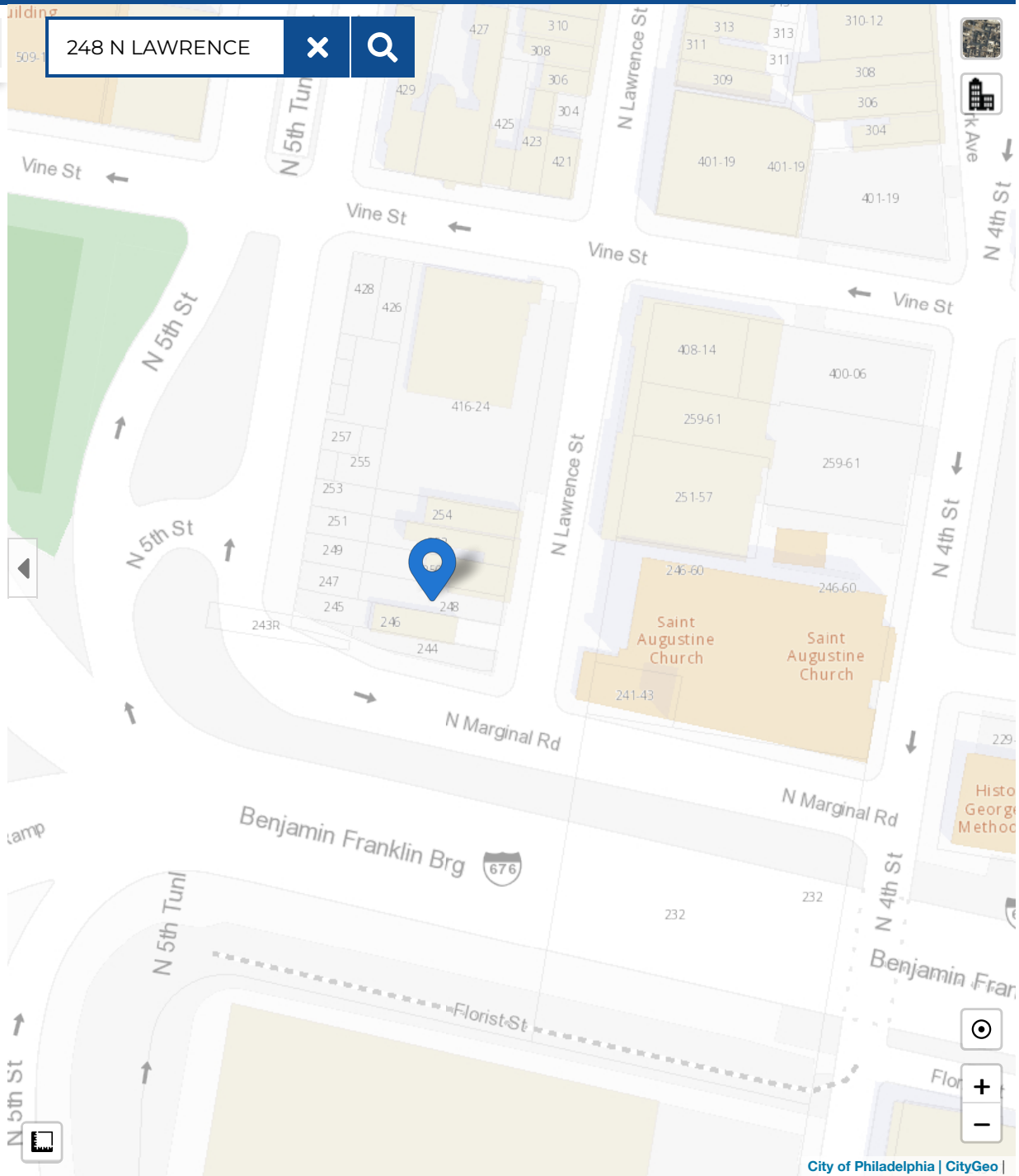


Filter:

248 N LAWRENCE



- Athletic Fields, Tracks, and Courts
- Big Belly Wastebaskets
- Bike Network
- Business Licenses
- Business Licenses - Food
- Business Permits - Signs
- Census Block Groups - 2010
- Census Tracts - 2010
- City Council Districts 2024
- City Limits
- Combined Sewer Service Area
- Commercial Corridors
- Community Compost Network Sites
- Complete Street Types
- Condom Distribution Sites
- Construction Permits - Building
- Construction Permits - Electrical
- Construction Permits - Mechanical
- Construction Permits - Plumbing



# Location of 248 N. Lawrence Street lot



N



248

N

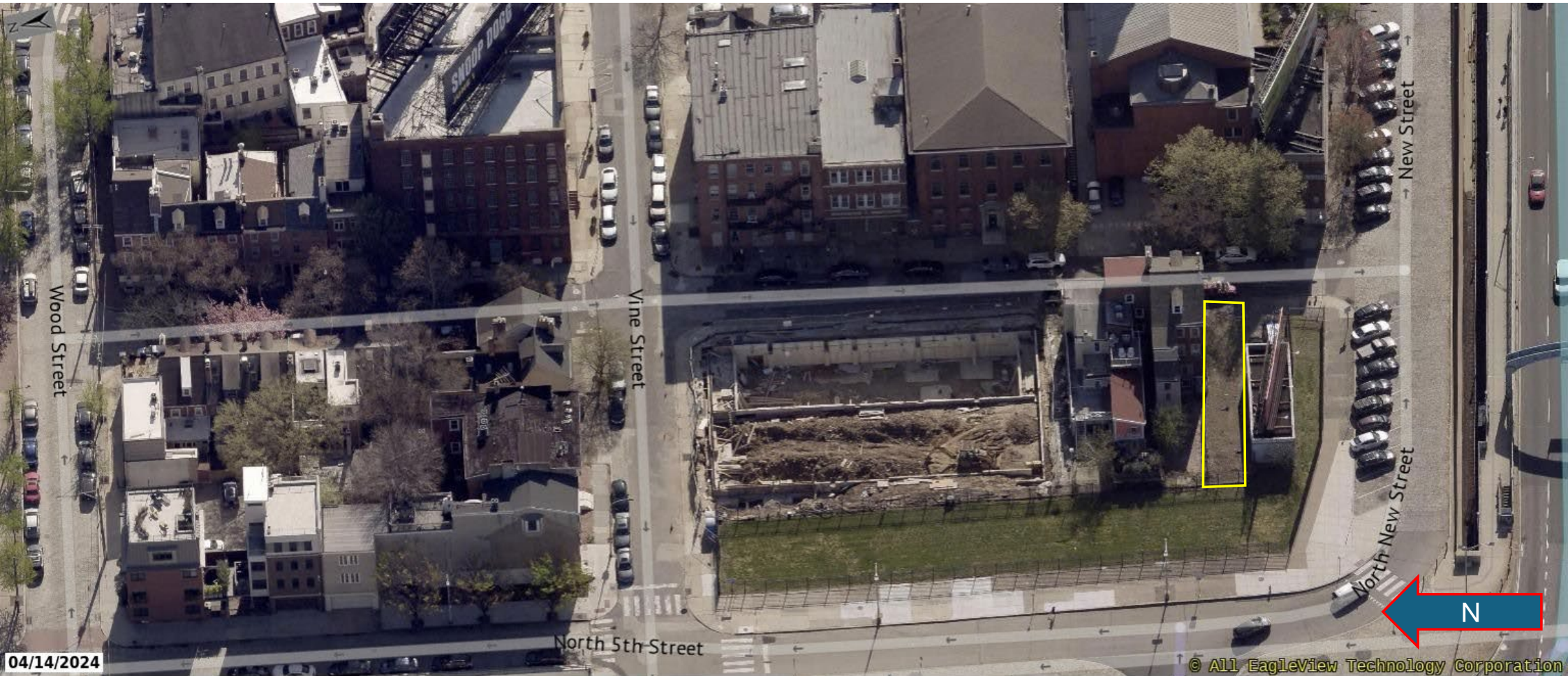


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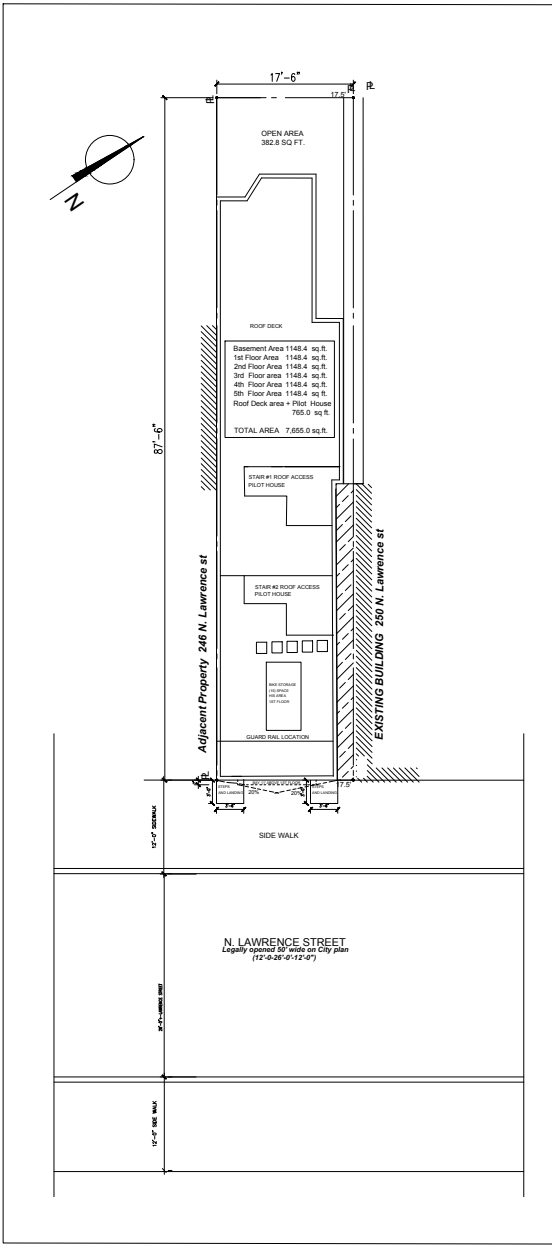
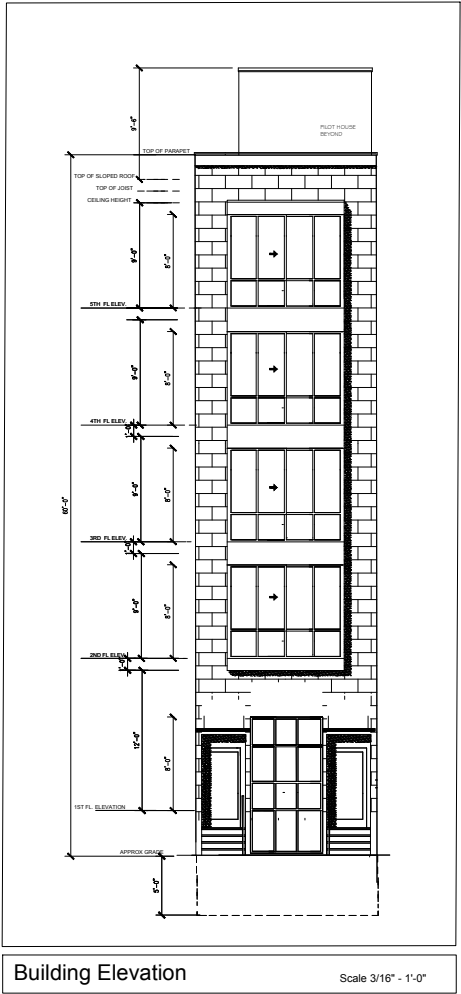
04/14/2024

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View from rear of lot





**ZONING SUMMARY**

Zoning District: CMX-3

Existing Use: Vacant lot  
Proposed Use: 5 RESIDENTIAL UNITS

**Zoning Requirements**

Lot building coverage: 75%  
Lot area: 1531.25

Front Yard: N/A  
Side Yard: N/A  
Rear Yard: N/A  
Allowable building hgt base code: N/A

Actual lot size: 1531.25 sq ft

**OVERLAY DISTRICT CONTROLS**

CC Commercial District control area: N/A  
CC Residential District control area: N/A  
Old City Residential supplemental use controls: Allowable hgt 65'  
Actual 60'

CC Vine street Area (Sign controls): N/A  
CC Old City Residential area: N/A  
CC Old City Residential Controls: N/A  
NIS Narcotics injection site: N/A

Existing Use: Vacant lot  
Proposed Use: 5 UNIT Residential Building

**PARKING**

Parking bonus for bike storage: 0 Provided  
Bicycle space (ground level interior): 15 Provided

Open area required 25% 1531.25 lot size x .25: 382.8 sq ft required  
Occupied area Max. 75%: 1148.4 sq ft max. allowed  
Rear yard required: 0 ft  
Front yard required: 0 ft  
Lot width: N/A  
Gross Floor area allowed: 500% lot area 7,656.25 sq ft  
Occupied area of lot 75%: 716 sq ft

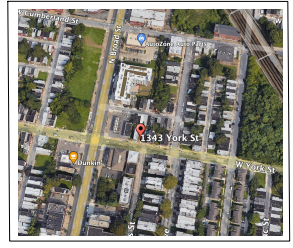
Basement Area: 1148.4 sq. ft.  
1st Floor Area: 1148.4 sq. ft.  
2nd Floor Area: 1148.4 sq. ft.  
3rd Floor area: 1148.4 sq. ft.  
4th Floor Area: 1148.4 sq. ft.  
5th Floor Area: 1148.4 sq. ft.  
Roof Deck area + Pilot House: 765.0 sq. ft.

**TOTAL AREA: 7,655.0 sq. ft.**

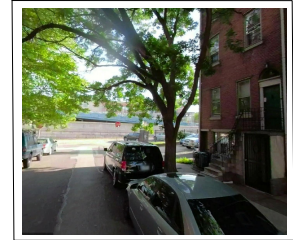
**General Notes**

- DEVELOPER OWNER WILL COMPLY WITH ALL PHILADELPHIA REGULATIONS PERTAINING TO PROPER ABANDONMENT AND CLOSURE OF WATER SERVICE LINES AND SEWER LATERALS. PROPOSAL OF ABANDONMENT AND/OR WATER DISCONT. FINANCES MUST BE PROVIDED UPON REQUEST. OWNER TO BE RESPONSIBLE FOR ALL FUTURE MAINTENANCE OF ALL WATER AND SEWER SERVICES.
- THERE WILL BE NO PROPOSED UTILITY EASEMENT
- THERE WILL BE NO PROPOSED CRANE
- THERE WILL BE NO PROPOSED STOCK PILE
- THERE WILL BE NO PROPOSED CONSTRUCTION SITE ENTRANCE

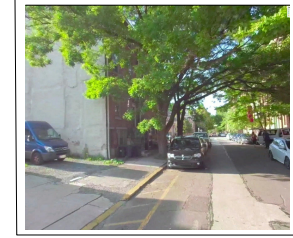
REGISTERED COMMUNITY ORGANIZATION  
FRANKLIN BRIDGE NORTH NEIGHBORHOOD INC  
PLANNING DISTRICT: CENTRAL



Location Map



Street View South



Street View North

**General Notes**

PA ONE 800-242-1776 CALL REQUIRED 3 DAYS PRIOR  
SERIAL NO. 22024 246 1826

**Zoning Plan** 248 N. LAWRENCE ST Philadelphia, PA

**j2a ARCHITECTS LLC**  
Contact: 302 373 6345 Design Professional Contact Joseph Jancuska

**owner:** Grand Capitol LLC  
Barry Hoffman

ISSUED FOR ZONING	SCALE 0 5' 10' 15' 20'	Submission date August 3, 2024
CHECKED BY		DRAWING NO. Z-1
PROJECT NO. Z-2024-1-248		

Zoning Site Plan Scale 1/8" - 1'-0"

Building Elevation Scale 3/16" - 1'-0"

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248 N. Lawrence Street  
Philadelphia, Pa

**j2a**  
ARCHITECTS  
13 FARM AVE WILMINGTON DELAWARE 19810  
715 S. 3RD, PHILADELPHIA, PA  
302.373.6345

The contractor is responsible for confirming and controlling all quantities and dimensions, including all quantities, materials, workmanship, and quality of any subcontractors. The contractor is responsible for obtaining all necessary permits and licenses for all work, and for obtaining all necessary approvals from all other trades, and performing the work in a safe, sanitary and workmanlike manner. Contractor and owner shall be aware of all on-site conditions and shall be responsible for all on-site conditions and shall be responsible for all on-site conditions and shall be responsible for all on-site conditions.

**ZONING PLAN**

REVISION  
NO. DATE

DATE: AUGUST 2, 2024  
SCALE: AS NOTED  
PLOT  
DRAWN BY: C.S.  
APPROVED BY:



Project #  
Sheet No. **Z-1**



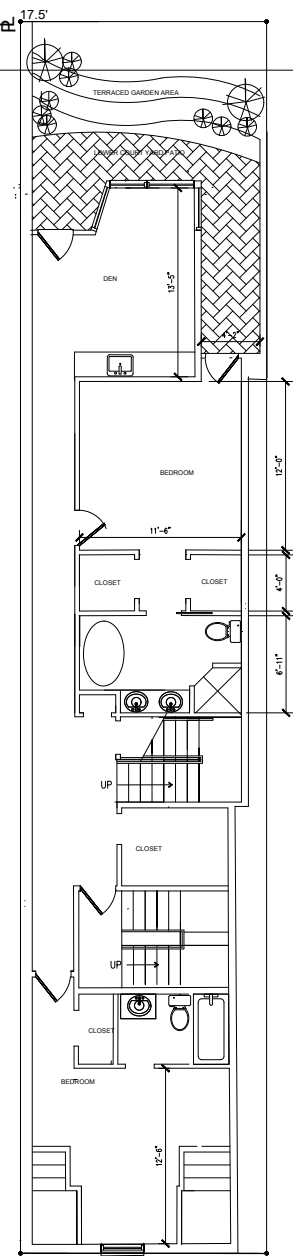
The contractor is responsible for confirming and correcting all quantities and dimensions, contractor shall obtain necessary permits, including but not limited to any electrical, plumbing, mechanical, and fire department permits. The contractor is responsible for obtaining necessary permits and for the work with the use of all applicable codes and standards. The contractor shall be responsible for obtaining all necessary permits and for the work with the use of all applicable codes and standards. The contractor shall be responsible for obtaining all necessary permits and for the work with the use of all applicable codes and standards.

REVISION	NO	DATE

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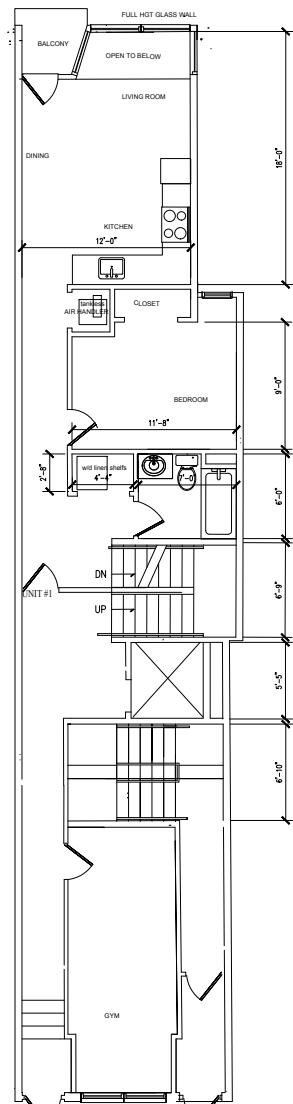


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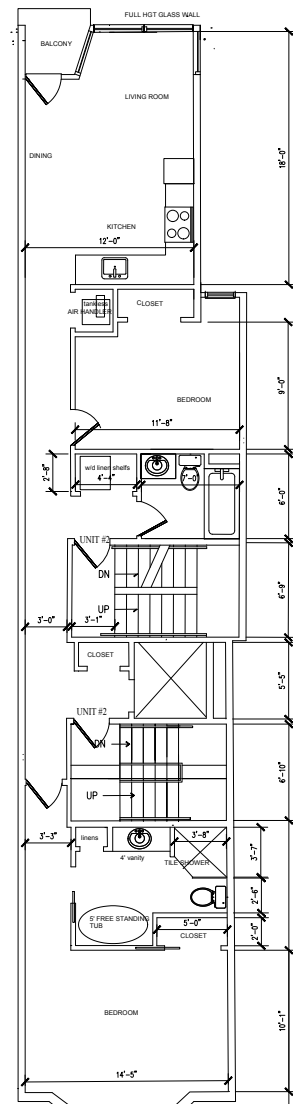


UNIT 1 BASEMENT LEVEL  
 Scale 1/4" = 1'-0"

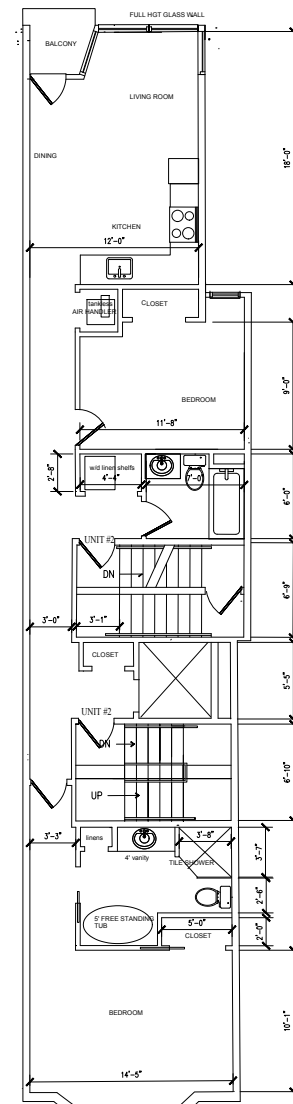
1ST FL UNIT 2 BED 2.5 BATH /DEN/OFFICE  
 Scale 1/4" = 1'-0"



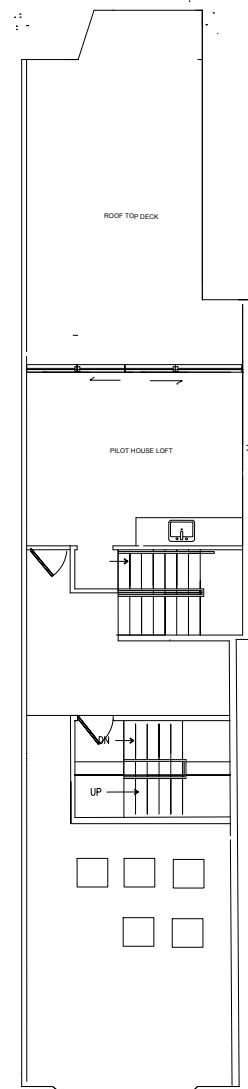
UNIT 1 1ST FL LEVEL  
 Scale 1/4" = 1'-0"



2BEDROOM UNIT LEVEL 2,3,4  
 Scale 1/4" = 1'-0"

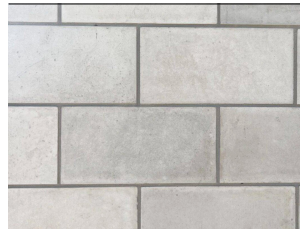


2BEDROOM UNIT LEVEL 5  
 Scale 1/4" = 1'-0"

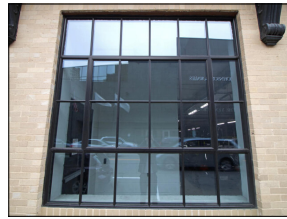


LEVEL 5 ROOF TOP  
 Scale 1/4" = 1'-0"

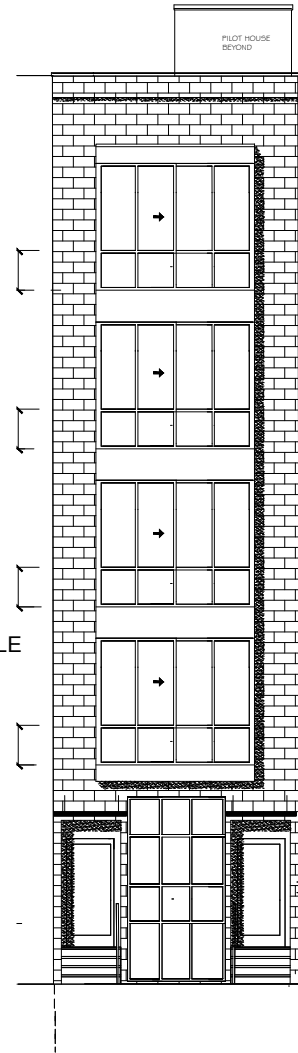
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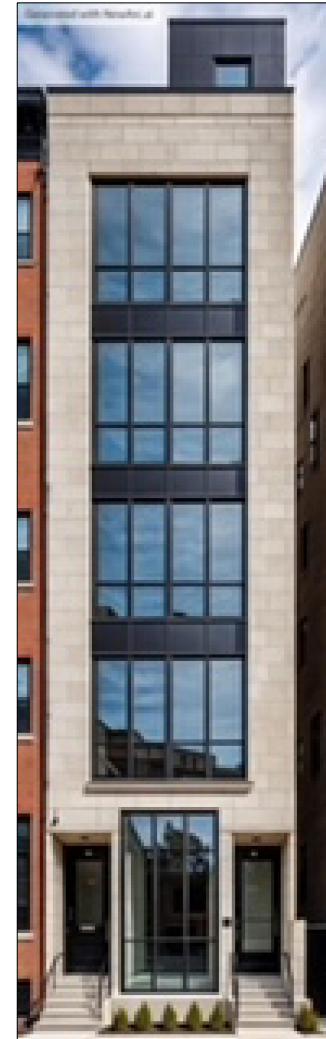
PROPOSED LIMESTONE VENEER



PROPOSED WINDOWS FRAME STYLE



PROPOSED FRONT ELEVATION



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RESULTING THEREFROM.

The contractor is responsible for confirming  
and controlling all quantities and dimensions.  
Contractor shall sign drawings, especially  
before Architekt of any discrepancies. The  
contractor is responsible for selecting materials,  
labor processes and techniques of construction,  
materials, methods for work with them, all work  
shall be performed in a safe, satisfactory and workmanlike manner, contractor  
and site shall be aware of all on-site conditions  
prior to submission of bids.

REVISION  
NO DATE

DATE AUGUST 2, 2024  
SCALE AS NOTED  
PLOT  
DRAWN BY C.S.  
APPROVED BY



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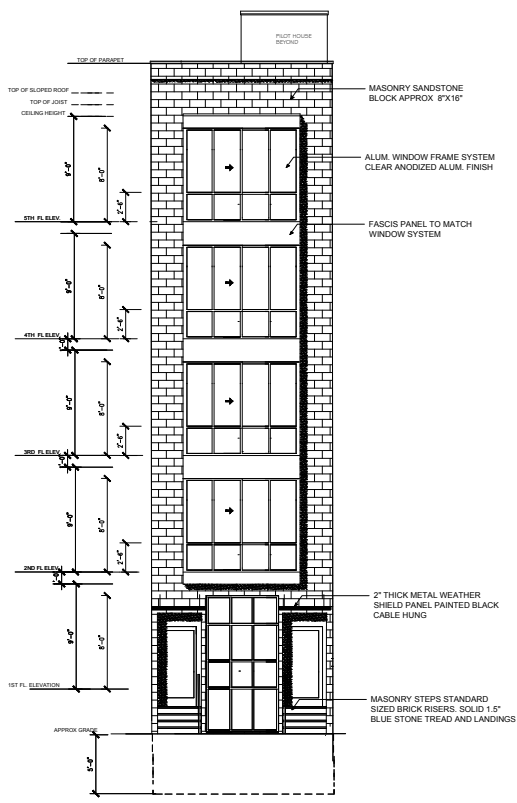
The contractor is responsible for confirming and controlling all quantities and dimensions, and for ensuring that all quantities are accurately verified. Architect of any discrepancies. The contractor is responsible for ensuring that all construction processes and techniques of construction, including the work with that of all other trades, and performing the work in a safe, healthy and workable manner. Contractor and owner shall be aware of all on-site conditions prior to submission of bids.

REVISION	NO	DATE

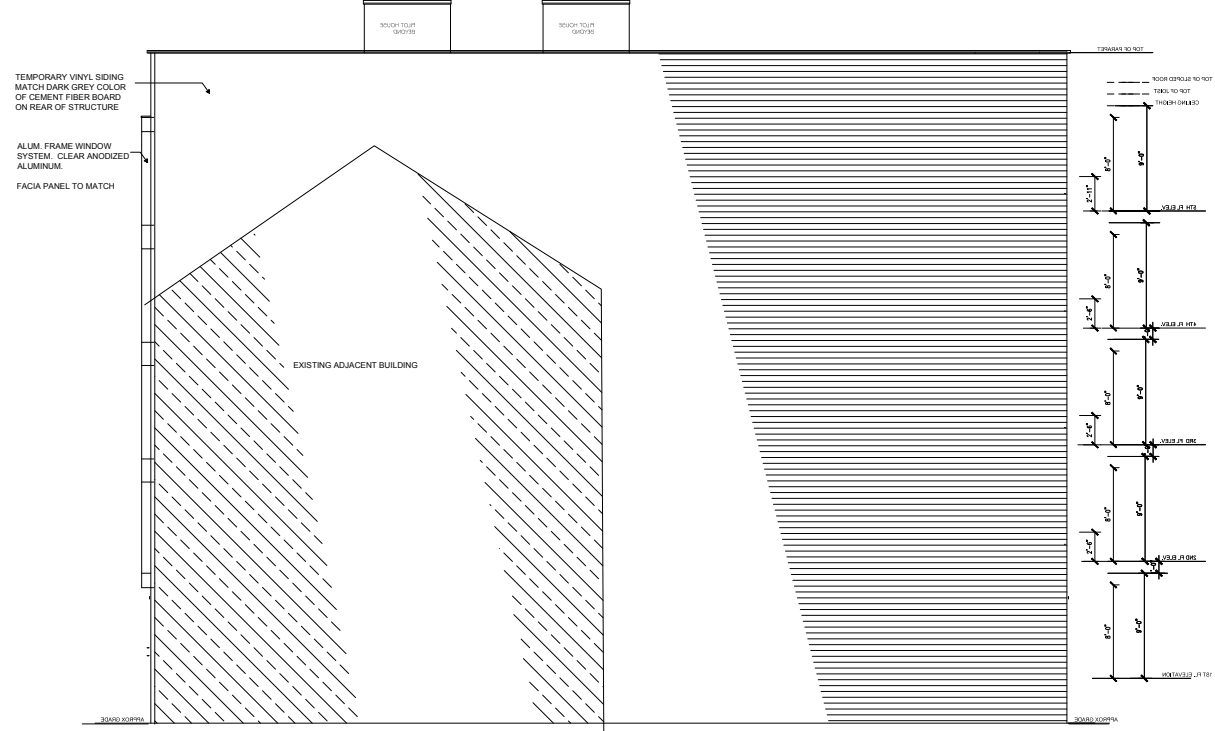
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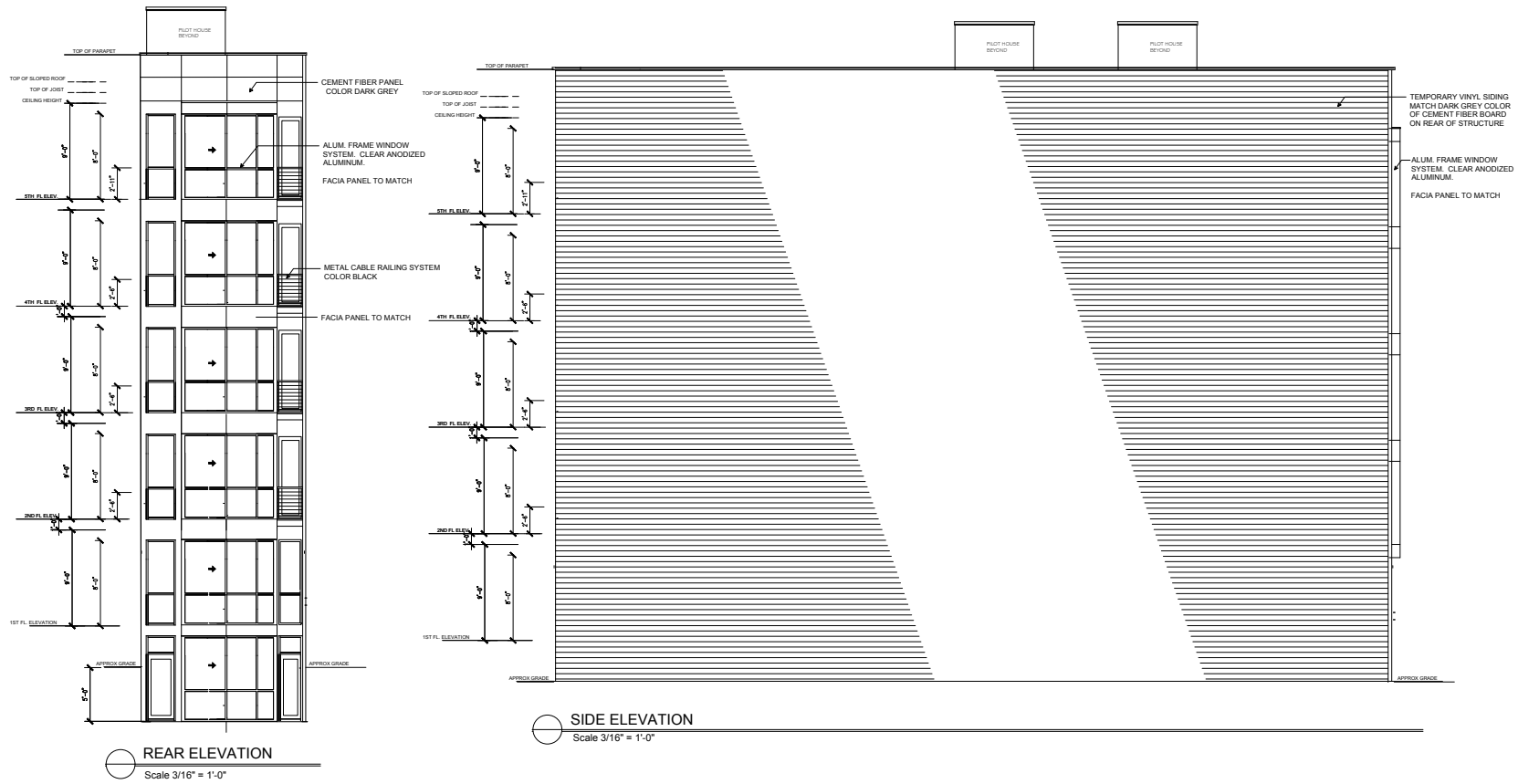


**FRONT ELEVATION F1**  
Scale 3/16" = 1'-0"



**SIDE ELEVATION**  
Scale 3/16" = 1'-0"

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# Untitled Map

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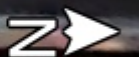
## Legend

-  248 N Lawrence St
-  Bolt of Lightning. . . A Memorial to?
-  Philadelphia Chinese Lantern Festival
-  Vine

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10 ft



# Untitled Map

Write a description for your map.

## Legend

-  248 N Lawrence St
-  Bolt of Lightning. . . A Memorial to?
-  Philadelphia Chinese Lantern Festival
-  Vine



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9.08 ft



# Untitled Map

Write a description for your map.

## Legend

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-  Philadelphia Chinese Lantern Festival
-  Vine



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9.91 ft