

EZ SIGNS, LLC  
1839 Bustleton Pike  
Feasterville, PA 19053  
P: 1 (866) 349-5444  
F: (215) 676-3269

**EZ SIGNS LLC**  
**1 (866) FIX-LIGHT**

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June 13, 2024

Re: Sign Install for H&R Block  
1201-05 CHESTNUT ST

Scope of work:

- Install one (1) statically LED-lit accessory wall sign 6.8 SQ FT

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Natalya Atroshyna  
EZ SIGNS LLC  
1839 Bustleton Pike  
Feasterville, PA 19053  
p. 267- 406 - 0273  
e. [permits@signsinstall.com](mailto:permits@signsinstall.com)

**LEGEND**

**S1** (East) Front Elevation - Wall Sign

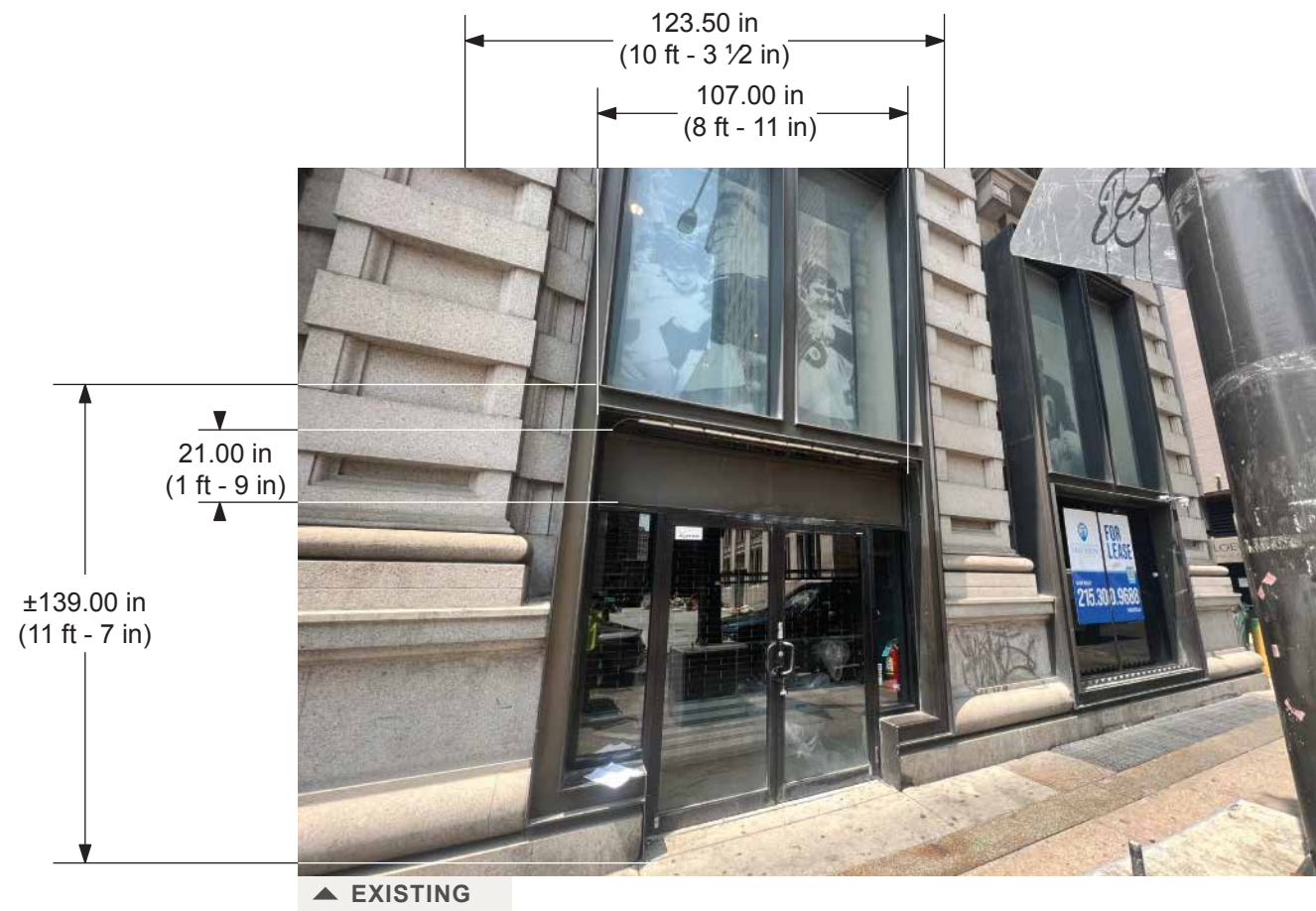
**SIGNAGE CRITERIA**

**Code:**  
2 sq. ft. per lin. ft. of ground floor frontage; 100 sq. ft. per sign.

**Landlord restrictions:**  
N/A

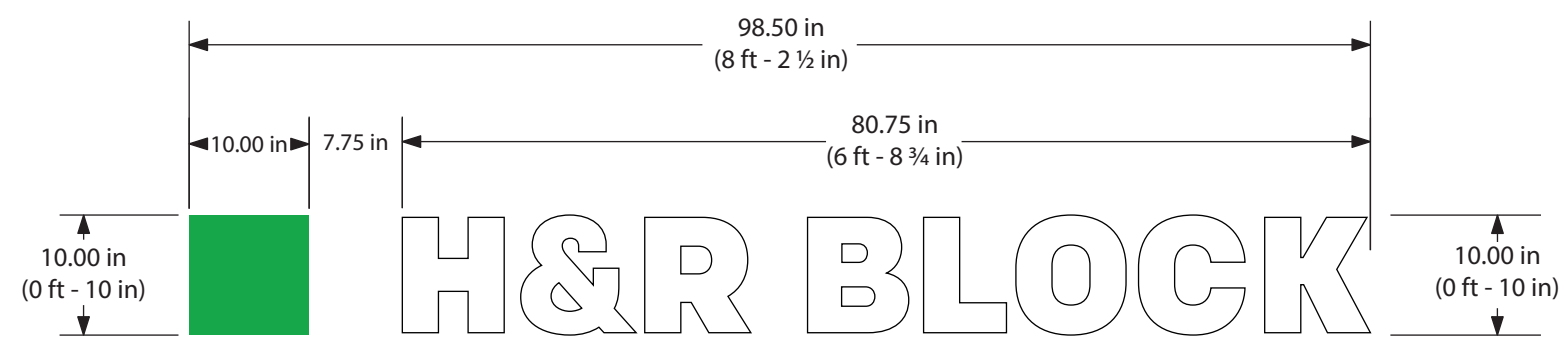
**S1** 100 SF Allowed.





\*Existing external illumination is present.

ALLOWED SF: 100  
PROPOSED SF: 6.84



6.8 SQ FT

Install one (1) statically LED-lit accessory wall sign.

Scale: 3/4" = 12"

Install one (1) statically LED-lit accessory wall sign 6.8 SQ FT

### LOGO SPECIFICATIONS

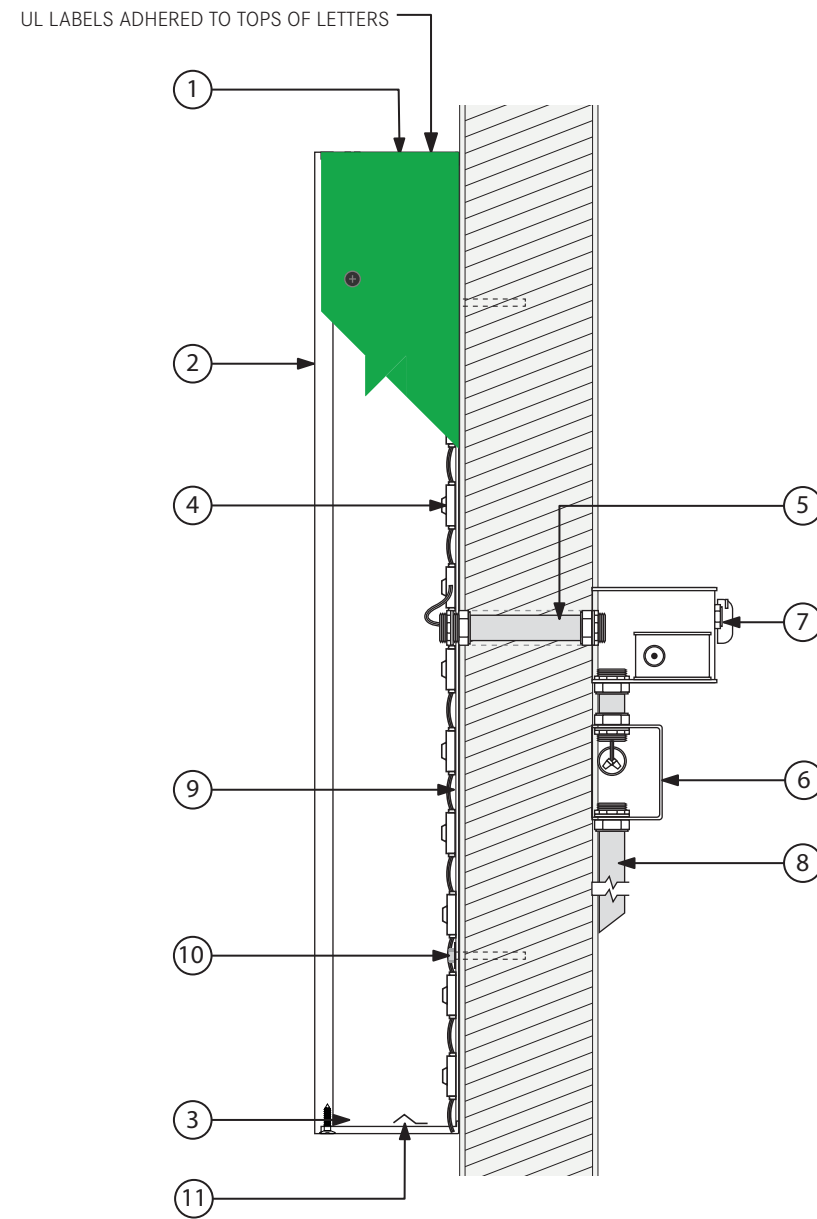
- ① 0.040 ALUMINUM RETURNS (3" DEPTH): PAINTED
- ② 3/8" WHITE ACRYLIC FACE WITH 1/4" SHOULDER CUT EDGE FIRST SURFACE APPLIED VINYL GRAPHICS

### LETTER SPECIFICATIONS

- ① 0.040 ALUMINUM RETURNS (3" DEPTH): PAINTED
- ② 3/8" WHITE ACRYLIC FACE WITH 1/4" SHOULDER CUT EDGE FIRST SURFACE APPLIED VINYL GRAPHICS

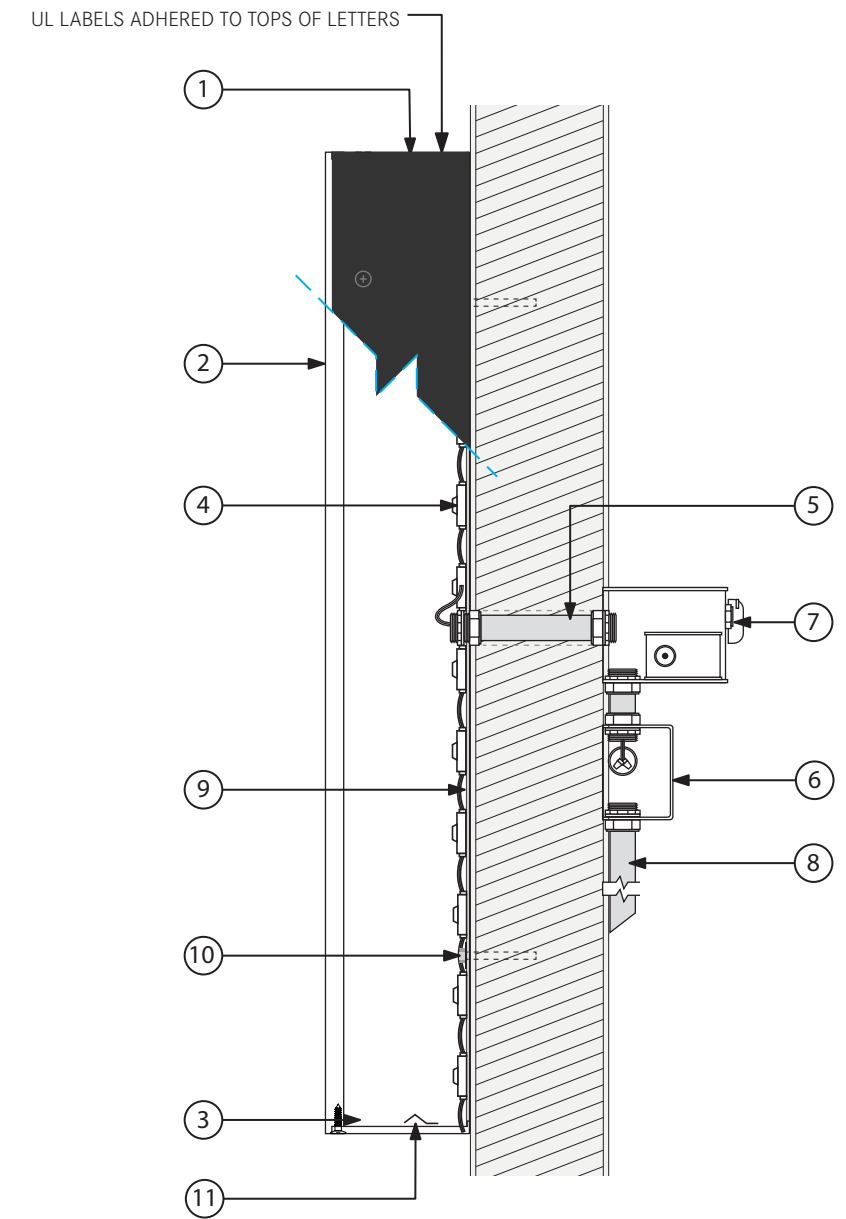
### LETTERS & LOGO SPECIFICATIONS

- ③ FACE DETAIL MOUNTING HARDWARE: FLUSH COUNTERSUNK SCREWS FILLED & PAINTED TO MATCH RETURN
- ④ LED UNITS (WHITE): ALL LEDS TERMINATED WITH WIRENUTS
- ⑤ CONDUIT: CONNECTION THROUGH WALL TO BE SEALED WATERTIGHT SECONDARY ELECTRICAL RUN (AS NEEDED)
- ⑥ UL LISTED HOUSING: SECONDARY WIRING SPLICE POINT (WHEN NEEDED)
- ⑦ UL LISTED HOUSING CONTAINING LED POWER SUPPLY: DISCONNECT SWITCH FOR DEDICATED PRIMARY POWER CIRCUIT
- ⑧ PRIMARY POWER CIRCUIT (PROVIDED/PERMITTED BY OTHERS) TO BE PLACED WITHIN 5 FEET OF CENTER OF SIGN
- ⑨ 0.063 ALUMINUM BACK: PRECOAT WHITE FINISH
- ⑩ MOUNTING HARDWARE: APPROPRIATE TO SECURE TO FACADE TYPE AND SUPPORT STRUCTURE
- ⑪ WEEP HOLES: TO BE CONCEALED WITH BAFFLES



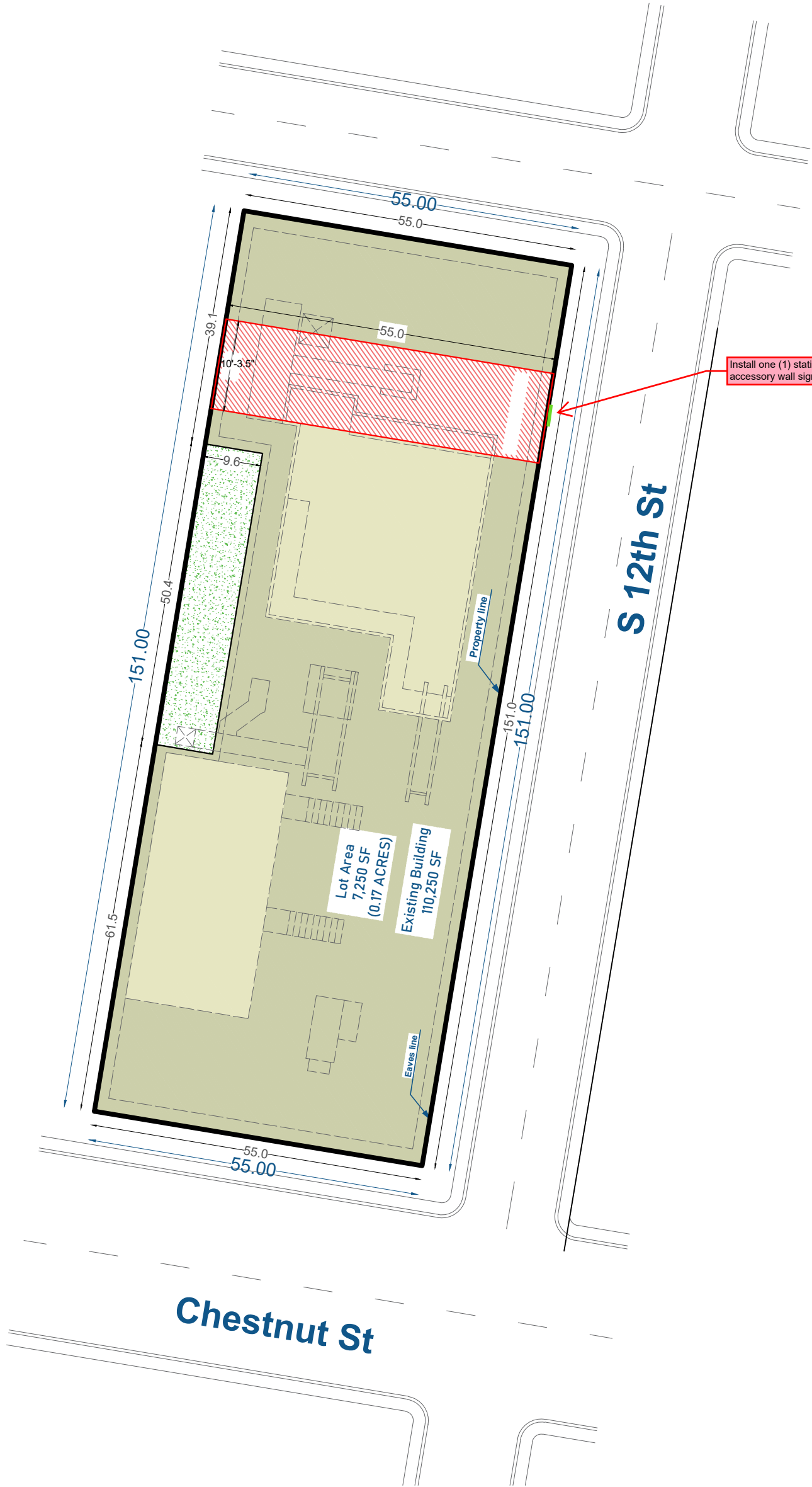
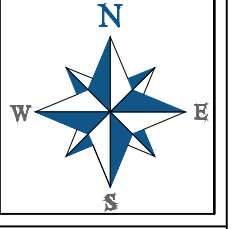
LOGO SECTION

SCALE: N.T.S.



LETTER SECTION

SCALE: N.T.S.



Install one (1) statically LED-lit accessory wall sign 6.8 SQ FT

Lot Area  
7,250 SF  
(0.17 ACRES)

Existing Building  
110,250 SF

Property line

Eaves line

S 12th St

Chestnut St

Parcel#: 88-1-3011-00  
Address : 1201-05 Chestnut St  
City, State, ZIP: Philadelphia, PA 19107  
Purpose : Philadelphia zoning permit

Owner : APG, CPI COMMONWEALTH  
Legal Information: NWC 12TH & CHESTNUT ST  
Zoning: CMX5  
Land Use Cat: RESIDENTIAL

Date: 10th of June 2024  
Scale: 1"=20'  
0' 10' 25' 50'

Notes:

1801 Chestnut Street  
Philadelphia, PA 19107

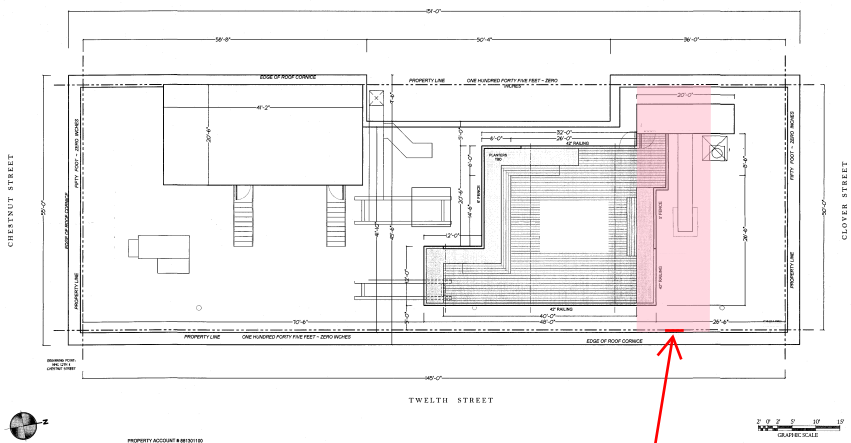


Monteith Architecture LLC  
1508 Christian Street  
Philadelphia, PA 19146  
phone 215-500-9998  
www.monteitharch.com



PRELIMINARY / REVIEW SET  
NOT FOR CONSTRUCTION  
Revision  
Date August 13, 2016  
Title SITE PLANS  
Scale

Contractor to verify all dimensions in field and before installation of any dimensions before construction.



PROPERTY ACCOUNT # 81830120

ZONING DIST. #	REQUIRED	EXISTING	PROPOSED
LOT WIDTH	N/A	82'-0"	82'-0"
LOT AREA	N/A	7288 SF	7288 SF
DECK FRONT SETBACK	8'-0" MINIMUM	N/A	8'-0" MINIMUM
DECK SIDE SETBACK	8'-0" MINIMUM	N/A	8'-0" MINIMUM
DECK REAR SETBACK	8'-0" MINIMUM	N/A	8'-0" MINIMUM
DECK HEIGHT	TOP OF SOIL ACCESS STAIR	N/A	8'-0" FINISHED FINISHES (BELOW-GRADE FINISHES)

1 ROOF - SITE PLAN  
SCALE: 1/8" = 1'-0"

Install one (1) statically LED-lit accessory wall sign 6.8 SQ FT

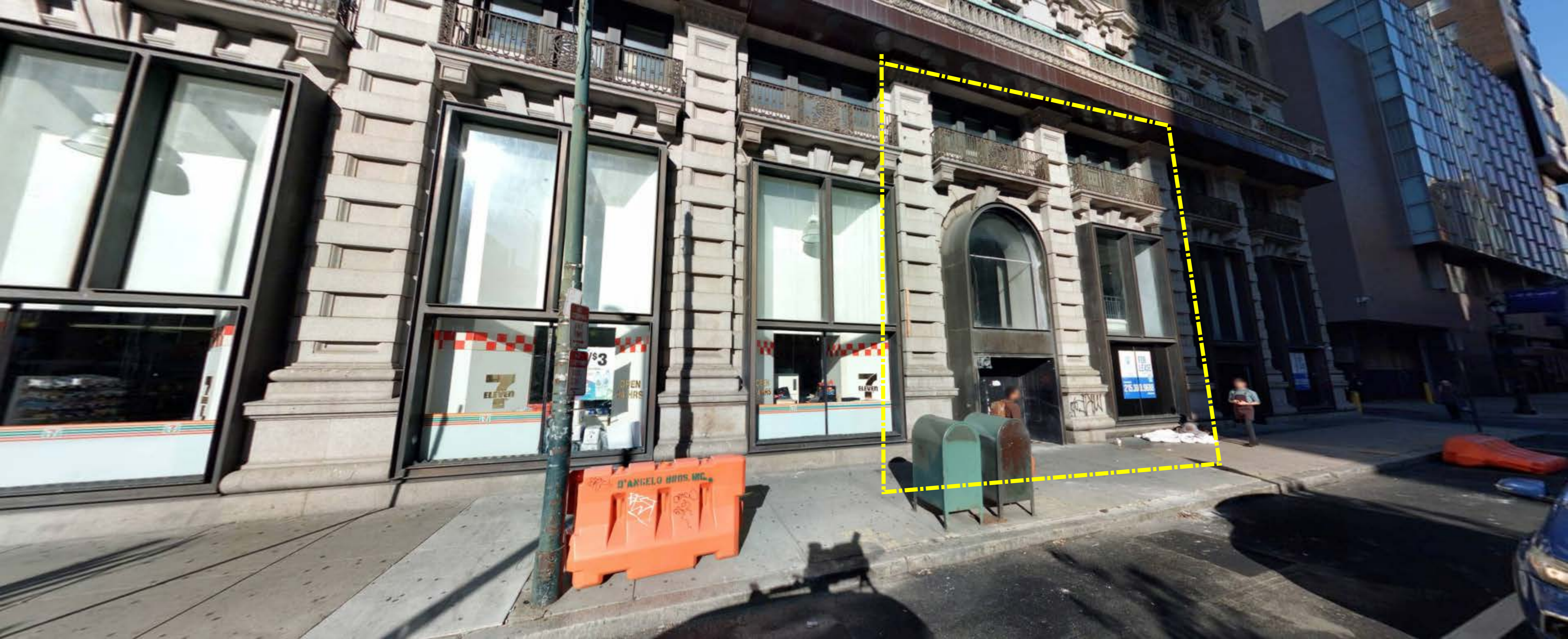


COMMONWEALTH  
1201 CHESTNUT STREET  
COMMONWEALTH

(833) 300-1991  
(833) 300-2981  
commonwealth1201.com

7-ELEVEN

8/3  
5/15  
OPEN 24 HOURS









**FOR LEASE**  
215.300.9688



FOR LEASE  
215.30 0.9688

WUE  
PYLE  
H&O  
TRC

