

ADDRESS: 1018-20 AND 1032 N FRONT ST

Proposal: Convert church complex to residential use; Construct addition

Review Requested: Final Approval

Owner: Pollard Allen OCF LLC

Applicant: Ian Toner, Toner Architects

History: 1870; Immaculate Conception Roman Catholic Church; Edwin Forrest Durang, architect; 1909, Rectory, George I. Lovatt Sr., architect

Individual Designation: 4/12/2019

District Designation: None

Staff Contact: Dan Shachar-Krasnoff, daniel.shachar-krasnoff@phila.gov

OVERVIEW: This application for final approval proposes to convert the former Immaculate Conception church and rectory in Northern Liberties to residential use and construct an addition on the site.

The Historical Commission approved the rehabilitation in-concept at its January 2023 meeting. The updated plans largely reflect the 2023 in-concept approval. The application proposes to insert additional floor levels and install a combination of casement and plate windows and spandrels in the existing window openings, and construct shed dormers on the steep gable roof on the east and west elevations. The stained glass rose window and transoms on the north elevation will remain. Revisions to this application for final approval includes the proposed use of asphalt shingles instead of synthetic slate shingles on the church roof; a revised decorative roof shingle pattern to relate to the new dormers; a revised dormer configuration with wider window openings; and the demolition of a small garage on Pollard Street constructed after the rectory was completed, which will allow for access to a rear ADA ramp.

A three story, nine-unit, flat-roofed annex is proposed to the west of the church building. It does not physically attach to the designated buildings. Unlike the church rehabilitation, this proposal has not been considered by the Architectural Committee or Historical Commission previously. The primary visibility of the annex building is from W. Allen Street.

SCOPE OF WORK:

- Install additional floors in church
- Install windows and doors
- Replace roofing
- Alter openings
- Demolish small garage
- Construct three-story annex

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 6: Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary or pictorial evidence.*
 - The proposed windows reflect the consistent horizontal rectangular proportions and divisions of the historic windows.

1018-20 & 1032 N. Front St
Philadelphia Historical Commission
June/July 2024

- The existing rectangular grey slate roofing is in poor condition, and if original, is over 150 years old, having outlived the standard service life of slate roofing. The proposed asphalt shingle in a rectangular shape could approximate the historic appearance of the roofing.
- The existing front door slabs are not original. The staff recommends basing the design of the new doors on the drawings and historic photographs of the original doors.
- The application complies with Standard 6.
- *Roofs Guideline | Recommended: Designing rooftop additions, elevator or stair towers, decks or terraces, dormers, or skylights when required by a new or continuing use so that they are inconspicuous and minimally visible on the site and from the public right-of-way and do not damage or obscure character-defining historic features.*
 - The height and slope of the existing roof would make it difficult to reuse without the insertion of windows. The proposed shed dormers are small and low in relationship to the large sloping roof, which maintains its full slope at the front and rear of the roof. The application satisfies the Roofs Guideline.
- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
 - The proposed annex building is not physically connected to the church or rectory.
 - The proposed annex building is contemporary in style and includes design elements such as the brick cladding and vertical windows on the north and east facades that relate to the church and rectory.

STAFF RECOMMENDATION: Approval, with the staff to review details, pursuant to Standards 6, 9 the Roofs Guideline, and the Historical Commission's 2023 in-concept approval.

ADDOITIONAL FIGURES:



Figure 1: View the north elevation, October 2023



Figure 2: View of west elevation and site of addition (annex) building, October 2023



Figure 3: View the west elevation, October 2023



Figure 4: View east elevation of Rectory, October 2023



Figure 5: View of south elevation of Rectory, October 2023



Figure 6: Birdseye view looking south, April 2022

1018-20 & 1032 N. Front St
Philadelphia Historical Commission
June/July 2024



Figure 7: Birdseye view looking west, April 2022

1018-20 & 1032 N. Front St
Philadelphia Historical Commission
June/July 2024



Ian M Toner AIA, NCARB, LEED AP BD+C

Principal

Sara N Shonk Pochedly AIA, NCARB, NCIDQ, LEED AP BD+C

Principal

10 June 2024

Philadelphia Historical Commission
1515 Arch Street, 13th Floor
Philadelphia PA, 19102

RE: Historical Review – 1032 N Front Street

Members of the Committee and Commission

Please find enclosed our application for Final approval of our project at 1032 N Front Street. I am submitting on behalf of the property owner, Greythorne Development

The project involves:

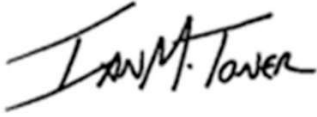
- The interior renovation of the existing church and attached rectory for use as a 37 unit apartment building.
- Demolition of existing 1 story non-contributing garage addition at rear of rectory on Pollard St.
- Construction of new 3 story Annex building adjacent to existing church and rectory. Annex shall contain 9 apartment units, bringing total unit count to 46 apartments.
- Creation of 9 new parking spaces on the combined site, including 1 van-accessible space, with new car ramp and below-grade parking below Annex building, see Site Plan.
- Construction of new wheelchair access ramp to shared deck between new Annex and existing rectory.

-
- The insertion of a second and third floor within the existing footprint of the existing church building.
 - The addition of new single-window dormers to the roof line of the existing church building to provide windows and natural light into the 3rd floor units. We are proposing to clad the walls of the dormers with fiber cement panels with sealed butt joints to simulate the appearance of stucco. The joints shall align with the piers of the existing wall below in order to maintain vertical organization.
 - The replacement of all windows indicated in drawings, including the large windows along both sides of the existing nave. The stained glass within these openings has already been removed however the stained glass rose windows at the front shall remain but be protected with new storm windows. All new windows shall be aluminum clad wood. Existing white vinyl windows in the rectory shall be replaced with new aluminum clad wood windows matching original historic shape and operation. PHC staff to approve design and coordinate selections.
 - Replace existing slate roofing with new asphalt shingle roofing. Selection of product to be discussed and approved by PHC.
 - Replacement of railings at existing exterior stairs.
 - Repointing and repair of brick and any decorative ornamentation located at the entirety of the exterior.

- Repair and repainting of any decorative architectural metalwork at the entirety of the exterior.
- Repair or reconstruction in kind of any damaged cornices at the building exterior.

Thank you for taking the time to review our application. Please contact me at 215.800.1968 if you need more information or need to discuss the project further.

Sincerely,

A handwritten signature in black ink that reads "Ian M. Toner". The signature is written in a cursive, slightly slanted style.

Ian Toner
Principal
Toner Architects

APPLICATION FOR BUILDING PERMIT

APPLICATION # bÿ

(Please complete all information below and print clearly)



CITY OF PHILADELPHIA
DEPARTMENT OF LICENSES AND INSPECTIONS
MUNICIPAL SERVICES BUILDING - CONCOURSE
1401 JOHN F. KENNEDY BOULEVARD
PHILADELPHIA, PA 19102
For more information visit us at www.phila.gov

ADDRESS OF PROPOSED CONSTRUCTION

1032 N Front St

APPLICANT:

Ian Toner AC #3839394

COMPANY NAME:

Toner Architects

PHONE # 215 800 1968

FAX #

APPLICANT'S ADDRESS:

1901 South 9th Street, Room 425

Philadelphia, PA 19148

LICENSE # 490460

ian@tonerarch.com
E-MAIL:

PROPERTY OWNER'S NAME:

Pollard Allen OCF LLC

PHONE # (215) 760-1651

FAX #

PROPERTY OWNER'S ADDRESS:

1936 Washington Ave

Philadelphia PA, 19146

ARCHITECT / ENGINEER IN RESPONSIBLE CHARGE:

Ian Toner

ARCHITECT / ENGINEERING FIRM:

Toner Architects

PHONE # 215 800 1968

FAX #

ARCHITECT / ENGINEERING FIRM ADDRESS:

1901 S 9th St, Room 425

Philadelphia, PA 19148

LICENSE # 490460

ian@tonerarch.com
E-MAIL:

CONTRACTOR:

TBD

CONTRACTING COMPANY:

TBD

PHONE #

FAX #

CONTRACTING COMPANY ADDRESS:

N/A

LICENSE #

E-MAIL:

USE OF BUILDING / SPACE:

Multi-unit residential

ESTIMATED COST OF WORK

\$ TBD

BRIEF DESCRIPTION OF WORK:

Conversion of former church and rectory complex into a total of 37 residential units, with all supporting functions. Exterior work shall consist of replacing all windows per elevations, as well as adding dormers at new 3rd floor level inserted within the former church. All materials and selections to be approved by PHC staff. Construction of new 3-story annex building adjacent to existing structures on same parcel, to contain 9 apartment units.

Total unit count: 46. Construction of new parking lot and ramp to serve all buildings on parcel.

TOTAL AREA UNDERGOING CONSTRUCTION: 46,007 square feet

COMPLETE THESE ITEMS IF APPLICABLE TO THIS APPLICATION:

OF NEW SPRINKLER HEADS (suppression system permits only): _____ LOCATION OF SPRINKLERS: _____

OF NEW REGISTERS / DIFFUSERS (hvac / ductwork permits only): _____ LOCATION OF STANDPIPES: _____

IS THIS APPLICATION IN RESPONSE TO A VIOLATION? NO YES VIOLATION #: _____

All provisions of the building code and other City ordinances will be complied with, whether specified herein or not. Plans approved by the Department form a part of this application. I hereby certify that the statements contained herein are true and correct to the best of my knowledge and belief. I further certify that I am authorized by the owner to make the foregoing application, and that, before I accept my permit for which this application is made, the owner shall be made aware of all conditions of the permit. I understand that if I knowingly make any false statement herein I am subject to such penalties as may be prescribed by law or ordinance.

APPLICANT'S SIGNATURE

DATE: 6 / 6 / 2024

ARCHITECTURAL COMMITTEE CONSIDERATION

JUNE 2024

SUBMITTED FOR FINAL APPROVAL

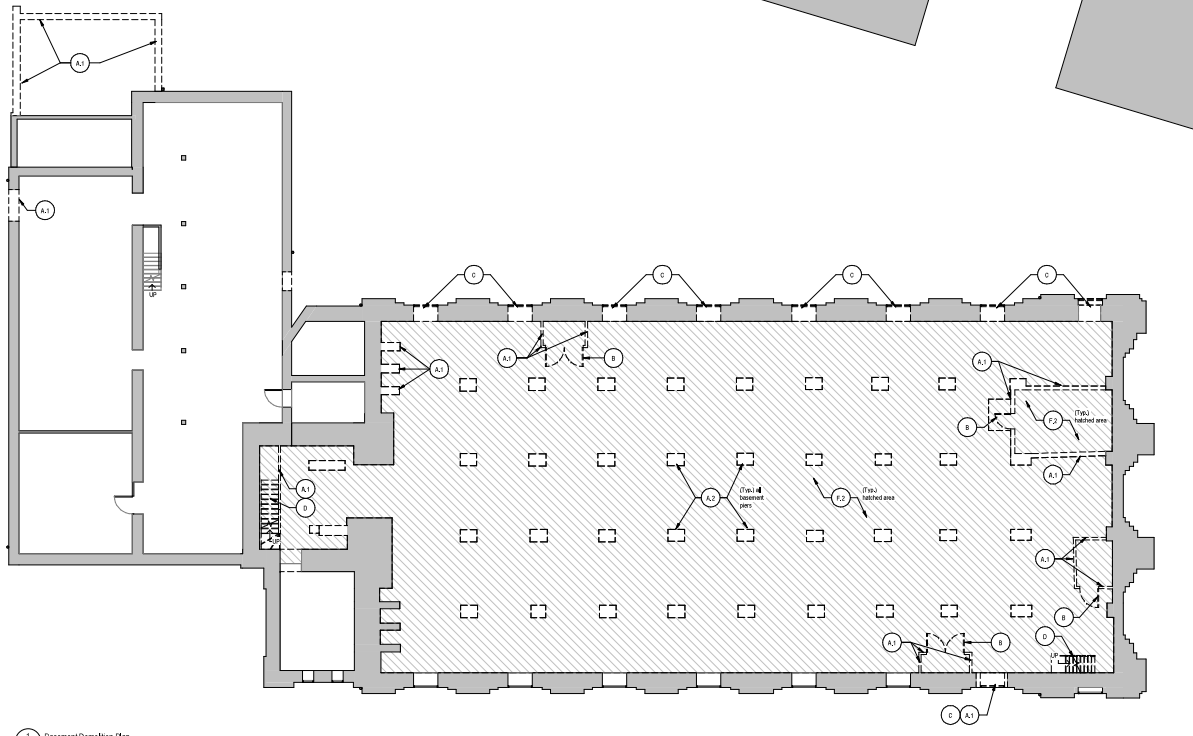
CHURCH AND RECTORY

Demolition Keynotes

- Note: Keynotes A1, U, V, W omitted for clarity.*
- A1 Remove walls or portion of wall as indicated on the demer plan, complete.
 - A2 Remove columns or pier, complete.
 - B Remove door, complete. Salvage doors in working order by potential recondition & reuse customers.
 - C Remove window, complete. Salvage existing window frames as necessary or historic requirements.
 - D Remove stairs, railing, and landing, complete.
 - E Remove existing fire suppression, sprinkler, including all equipment, wall and floor finishes. Cap water in-runs pipes as required. Remove or recycle fixtures in working order.
 - F1 Remove existing floor and associated framing to extent indicated on plan, complete.
 - F2 Remove existing slab, prepare slabs to receive new slab and foundation.
 - G Remove ceiling and associated structure to extent shown on plan, complete.
 - H1 Remove roof and associated structure to extent shown on plan, complete.
 - H2 Remove roofing material, contractor to remove existing gutters and prepare for replacement if necessary, complete.

Demolition Notes

- The order of the demolition notes is not intended to imply the order of the work.
- The extent of the demolition is generally described. The contractor is responsible for all of the demolition work required to accommodate the installation of the proposed work.
- These documents have been prepared based upon conditions available for inspection. Certain areas and portions of the work may vary from the conditions indicated herein when viewed at the site. Each contractor shall verify all existing conditions and notify the Architect of any discrepancies between these documents and the existing conditions.
- Verify all existing dimensions and conditions prior to initiating work. Coordinate limits of demer work with requirements of new work.
- The contractor shall coordinate with the owner to develop accessible route requirements of all construction details and delivery of construction material.
- Provide shoring, bracing or support to prevent movement, settlement or collapse of areas to remain during and subsequent to demolition.
- Erect temporary dust partition or temporary retain existing partitions as required and provide ventilation equipment to prevent the migration of dust and debris and to separate the public and/or occupied areas from work areas.
- During demolition and rework procedures, the entire work area shall be cleared of all dust, dirt and other debris before application of any new materials under finishes.
- Each contractor is responsible to provide adequate and substantial provisions to protect the building and finished surfaces scheduled to remain, with proper and effective fire storage during delivery of equipment and disposal of materials. All damaged surfaces shall be restored to their original condition. No finishes shall be permitted to occur, nor existing sheet or rock unless approved by owner and the Authority having jurisdiction.
- Each contractor shall track, identify and control all air quality distribution services as required prior to commencing the work and shall notify all contractors of the same. Each contractor shall protect all utility distribution services exposed during progress of the work.
- If during the course of demolition, variable conditions are encountered, immediately stop work and notify the Architect of such conditions.
- Remove all items with care and for possible salvage. The owner reserves the right of refusal for all items scheduled to be removed. Protect and properly store all items called out to be reutilized for new work.
- Unless otherwise stated, patching and repair of areas to remain in-situ following demolition, including removal of patching and repair following the installation of new work, shall be the responsibility of the general trade contractor. Patch all openings resulting from the removal of existing partitions, operating mechanical and electrical work. Coordinate with existing work shown on the fire protection, plumbing, mechanical and electrical drawings.
- Patch and repair all existing fire systems as required and all alterations of demer work, walls, partitions, fixtures, equipment, piping and/or mechanical systems. Provide all existing doors to receive new floor finishes. Unless otherwise indicated, patch floors to match adjacent existing surfaces.
- Patch all walls and floors necessary to accept new finishes or to match existing adjacent finishes (to remain).
- Any trade performs core drilling or excavating operations shall verify location of existing floor structure prior to commencing drilling or cutting work and shall notify the Architect of any obstruction affecting layout of new work.
- Protect existing active smoke detectors and fire alarm devices from dust. Protect throughout duration of this project.
- Flues, cords and ductwork encountered in demer work shall be capped and concealed in floor, walls or ceiling.
- Salvage materials to be removed shall be removed by the contractor and turned over to the owner shall be identified by the owner and/or architect prior to the beginning of work and are to be stored on site at a location designated by the owner.
- Any projecting or surface mounted items to be abandoned shall be removed and concealed.
- Flows remain in the demolition package are existing and provided for clarity only. They do not exist in the new work of this project.
- Contractor responsible for moisture and mold detection and remediation throughout existing property. Existing damaged, deteriorated and/or mold-damaged, ceiling, and all other conditions shall be removed throughout as required. Refer contract terms for details of additional demolition beyond scope of work shown in demolition plans is required.



1. Basement Demolition Plan
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

Blank area for City of Philadelphia approval stamps.



NOTES

Wall Legend

	Existing wall/Construction
	Demolished wall/Construction
	New wall/Construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation

- Contractor to verify demolition scope throughout. Final interior demolition has been completed under a separate permit. Additional demolition scope items as indicated in the demolition drawings is required, notify architect immediately.
- Site work and demolition required for exterior walls including shoring, bracing, cut, sheathing and excavation for new exterior panels, and edge protection to ensure no cold engineering drawings under separate permit. See drawings by TCI Engineering about MDS/OSHA 100K.
- Contractor to salvage and store removed materials from exterior walls for reinstallation at other locations. See plans and drawings for areas of exterior wall work.
- Contractor to verify existing door swing in all locations. Contractor to verify existing door swing in all locations. See plans and drawings for areas of exterior wall work.
- Contractor to verify existing door swing in all locations. Contractor to verify existing door swing in all locations. See plans and drawings for areas of exterior wall work.
- Contractor to salvage existing doors in good condition and remove them for reuse or recycling. Repair and replace them as required to match existing.



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

Greythorne Development Adaptive Reuse of Existing Church
1032 N Front St
Philadelphia, PA 19123

DEMOLITION PLANS

Project number	22065
Date	10 June 2024
Drawn by	SK
Checked by	BB, SSP

AD100

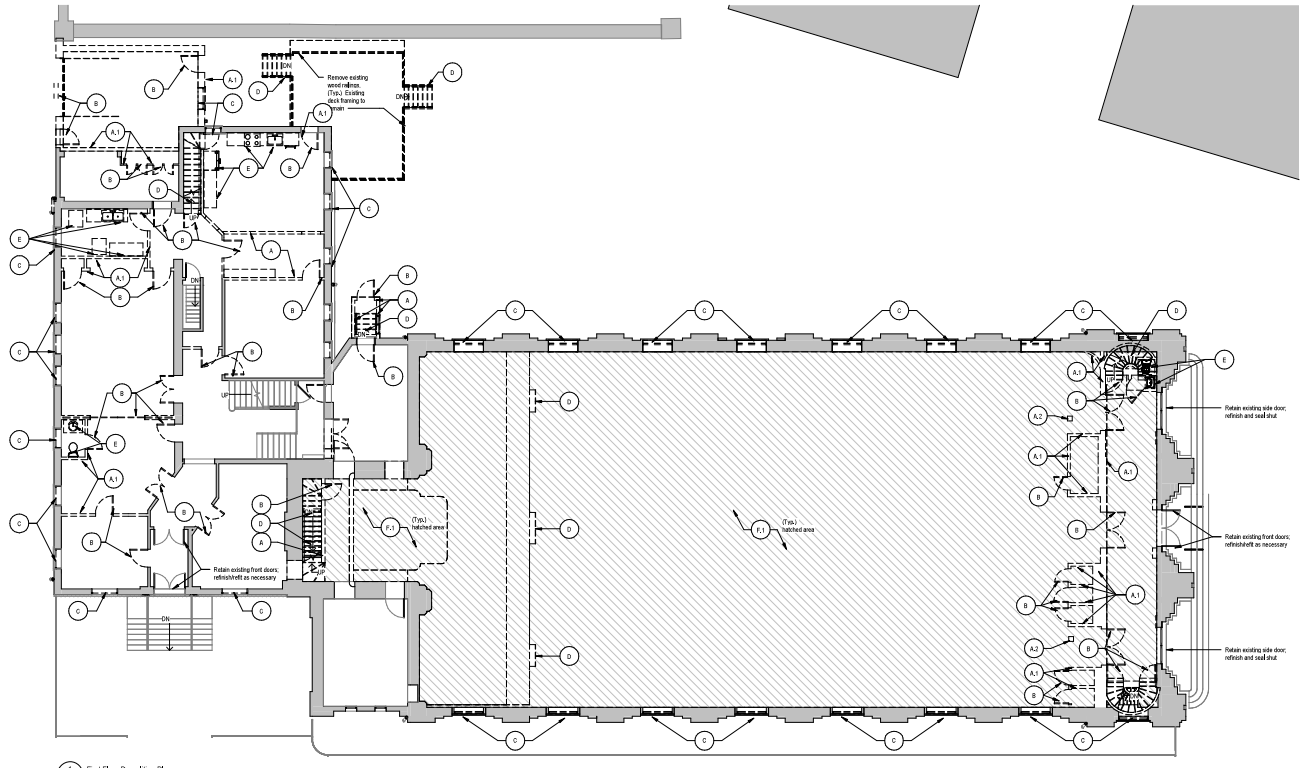


Demolition Keynotes

- BB, Keynote letters T, U, V, W omitted for clarity.
- A1 Remove walls or portion of wall as indicated on the dem plan, complete
 - A2 Remove columns or pier, complete
 - B Remove door, complete. Salvage doors in working order by potential condition 1 new location
 - C Remove window, complete. Salvage window frames (glass as necessary or historic requirements)
 - D Remove stairs, railing, and landing, complete
 - E Remove opening for non-ventilating, non-egress, including all openings, wall and floor finishes, cap and/or re-rod pipe as required, bundle or recycle debris in working order.
 - F1 Remove existing floor and associated framing to extent indicated on plan, complete
 - F2 Remove existing slab, prepare slabs to receive new slab and foundation.
 - G Remove ceiling and associated structure to extent shown on plan, complete
 - H1 Remove roof and associated structure to extent shown on plan, complete
 - H2 Remove roofing material, contractor to remove debris by vehicle and prepare for replacement if necessary, complete

Demolition Notes

- The order of the demolition notes is not intended to imply the order of the work.
- The extent of the demolition is generally described. The contractor is responsible for all of the demolition work required to accommodate the installation of the proposed work.
- These documents have been prepared based on available conditions available for inspection. Certain areas and portions of the work may vary from the conditions indicated herein when viewed at the site. Each contractor shall verify all existing conditions and notify the Architect of any discrepancies between these documents and the existing conditions.
- Verify all existing dimensions and conditions prior to initiating work. Coordinate limits of demo work with requirements of new work.
- The contractor shall coordinate with the owner to develop adequate made-measurements of all construction details and delivery of construction material.
- Provide shoring, bracing or support to prevent movement, settlement or collapse of areas to remain during and subsequent to demolition.
- Erect temporary dust partition or temporarily retain existing partitions as required and provide ventilation equipment to prevent the migration of dust and debris and to separate the public and/or occupied areas from work areas.
- During demolition and rework procedures, the entire work area shall be closed off all dust, dirt and other debris before application of any new materials and/or finishes.
- Each contractor is responsible to provide adequate and substantial provisions to protect the building and finished surfaces scheduled to remain, both interior and exterior. This includes, but is not limited to, the proper use of equipment and disposal of materials. All openings resulting from the removal of existing partitions, opening mechanical and electrical work. Coordinate with existing work shown on the fire protection, plumbing, mechanical and electrical drawings.
- Each contractor shall locate, identify and protect all utility distribution services as required prior to commencing the work and shall notify all contractors of the same. Each contractor shall protect all utility distribution services exposed during progress of the work.
- If during the course of demolition, utility conditions are encountered, immediately stop work and notify the Architect of such conditions.
- Remove all doors with care and for possible salvage. The owner reserves the right of refusal for all items scheduled to be removed. Protect and properly store all items subject to be re-installed for new work.
- Unless otherwise stated, patching and repair of areas to remain in place following demolition, including removal of patching and repair of areas to remain in place following demolition, shall be the responsibility of the general trade contractor. Patch all openings resulting from the removal of existing partitions, opening mechanical and electrical work. Coordinate with existing work shown on the fire protection, plumbing, mechanical and electrical drawings.
- Patch and repair all existing fire systems as required and all alterations of dem/dred walls, partitions, floors, equipment, framing and/or mechanical systems. Provide all existing doors to receive new floor finishes. Unless otherwise indicated, patch doors to match adjacent existing surfaces.
- Patch all walls and floors necessary to accept new finishes or to match existing adjacent finishes (to remain).
- Any trade performing core drilling or sawcutting operations shall verify location of existing floor structure prior to commencing drilling or cutting work and shall notify the Architect of any obstruction affecting layout of new work.
- Protect existing walls, window detectors and fire alarm devices from dust. Protect throughout duration of this project.
- Flues, cords and ductwork encountered in demolished partitions and ceiling which are to remain shall be recast and encased. Those which are abandoned shall be capped and concealed in floor, walls or ceiling.
- Salvage materials to be removed the demolition contractor and turned over to the owner shall be identified by the owner and/or architect prior to the beginning of work and are to be stored on site at a location designated by the owner.
- Any projecting or surface mounted items to be abandoned shall be removed and concealed.
- Flows raised in the demolition package are existing and provided for clarity only. They do not apply to the new work of this project.
- Contractor responsible for measures and noise detection and remediation throughout existing property. Existing damaged, deteriorated and/or non-compliant floors, ceilings, and all other conditions shall be removed throughout as required. Before embarking on removal of additional demolition beyond scope of work shown in demolition plans is required.



1 First Floor Demolition Plan
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

TONER architects

1901 S. 8th Street
Room 425
Philadelphia, PA 19148
215-800-1966
www.tonerarch.com

NOTES

Wall Legend

	Existing wall/structure
	Demolished wall/structure
	New wall/structure
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation

- Contractor to verify condition of existing structure. If and where demolition has been completed under a separate permit, additional conditions other than what is indicated in the demolition drawings is required, notify architect immediately.
- Site work and demolition required for exterior walls including shoring, cut, shoring and excavation for new exterior panels, and rough grading to ensure a full engineering drawing under separate permit. See drawing by TCI Engineering dated MARCH 2024.
- Contractor to salvage and store removed brickwork from exterior walls for reinstallation at other locations. See plans and drawings for areas of exterior wall work.
- Contractor to remove all existing interior and exterior light fixtures during construction. Salvage fixtures in working order. Contractor to coordinate with owners on salvaging original lights to be re-installed.
- Contractor to salvage existing steel ceiling in all interior areas throughout building and determine extent of reuse and/or replacement. Original ceiling remains in greatest extent possible. Detail.
- Contractor to salvage existing doors in good condition and remove them to contractor's storage facility. See door schedule for door sizes and details.
- Contractor to salvage and/or install existing trim to greatest extent possible. Repair and replace trim as required to match existing.



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

Greythorne Development Adaptive Reuse of Existing Church

1032 N Front St
Philadelphia, PA 19123

DEMOLITION PLANS

Project number: 22065
Date: 10 June 2024
Drawn by: SK
Checked by: BB, SSP

AD101

Scale: As indicated



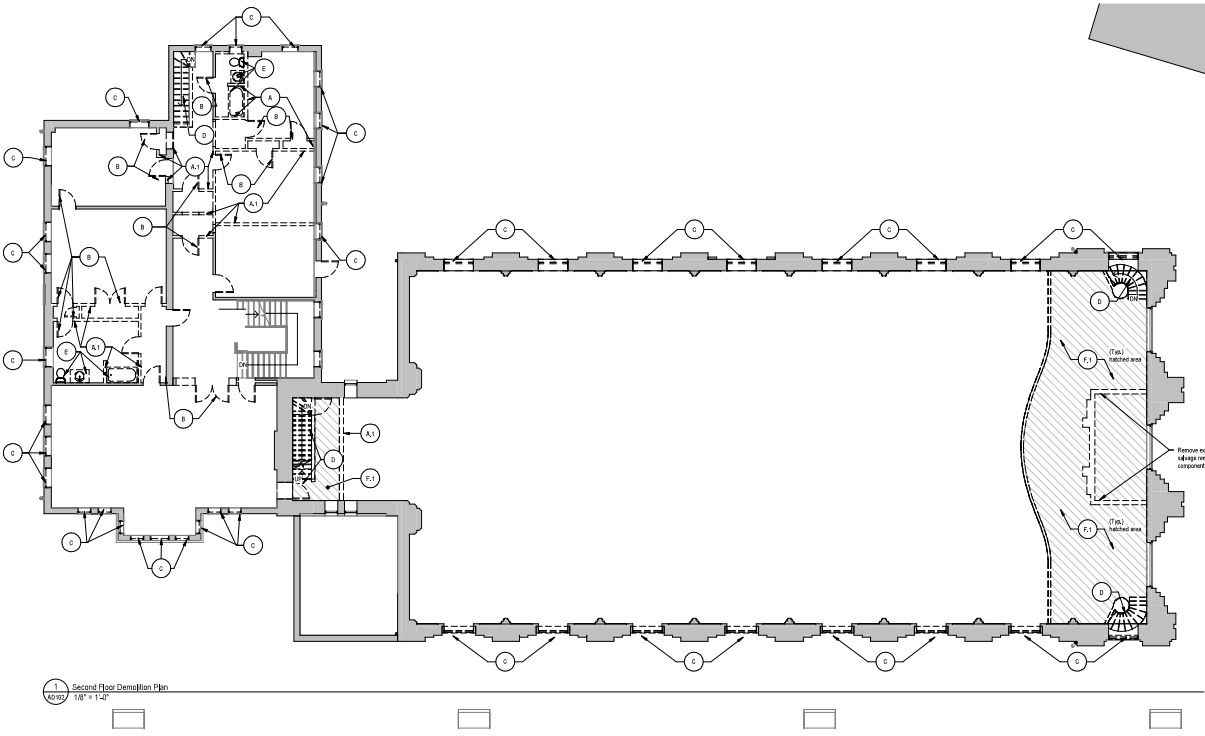
Demolition Keynotes

Note: Keynote letters T, U, V, W omitted for clarity.

- K1 Remove walls or portion of wall as indicated on the demer plans, complete.
- K2 Remove columns or pier, complete.
- E Remove door, complete. Salvage doors in working order by potential recondition to new locations.
- W Remove window, complete. Salvage existing window frames as necessary or fabricate replacements.
- S Remove stairs, railing, and landing, complete.
- F Remove flashing from windows, complete. Including all window, wall, and door finishes. Cap window in rubble piles as required. Remove or recycle debris in working order.
- F1 Remove existing floor and associated framing to extent indicated on plan, complete.
- F2 Remove existing slab, prepare slabs to receive new slab and foundation.
- R Remove roofing and associated structure to extent shown on plan, complete.
- R1 Remove roofing material, contractor to remove existing gutters and drains for replacement if necessary, complete.

Demolition Notes

- The order of the demolition notes is not intended to imply the order of the work.
- The extent of the demolition is generally described. The contractor is responsible for all of the demolition work required to accommodate the installation of the proposed work.
- These documents have been prepared based on available conditions available for inspection. Certain areas and portions of the work may vary from the conditions indicated herein when uncovered at the site. Each contractor shall verify all existing conditions and notify the Architect of any discrepancies between these documents and the existing conditions.
- Verify all existing dimensions and conditions prior to installing work. Coordinate limits of demer work with requirements of new work.
- The contractor shall coordinate with the owner to develop accessible, made-measurements of all construction details and delivery of construction material.
- Provide shoring, bracing or support to prevent movement, settlement or collapse of areas to remain during and subsequent to demolition.
- Erect temporary dust partition or temporary retain existing partitions as required and provide weather protection equipment to prevent the migration of dust and debris and to separate the public-occupied areas from work areas.
- During demolition and rework procedures, the entire work area shall be cleared of all dust, dirt and other debris before application of any new materials under finishes.
- Each contractor is responsible to provide adequate and substantial provisions to protect the building and finished surfaces scheduled to remain. Such measures and activities, from storage during delivery of equipment and disposal of materials, all damaged surfaces shall be restored to their original condition. No changes shall be permitted to occur. See existing sheet of work unless approved by owner and the Architect's written permission.
- Each contractor shall track, identify and protect all utility distribution services as required prior to commencing the work and shall notify all contractors of the same. Each contractor shall protect utility distribution services exposed during progress of the work.
- If during the course of demolition, utilities conditions are encountered, immediately stop work and notify the Architect of such conditions.
- Remove all items with care and for possible rework. The owner retains the right of refusal for all items scheduled to be removed. Protect and properly store all items collected out to be reutilized for new work.
- Unless otherwise stated, patching and repair of areas to remain in areas following demolition, including removal and patching, shall be the responsibility of the contractor. Patch all openings resulting from the removal of existing partitions, opening mechanical and electrical work. Coordinate with existing work shown on the fire protection, plumbing, mechanical and electrical drawings.
- Flash and repair all existing fire systems as required and at all locations of demolished walls, partitions, doors, openings, framing and/or mechanical. Provide all existing doors to receive new floor finishes. Unless otherwise indicated, patch floors to match adjacent existing surfaces.
- Patch all walls and floors necessary to accept new finishes or to match existing adjacent finishes (or remove).
- Any trade performs core drilling or sawcutting operations shall verify location of existing floor structure prior to commencing drilling or cutting work and shall promptly notify Architect of any distribution affecting layout of new work.
- Protect existing walls, window treatments and fire alarm devices from dust. Protect throughout duration of this project.
- Flues, vents and ductwork encountered in demolished partitions and ceilings which are to remain shall be removed and capped. Those which are abandoned shall be capped and concrete in floor, walls or ceiling.
- Salvage materials to be removed the demolition contractor and turned over to the owner shall be identified by the owner under architect prior to the beginning of work and are to be stored on site at a location designated by the owner.
- Any projecting or surface mounted items to be abandoned shall be removed and concealed.
- Flues remain in the demolition package are existing and provided for clarity only. They do not exist in the new work of steel.
- Contractor responsible for moisture and mold detection and remediation throughout existing structure. Existing damaged, deteriorated, rotted, rotten, insect, rotting, and all other conditions to be removed throughout as required. Verify extent, removal, and all other conditions to be removed throughout as required. Verify extent, removal, and all other conditions to be removed beyond scope of work shown in demolition plans is required.



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1901 S. 8th Street
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Philadelphia, PA 19148
215-800-1966
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NOTES

Wall Legend

- Existing wall/Construction
- Demolished wall/Construction
- New wall/Construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation

- Contractor to verify, remediate open fireplaces. If any interior demolition has been completed under a separate permit, additional conditions other than what is indicated in the demolition drawings is required, notify architect immediately.
- Site work and demolition required for exterior walls including shoring, work cut, shoring and excavation for new exterior panels and rough opening to receive new wall engineering drawings under separate permit. See drawings by TCI Engineering about MODIFIED RC WALL.
- Contractor to salvage and store removed partitions from exterior walls for reinstallation at other locations. See notes and drawings for areas of interior walls only.
- Contractor to remove all existing interior and exterior light fixtures during construction. Salvage fixtures in working order. Contractor to coordinate with owner on salvaging original lights to be re-installed.
- Contractor to remove existing door sillings in all entrance areas throughout building and determine extent of repair and/or replacement. Original sillings to remain in greatest extent possible. Note.
- Contractor to salvage existing doors in good condition and remove them for reuse throughout building. Note. The door schedule for door sizes and details.
- Contractor to salvage entire interior existing trim to greatest extent possible. Repair and replace trim as required to match existing.

NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

Greythorne Development
Adaptive Reuse of Existing Church
1032 N Front St
Philadelphia, PA 19123

DEMOLITION PLANS

Project number 22065
Date 10 June 2024
Drawn by SK
Checked by BB, SSP

AD102

Scale: As indicated

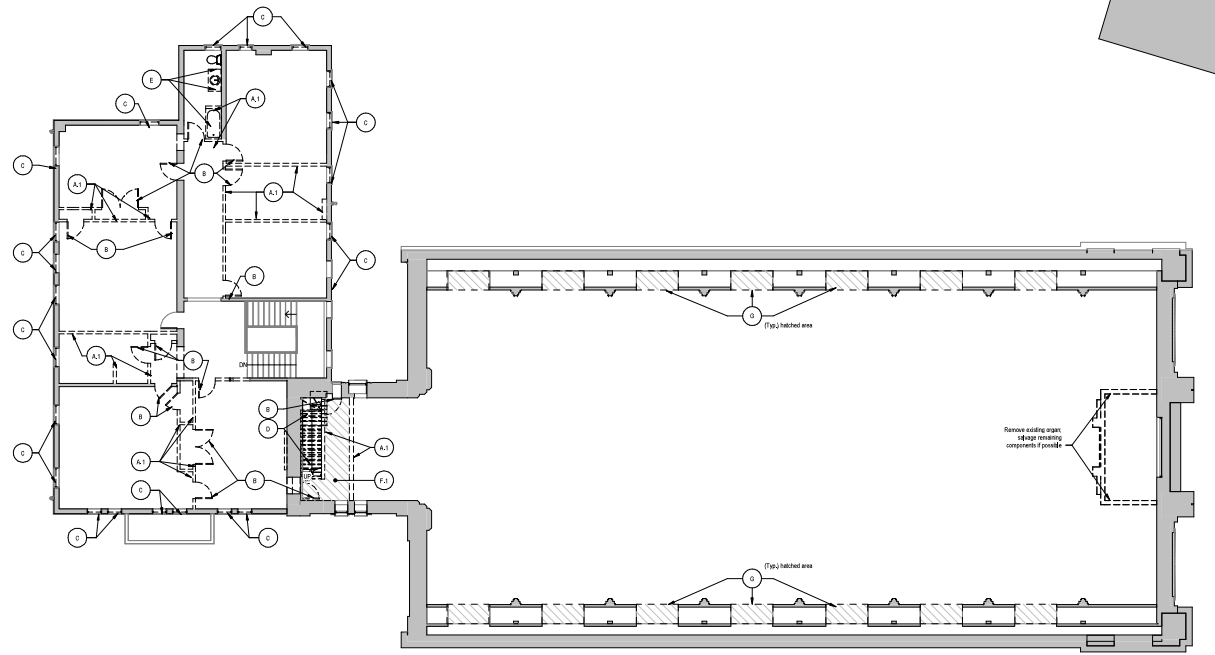


Demolition Keynotes
 Note: Keynotes A1, U, V, W omitted for clarity.

- | | |
|--|---|
| <ul style="list-style-type: none"> A1 Remove walls or portion of wall as indicated on the demer plan, complete. A2 Remove columns or pier, complete. B Remove door, complete. Salvage doors in working order by potential condition 1 new location. C Remove window, complete. Salvage existing window frames as necessary or historic requirements. D Remove stairs, railing, and landing, complete. E Remove existing fire underdrains, complete. Including all downcast, wall and floor finishes. Cap and/or re-locate pipes as required. Provide a recycle bin in working order. | <ul style="list-style-type: none"> F1 Remove existing floor and associated framing to extent indicated on plan, complete. F2 Remove existing slab, prepare slabs to receive new slab and foundation. G Remove ceiling and associated structure to extent shown on plan, complete. H1 Remove roof and associated structure to extent shown on plan, complete. H2 Remove roofing material, contractor to remove existing gutters and prepare for replacement if necessary, complete. |
|--|---|

Demolition Notes

1. The order of the demolition notes is not intended to imply the order of the work.
2. The extent of the demolition is generally described. The contractor is responsible for all of the demolition work required to accommodate the installation of the proposed work.
3. These documents have been prepared based on available conditions available for inspection. Certain areas and portions of the work may vary from the conditions indicated herein when viewed at the site. Each contractor shall verify all existing conditions and notify the Architect of any discrepancies between these documents and the existing conditions.
4. Verify all existing dimensions and conditions prior to initiating work. Coordinate limits of demer work with requirements of new work.
5. The contractor shall coordinate with the owner to develop accessible route measurements of all construction details and delivery of construction material.
6. Provide shoring, bracing or support to prevent movement, settlement or collapse of areas to remain during and subsequent to demolition.
7. Erect temporary dust partition or temporary retain existing partitions as required and provide ventilation equipment to prevent the migration of dust and debris and to separate the public and/or occupied areas from work areas.
8. During demolition and removal procedures, the entire work area shall be clean of all dust, dirt and other debris before application of any new materials and/or finishes.
9. Each contractor is responsible to provide adequate and substantial provisions to protect the building and finished surfaces scheduled to remain, both interior and exterior. This includes shoring of equipment and disposal of materials. All completed surfaces shall be retained to their original condition. No finishes shall be permitted to occupy any existing street or walk unless approved by owner and the Authority having jurisdiction.
10. Each contractor shall locate, identify and protect all utility distribution services as required prior to commencing the work and shall notify all contractors of the same. Each contractor shall protect all utility distribution services exposed during progress of the work.
11. If during the course of demolition, utility conditions are encountered, immediately stop work and notify the Architect of such conditions.
12. Remove all doors with care and for possible salvages. The owner retains first right of refusal for all items scheduled to be removed. Protect and properly store all items collected out to be reutilized for new work.
13. Unless otherwise stated, patching and repair of areas to remain in areas following demolition, including removal and patching of existing masonry, shall be the responsibility of the general trade contractor. Patch all openings resulting from the removal of existing partitions, opening mechanical and electrical work. Coordinate with existing work shown on the fire protection, plumbing, mechanical and electrical drawings.
14. Patch and repair all existing fire systems as required and all alterations of demer work, walls, partitions, fixtures, equipment, piping and/or mechanical systems. Provide all existing doors to receive new floor finishes. Unless otherwise indicated, patch floors to match adjacent existing surfaces.
15. Patch all walls and floors necessary to accept new finishes or to match existing adjacent finishes (to remain).
16. Any trade performs core drilling or sawcutting operations shall verify location of existing floor structure prior to commencing drilling or cutting work and shall notify the Architect of any distribution affecting layout of new work.
17. Protect existing ceiling, service ducts and fire alarm devices from dust. Protect throughout duration of the project.
18. Pipes, conduits and ductwork encountered in demer work shall be capped and concrete in floor, walls or ceiling.
19. Salvage materials to be removed the demolition contractor and turned over to the owner shall be identified by the owner and/or architect prior to the beginning of work and are to be stored on site at a location designated by the owner.
20. Any projecting or surface mounted items to be abandoned shall be removed and concealed.
21. Floor raises in the demolition package are existing and provided for clarity only. They do not exist in the new work of demer.
22. Contractor responsible for moisture and mold detection and remediation throughout existing property. Existing damaged, deteriorated and/or mold-damaged wood, ceiling, and all other conditions shall be removed throughout as required. Refer contract terms for details of additional demolition beyond scope of work shown in demolition plans is required.



1 Third Floor Demolition Plan
 1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



TONER architects

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 Room 425
 Philadelphia, PA 19148
 215-800-1966
 www.tonerarch.com

NOTES

Wall Legend

	Existing wall/Construction
	Demolished wall/Construction
	New wall/Construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation

1. Contractor to verify demolition scope throughout. Final interior demolition has been completed under a separate permit. Structural steel beams (over four feet in diameter) in the demolition drawings is required, notify architect immediately.
2. Site work and demolition required for exterior walls including shoring, form work, shoring and excavation for new exterior panels, and rough grading to ensure no cold engineering drawings under separate permit. See drawings by TCI Engineering about MODIFIED ROAD.
3. Contractor to salvage and store required brickwork from exterior walls for reinstallation at other locations. See plans and drawings for areas of exterior wall work.
4. Contractor to remove all existing interior and exterior light fixtures during construction. Salvage fixtures in working order. Contractor to coordinate with owners on salvaging original fixtures to be re-installed.
5. Contractor to verify existing steel railing in all interior areas throughout building and determine extent of repair and/or replacement. Original railing to remain in greatest extent possible. Provide.
6. Contractor to salvage existing doors in good condition and remove them for potential reinstallation at other locations. See door schedule for door sizes and details.
7. Contractor to salvage and/or install existing trim to greatest extent possible. Repair and replace trim as required to match existing.

NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

**Greythorne Development
 Adaptive Reuse of Existing
 Church**

1032 N Front St
 Philadelphia, PA 19123

DEMOLITION PLANS

Project number: 22065
 Date: 10 June 2024
 Drawn by: SK
 Checked by: BB, SSP

AD103

Scale: As indicated

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Demolition Keynotes

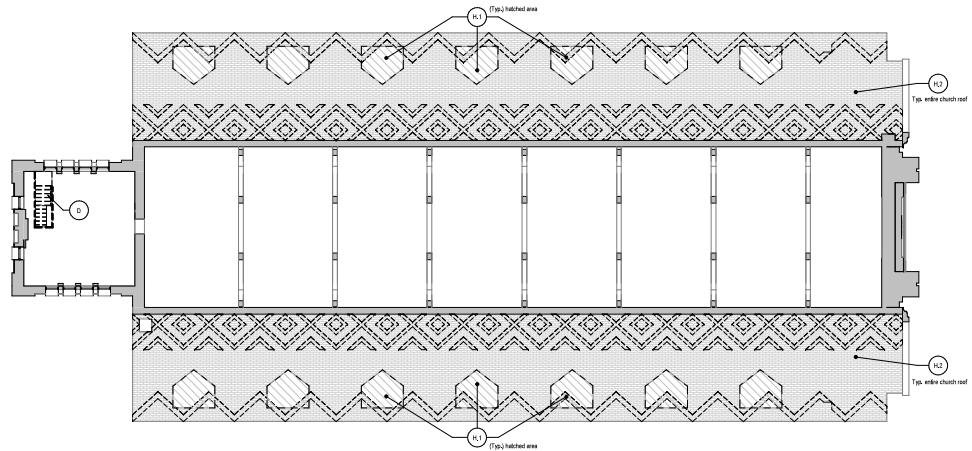
Refer Keynote Letters T, U, V, W omitted for clarity.

- | | |
|--|---|
| <ul style="list-style-type: none"> K1.1 Remove walls or portion of wall as indicated on the demer plan, complete. K1.2 Remove columns or pier, complete. K1.3 Remove door, complete. Salvage doors in working order by potential recondition if new hardware. K1.4 Remove window, complete. Salvage existing window frames as necessary or fabricate replacement. K1.5 Remove stairs, railing, and landing, complete. K1.6 Remove existing fire underdrains, complete. Including all equipment, wall and floor finishes. Cap water in main pipe as required. Provide a weep hole in working order. | <ul style="list-style-type: none"> K2.1 Remove existing floor and associated framing to extent indicated on plan, complete. K2.2 Remove existing slab, prepare slabs to receive new slab and foundation. K2.3 Remove ceiling and associated structure to extent shown on plan, complete. K2.4 Remove roof and associated structure to extent shown on plan, complete. K2.5 Remove roofing material, contractor to remove existing materials and prepare for replacement if necessary, complete. |
|--|---|

Demolition Notes

1. The order of the demolition notes is not intended to imply the order of the work.
2. The extent of the demolition is generally described. The contractor is responsible for all of the demolition work required to accommodate the installation of the proposed work.
3. These documents have been prepared based on available conditions available for inspection. Certain areas and portions of the work may vary from the conditions indicated herein when viewed at the site. Each contractor shall verify all existing conditions and promptly notify the Architect of any discrepancies between these documents and the existing conditions.
4. Verify all existing dimensions and conditions prior to initiating work. Coordinate limits of demer work with requirements of new work.
5. The contractor shall coordinate with the owner to develop acceptable made measurements of all construction details and delivery of construction material.
6. Provide shoring, bracing or support to prevent movement, settlement or collapse of areas to remain during and subsequent to demolition.
7. Erect temporary dust partition or temporary retain existing partitions as required and provide ventilation equipment to prevent the migration of dust and debris and to separate the public and/or occupied areas from work areas.
8. During demolition and rework procedures, the entire work area shall be clear of all dust, dirt and other debris before application of any new materials and/or finishes.
9. Each contractor is responsible to provide adequate and substantial provisions to protect the building and finished surfaces scheduled to remain, both interior and exterior. This includes providing adequate support and disposal of materials. All damaged surfaces shall be returned to their original condition. No changes shall be permitted to occur. See existing sheet of work unless approved by owner and the Authority Having Jurisdiction.
10. Each contractor shall locate, identify and protect all fire alarm distribution services as required prior to commencing the work and shall notify all contractors of the same. Each contractor shall protect all fire alarm distribution services exposed during progress of the work.
11. If during the course of demolition, unusual conditions are encountered, immediately stop work and notify the Architect of such conditions.
12. Remove all items with care and for possible salvages. The owner retains first right of refusal for all items scheduled to be removed. Protect and properly store all items subject to be reinstalled for new work.
13. Unless otherwise stated, patching and repair of areas to remain in service following demolition, including removal of patching and repair following the installation of new work, is the responsibility of the general trade contractor. Patch all openings resulting from the removal of existing partitions, blocking, mechanical and electrical work. Coordinate with existing work shown on the fire protection, plumbing, mechanical and electrical drawings.
14. Patch and repair all existing fire systems as required and at all locations of demolished walls, partitions, floors, equipment blocking and/or mechanical/electrical. Provide all existing doors to receive new floor finishes. Unless otherwise indicated, patch floors to match adjacent existing surfaces.
15. Patch all walls and floors necessary to accept new finishes or to match existing adjacent finishes (or remove).
16. Any trade performing core drilling or excavating operations shall verify location of existing floor structure prior to commencing drilling or cutting work and shall promptly notify Architect of any obstruction affecting layout of new work.
17. Protect existing active smoke detectors and fire alarm devices from dust. Protect throughout duration of the project.
18. Pipes, conduits and ductwork encountered in demolished partitions and ceiling which are to remain shall be protected and capped. Those which are abandoned shall be capped and concealed in floor, walls or ceiling.
19. Salvage materials to be removed the demolition contractor and turned over to the owner shall be identified by the owner and/or architect prior to the beginning of work and are to be stored on site at a location designated by the owner.
20. Any projecting or surface mounted items to be abandoned shall be removed and concealed.
21. Floor raises in the demolition package are existing and provided for clarity only. They do not exist in the new work of demer.
22. Contractor responsible for moisture and mold detection and remediation throughout existing property. Existing damaged, deteriorated and/or mold-damaged wood, ceiling, and all other conditions related to be removed throughout as required. Refer contract terms for details of additional demolition beyond scope of work shown in demolition plans is required.

1. Bill Tower/ABC Demolition Plan
1/8" = 1'-0"



CITY OF PHILADELPHIA APPROVAL STAMPS

TONER architects

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Room 425
Philadelphia, PA 19148
215-800-1966
www.tonerarch.com

NOTES

Wall Legend

	Existing wall/Construction
	Demolished wall/Construction
	New wall/Construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation

1. Contractor to verify demolition scope throughout. Final interior demolition has been completed under a separate permit. Additional demolition other than what is indicated in the demolition drawings is required, notify architect immediately.
2. Site work and demolition required for exterior walls including shoring, cut out, shoring and excavation for new exterior parapet, and rough grading to ensure a full engineering drawings under separate permit. See drawings by TCI Engineering about MDC/DC/DC/DC.
3. Contractor to salvage and store removed backstubs from exterior walls for reinstallation at other locations. See plans and drawings for areas of exterior wall work.
4. Contractor to remove all existing interior and exterior light fixtures during construction. Salvage fixtures in working order. Contractor to coordinate with owners on salvaging original lights to be re-installed.
5. Contractor to salvage existing steel railing on all interior areas throughout building and determine extent of reuse and/or replacement. Original railing to remain in greatest extent possible. Detail.
6. Contractor to salvage existing doors in good condition and remove them for reuse and/or replacement. Detail. The door schedule for door sizes and details.
7. Contractor to salvage and/or remove existing trim to greatest extent possible. Repair and replace trim as required to match existing.



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

Greythorne Development Adaptive Reuse of Existing Church

1032 N Front St
Philadelphia, PA 19123

DEMOLITION PLANS

Project number: 22065
Date: 10 June 2024
Drawn by: SK
Checked by: BB, SSP

AD104

Scale: As indicated



NOTES



NOT FOR
CONSTRUCTION

DATE
DESCRIPTION
NO.

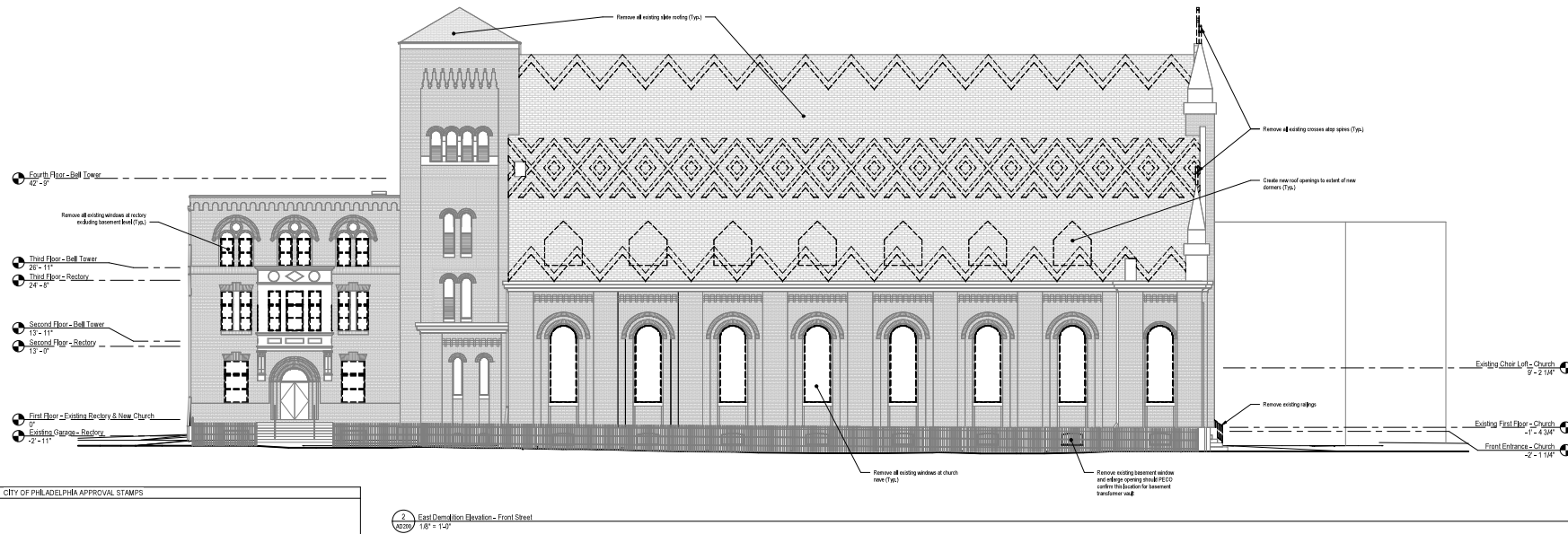
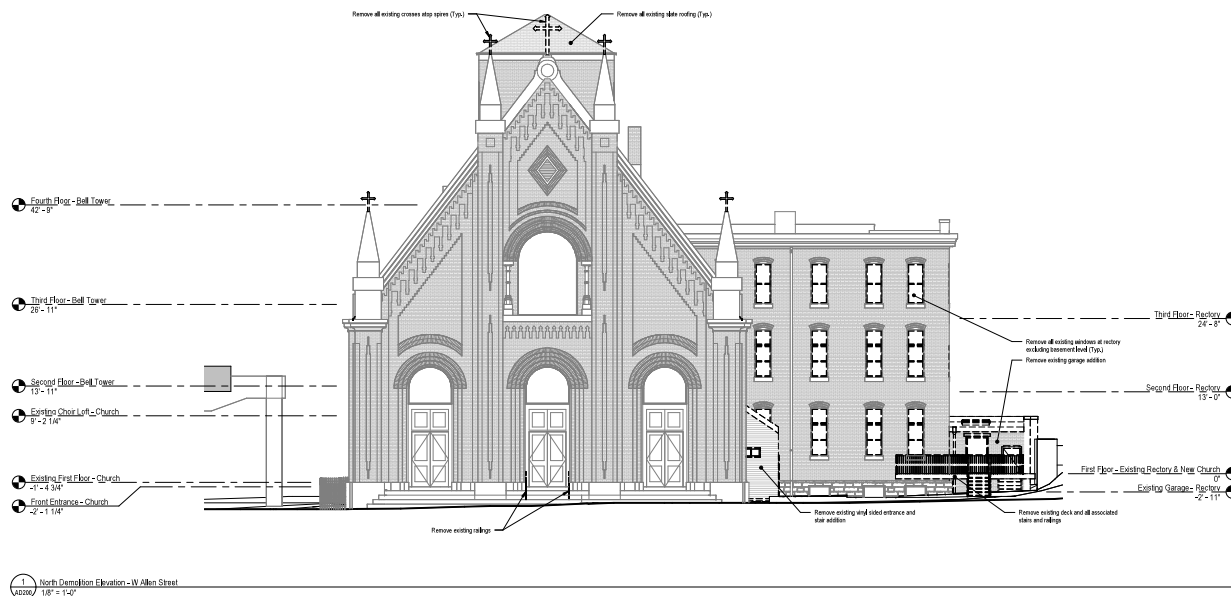
Greythorne Development
Adaptive Reuse of Existing
Church
1032 N Front St
Philadelphia, PA 19123

EXTERIOR DEMOLITION
ELEVATIONS

Project number 22055
Date 10 June 2024
Drawn by BB
Checked by SSP

AD200

Scale 1/8" = 1'-0"



CITY OF PHILADELPHIA APPROVAL STAMPS

NOTES



NOT FOR
CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

Greythorne Development
Adaptive Reuse of Existing
Church

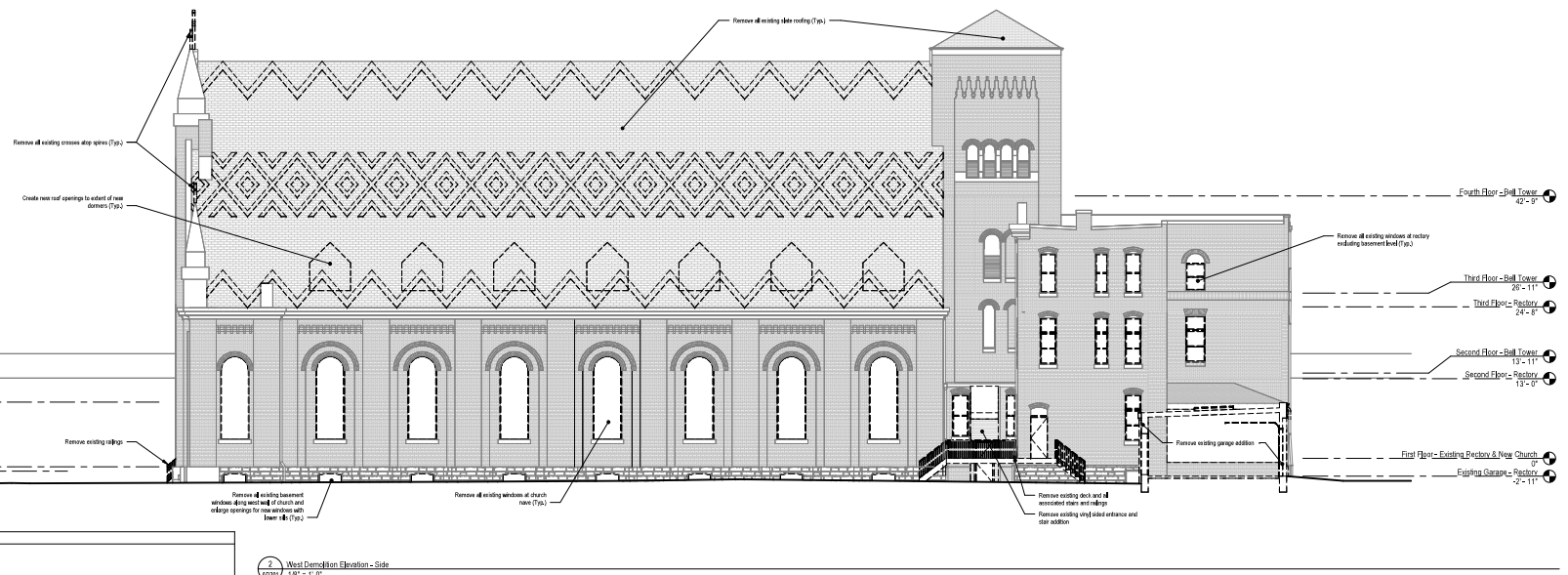
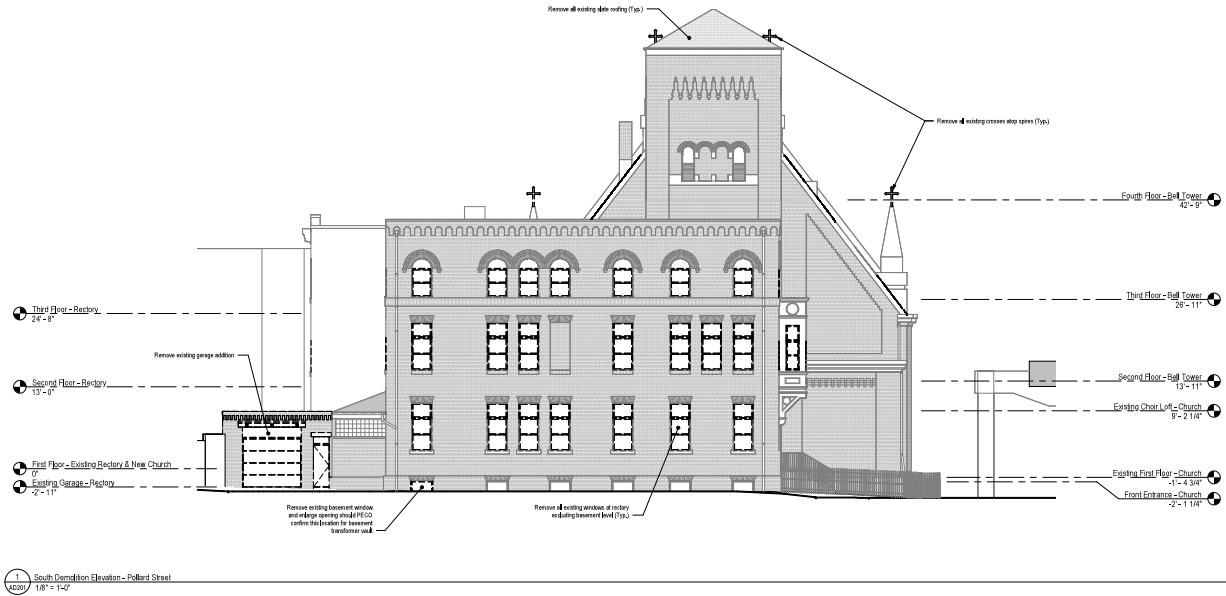
1032 N Front St
Philadelphia, PA 19123

EXTERIOR DEMOLITION
ELEVATIONS

Project number 22055
Date 10 June 2024
Drawn by BB
Checked by SSP

AD201

Scale 1/8" = 1'-0"



CITY OF PHILADELPHIA APPROVAL STAMPS

NOTES

- Wall Legend**
- Existing wall/construction
 - Demolished wall/construction
 - New wall/construction
 - 1 hour fire rated separation
 - 2 hour fire rated separation
 - 1 hour fire rated separation
Alignment notes supersede dimensions where noted.
Where conflicting information is noted, direction resolve provided by the Architect.
1. All dimensions are to the face of finished wall unless noted otherwise.
 2. Remove and extend existing systems as required to accommodate new work.



NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION

**Greythorne Development
Adaptive Reuse of Existing Church**

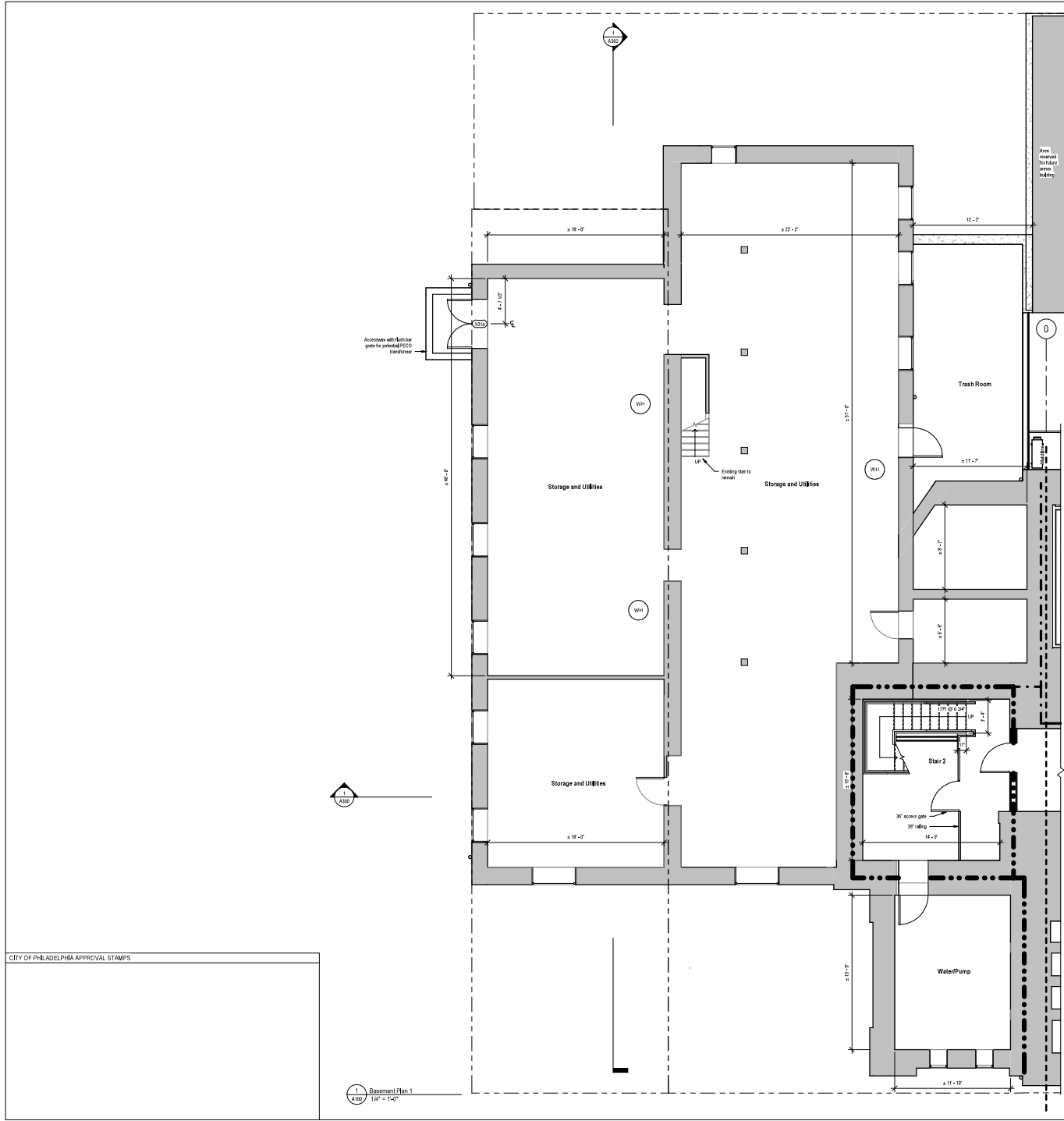
1032 N Front St
Philadelphia, PA 19123

FLOOR PLANS

Project number: 22055
Date: 10 June 2024
Drawn by: SK
Checked by: BB, SSP

A100

Scale: 1/8" = 1'-0"



CITY OF PHILADELPHIA APPROVAL STAMPS

NOTES

Wall Legend

- Existing wall/Construction
- Demolished wall/Construction
- New wall/Construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation

1. Alignment notes supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
2. All dimensions are to the face of finished walls unless noted otherwise.
3. Provide and install ceiling systems as required to accommodate new work.



NOT FOR
CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

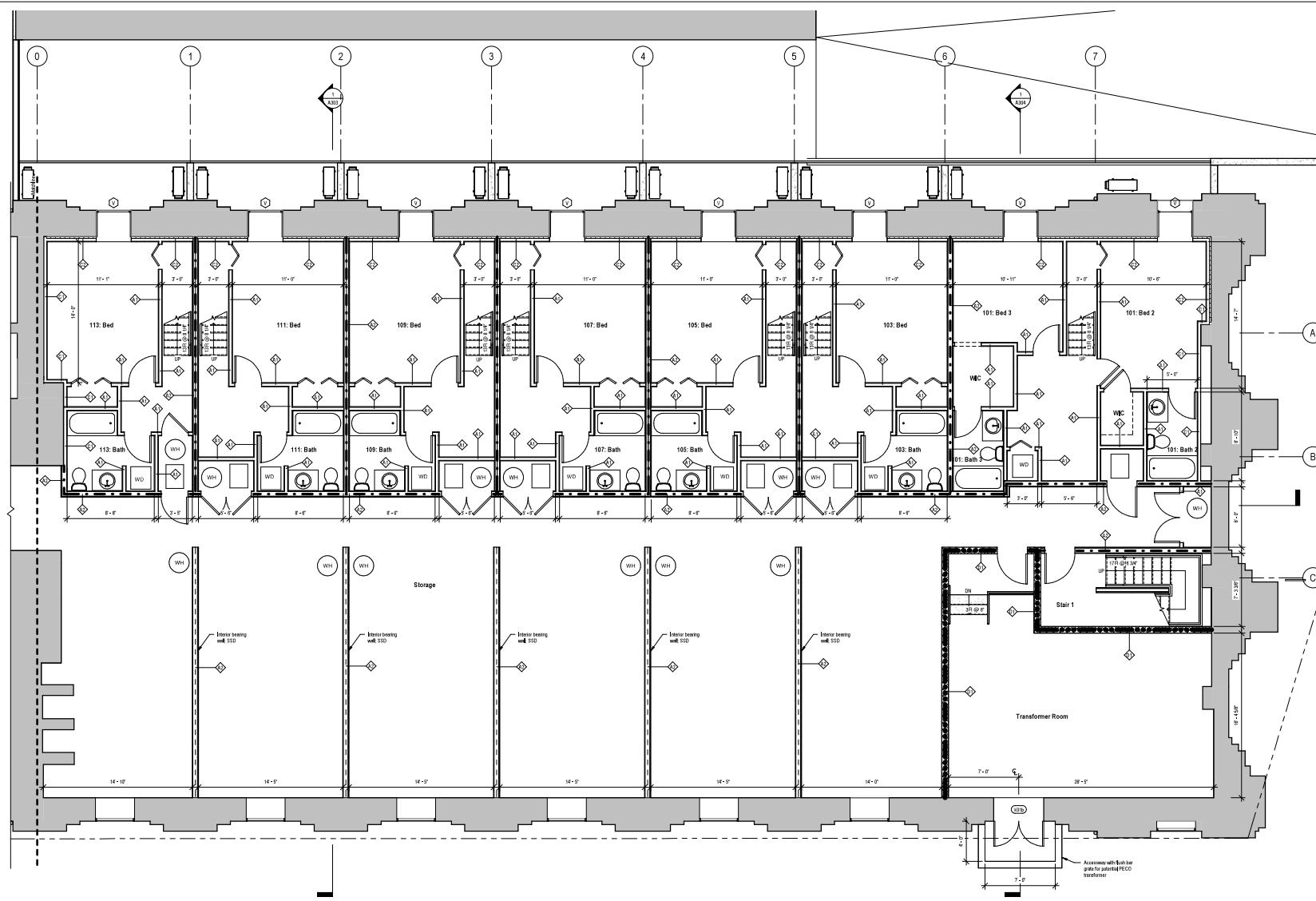
Greythorne Development
Adaptive Reuse of Existing
Church
1032 N Front St
Philadelphia, PA 19123

FLOOR PLANS

Project number	22055
Date	10 June 2024
Drawn by	SK
Checked by	BB, SSP

A101

Scale: 1/8" = 1'-0"



1 Basement Plan 2
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

NOTES

Wall Legend

- Existing wall/Construction
- Demolished wall/Construction
- New wall/Construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation

1. Alignment notes supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
2. All dimensions are to the face of finished wall unless noted otherwise.
3. Results and noted existing systems as required to accommodate new work.



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

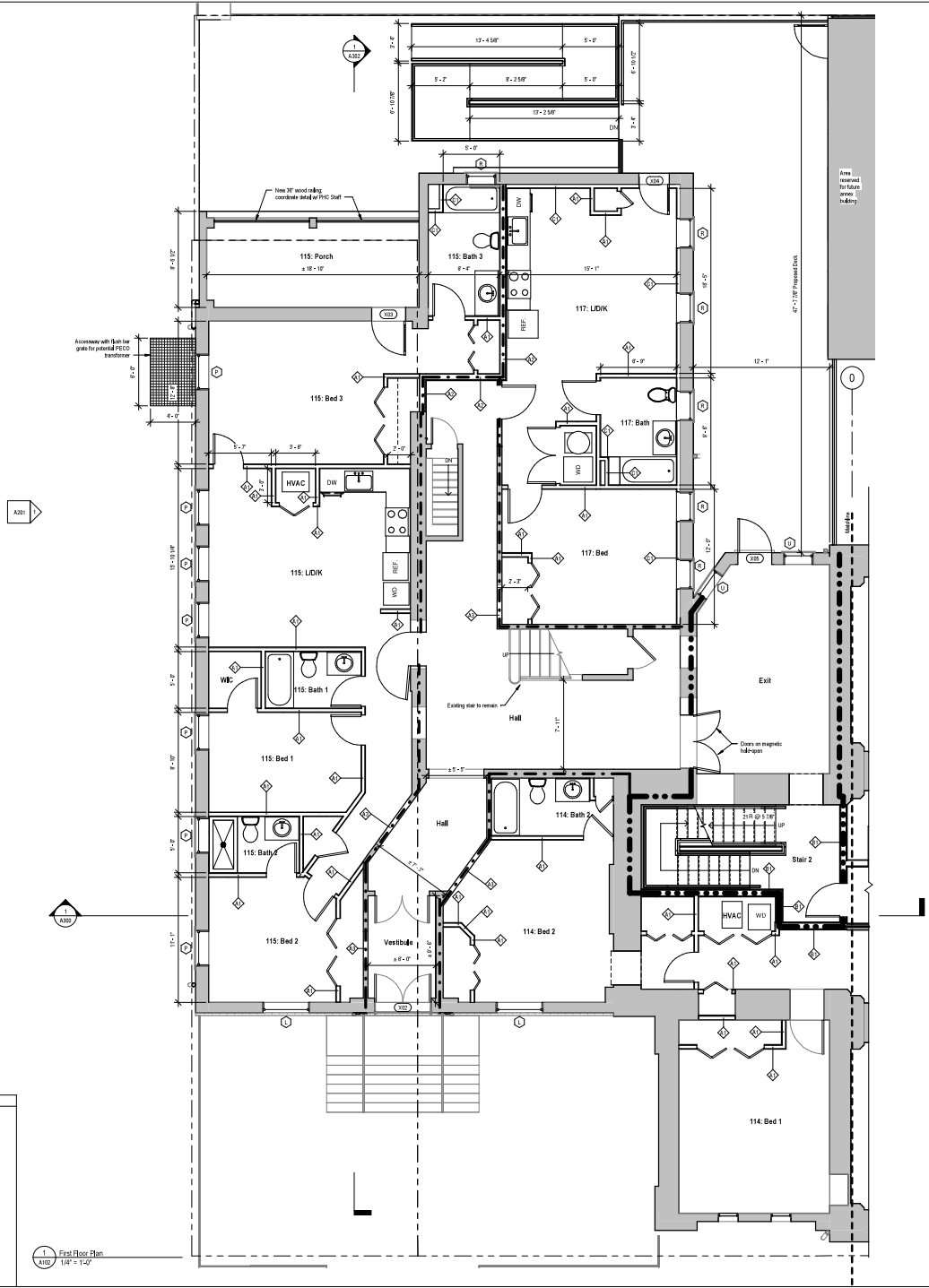
Greythorne Development
Adaptive Reuse of Existing Church
1032 N Front St
Philadelphia, PA 19123

FLOOR PLANS

Project number 22055
Date 10 June 2024
Drawn by SK
Checked by BB, SSP

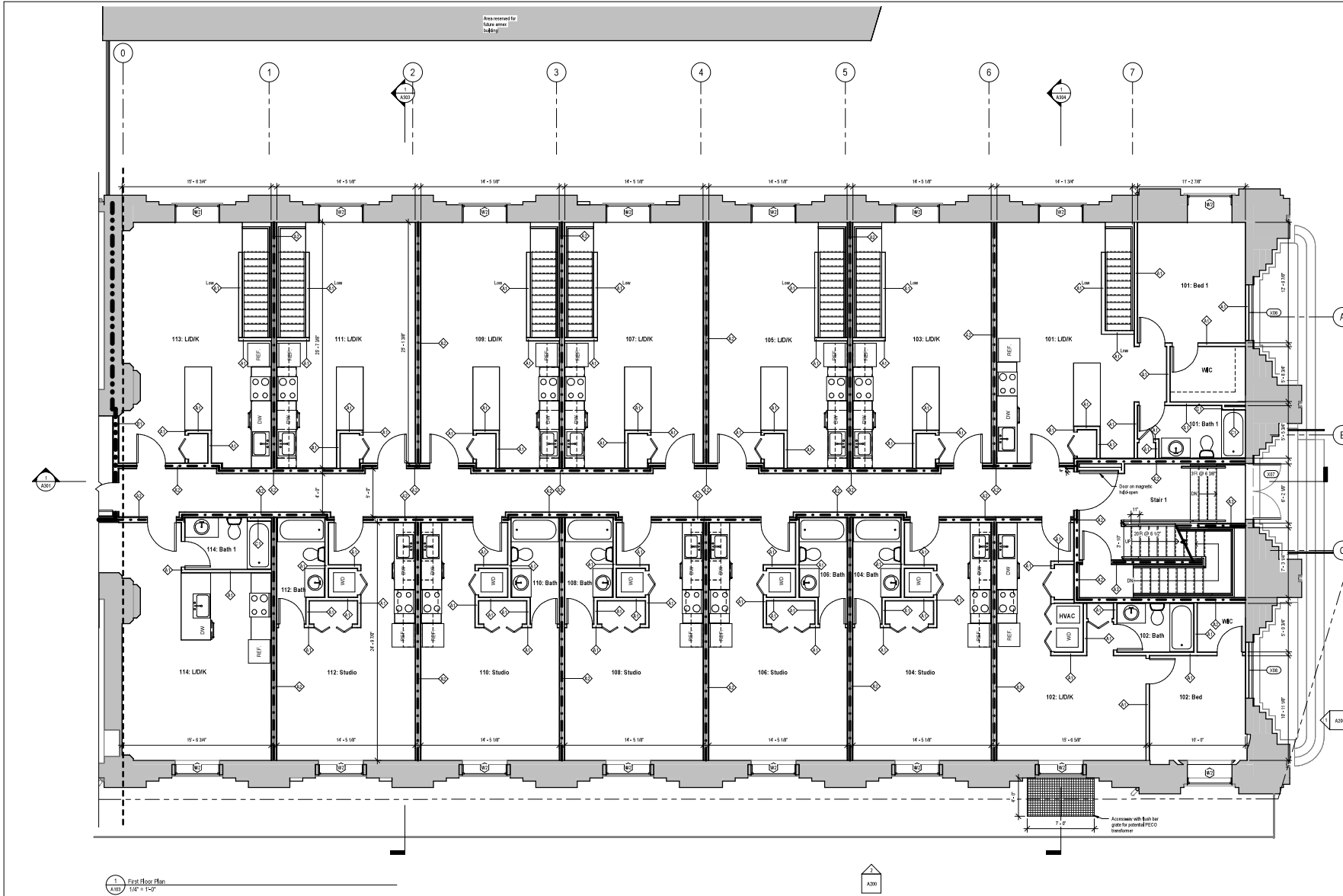
A102

Scale 1/8" = 1'-0"



1 First Floor Plan
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



1 First Floor Plan
 1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



1901 S. 9th Street
 Room 425
 Philadelphia, PA 19148
 215.500.1966
 www.tonerarch.com

NOTES

Wall Legend

	Existing wall/construction
	Demolished wall/construction
	New wall/construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation

- Alignment notes supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
- All dimensions are to the face of finished wall unless noted otherwise.
- Revisit and correct existing systems as required to accommodate new work.



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

Greythorne Development
 Adaptive Reuse of Existing
 Church
 1032 N Front St
 Philadelphia, PA 19123

FLOOR PLANS

Project number	22055
Date	10 June 2024
Drawn by	SK
Checked by	BB, SSP

A103

Scale: 1/8" = 1'-0"



NOTES

Wall Legend

- Existing wall/Construction
- Demolished wall/Construction
- New wall/Construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation

1. Alignment notes supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
2. All dimensions are to the face of finished wall unless noted otherwise.
3. Results and notes existing systems as required to accommodate new work.



NOT FOR
CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

Greythorne Development
Adaptive Reuse of Existing
Church
1032 N Front St
Philadelphia, PA 19123

FLOOR PLANS

Project number 22055
Date 10 June 2024
Drawn by SK
Checked by BB, SSP

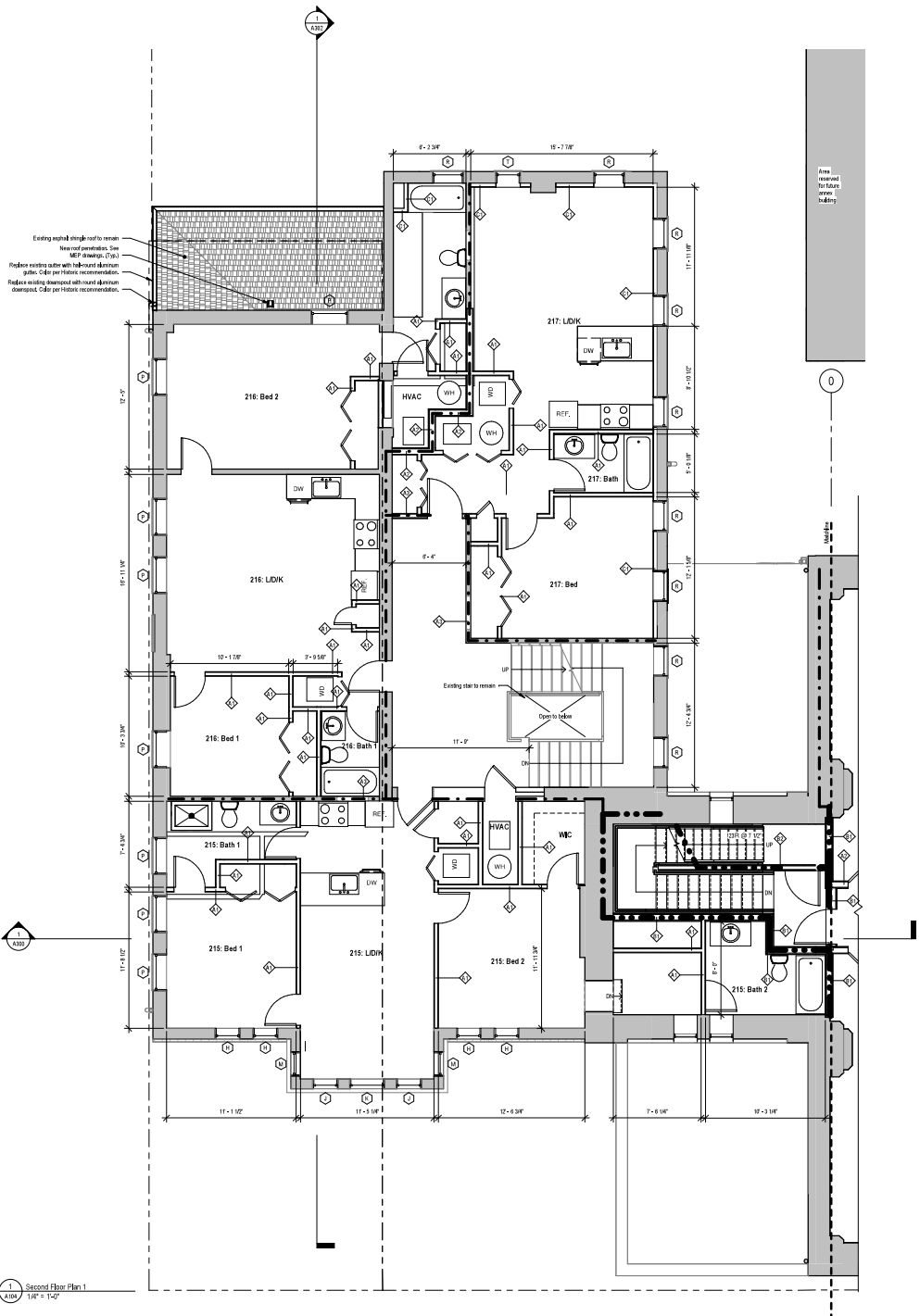
A104

Scale 1/8" = 1'-0"



1 Second Floor Plan 1
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



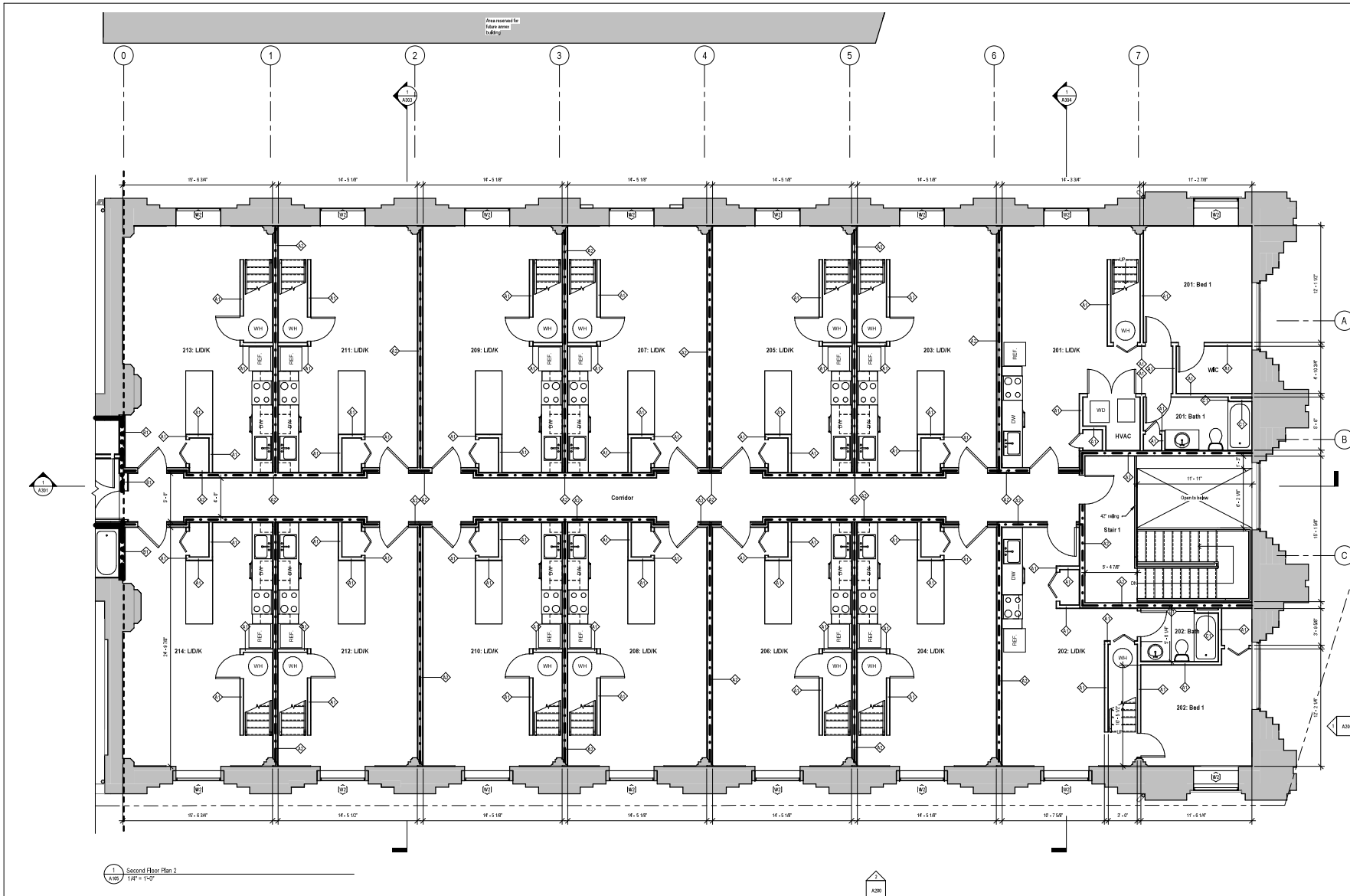
Existing asphalt single roof to remain
New roof penetrations. See
MEP drawings. (1-4)
Roofing existing exterior with half-round aluminum
gutter. Refer per historic recommendations.
Replace existing downspout with round aluminum
downspout. Refer per historic recommendations.

Fire
Resistant
1st Floor
Area
(1-80)

0

A201

1
A201



1 Second Floor Plan 2
 A100 1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



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 Philadelphia, PA 19148
 215.500.1968
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NOTES

- Wall Legend**
- Existing wall/Construction
 - Demolished wall/Construction
 - New wall/Construction
 - 1 hour fire rated separation
 - 2 hour fire rated separation
 - 3 hour fire rated separation
1. Alignment notes supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
 2. All dimensions are to the face of finished wall unless noted otherwise.
 3. Provide and install existing systems as required to accommodate new work.



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

Greythorne Development
 Adaptive Reuse of Existing Church
 1032 N Front St
 Philadelphia, PA 19123

FLOOR PLANS

Project number 22055
 Date 10 June 2024
 Drawn by SK
 Checked by BB, SSP

A105

Scale 1/8" = 1'-0"



NOTES

Wall Legend

- Existing wall/Construction
- Demolished wall/Construction
- New wall/Construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation

1. Alignment notes supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
2. All dimensions are to the face of finished wall unless noted otherwise.
3. Remove and install ceiling systems as required to accommodate new work.



NOT FOR
CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

Greythorne Development
Adaptive Reuse of Existing
Church

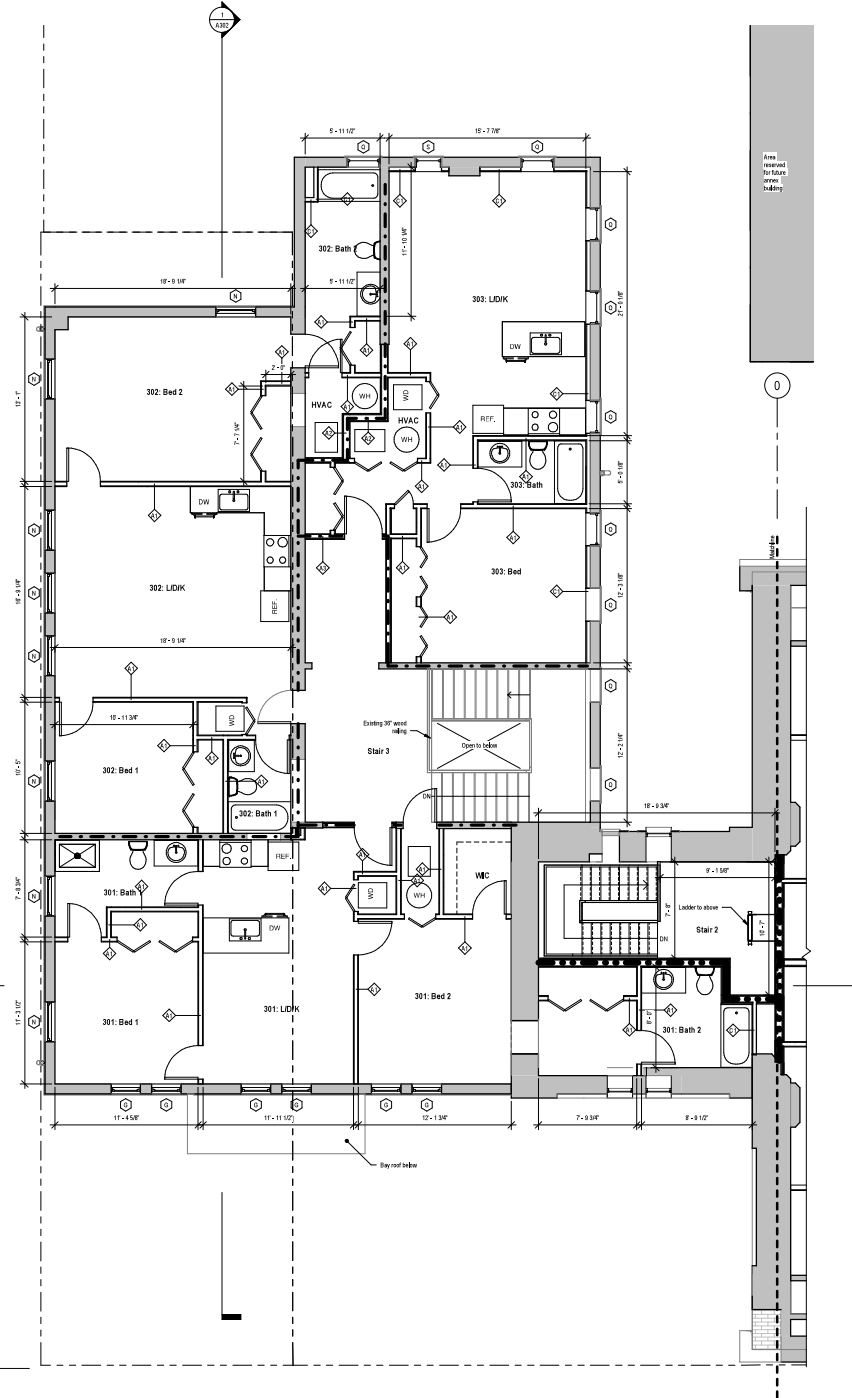
1032 N Front St
Philadelphia, PA 19123

FLOOR PLANS

Project number 22055
Date 10 June 2024
Drawn by SK
Checked by BB, SSP

A106

Scale 1/8" = 1'-0"



1 Third Floor Plan 1
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

NOTES

Wall Legend	
	Existing wall/Construction
	Demolished wall/Construction
	New wall/Construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation

- Alignment notes supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
- All dimensions are to the face of finished wall unless noted otherwise.
- Reinforce and extend existing systems as required to accommodate new work.



NOT FOR CONSTRUCTION

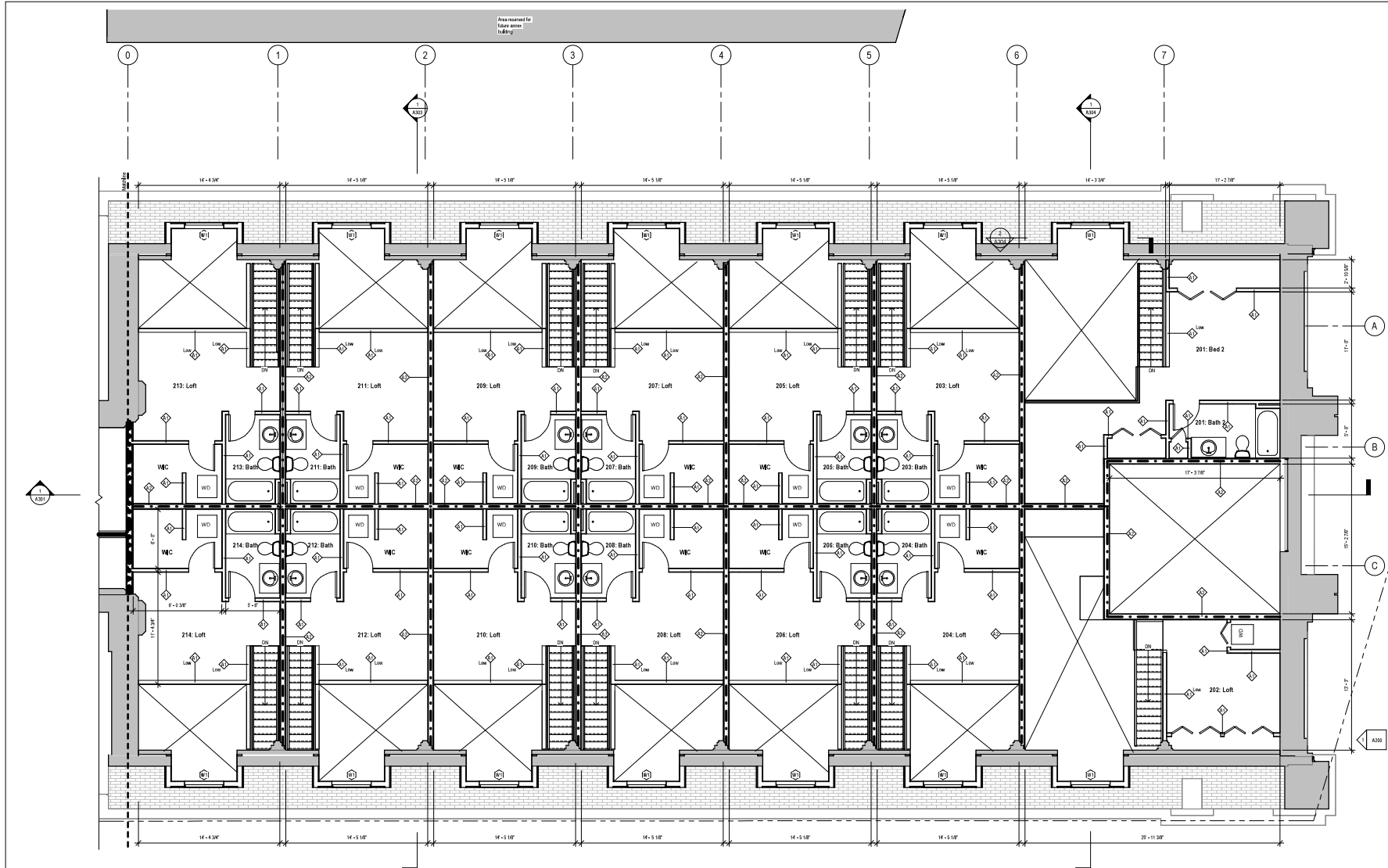
DATE	
DESCRIPTION	
BY	

Greythorne Development
Adaptive Reuse of Existing Church
1032 N Front St
Philadelphia, PA 19123

FLOOR PLANS

Project number	22055
Date	10 June 2024
Drawn by	SK
Checked by	BB, SSP

A107
Scale: 1/8" = 1'-0"



Third Floor Plan 1
1/8" = 1'-0"

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Blank area for City of Philadelphia approval stamps.





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 215.500.1988
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NOTES

Wall Legend

- Existing wall/Construction
- Demolished wall/Construction
- New wall/Construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation

1. Alignment notes supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
2. All dimensions are to the face of finished wall unless noted otherwise.
3. Results and existing ceiling systems as required to accommodate new work.



NOT FOR
CONSTRUCTION

DATE	DESCRIPTION	BY

Greythorne Development
 Adaptive Reuse of Existing
 Church

1032 N Front St
 Philadelphia, PA 19123

FLOOR/ROOF PLANS

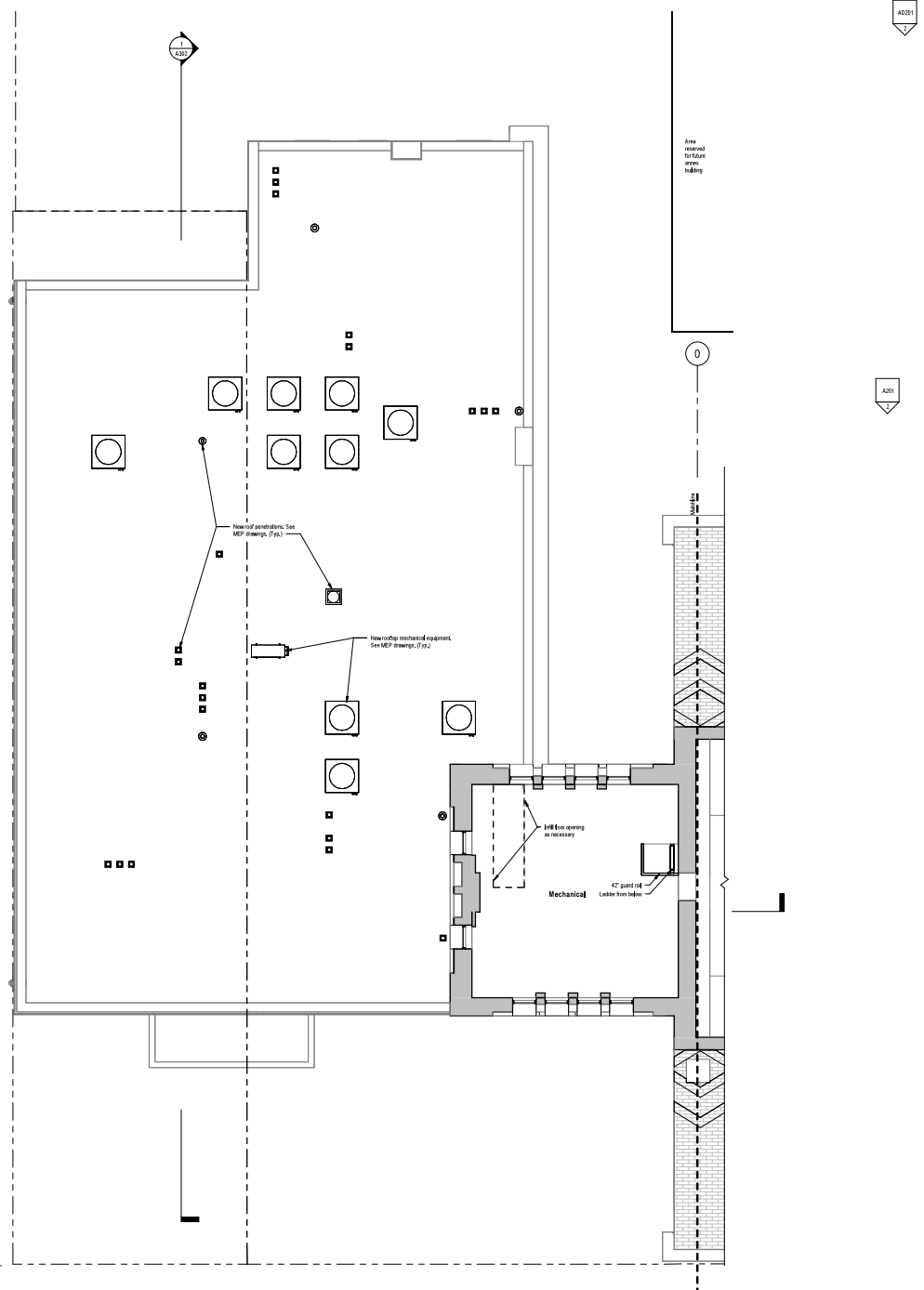
Project number 22055
 Date 10 June 2024
 Drawn by SK
 Checked by BB, SSP

A108

Scale 1/8" = 1'-0"



North Project North



A201
A202

A202

1. Restroom Roof/Floor Tower Plan
 1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



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 www.tonerarch.com

NOTES

Wall Legend

- Existing wall/Construction
- Demolished wall/Construction
- New wall/Construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation

1. Alignment notes supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
2. All dimensions are to the face of finished wall unless noted otherwise.
3. Remove and install existing systems as required to accommodate new work.



NOT FOR CONSTRUCTION

NO.	DESCRIPTION	DATE

Greythorne Development
 Adaptive Reuse of Existing Church

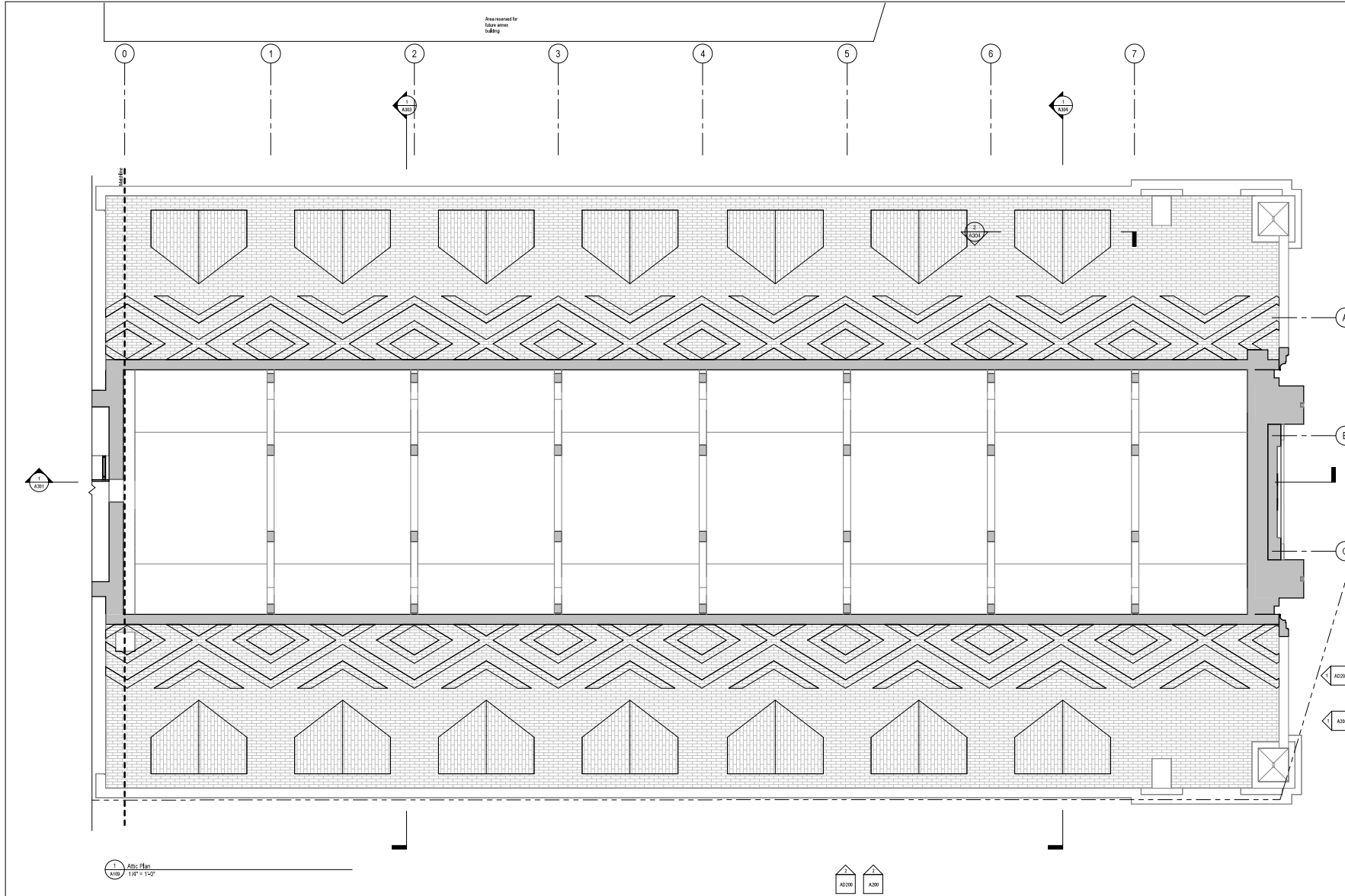
1032 N Front St
 Philadelphia, PA 19123

FLOOR/ROOF PLANS

Project number 22055
 Date 10 June 2024
 Drawn by SK
 Checked by BB, SSP

A109


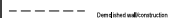




Scale 1/8" = 1'-0"



CITY OF PHILADELPHIA APPROVAL STAMPS

NOTES

Wall Legend

-  Existing wall/construction
-  Demolished wall/construction
-  New wall/construction
-  1 hour fire rated separation
-  2 hour fire rated separation
-  3 hour fire rated separation

1. Alignment notes supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
2. All dimensions are to the face of finished wall unless noted otherwise.
3. Provide and install existing systems as required to accommodate new work.



NOT FOR
CONSTRUCTION

NO.	DESCRIPTION	DATE

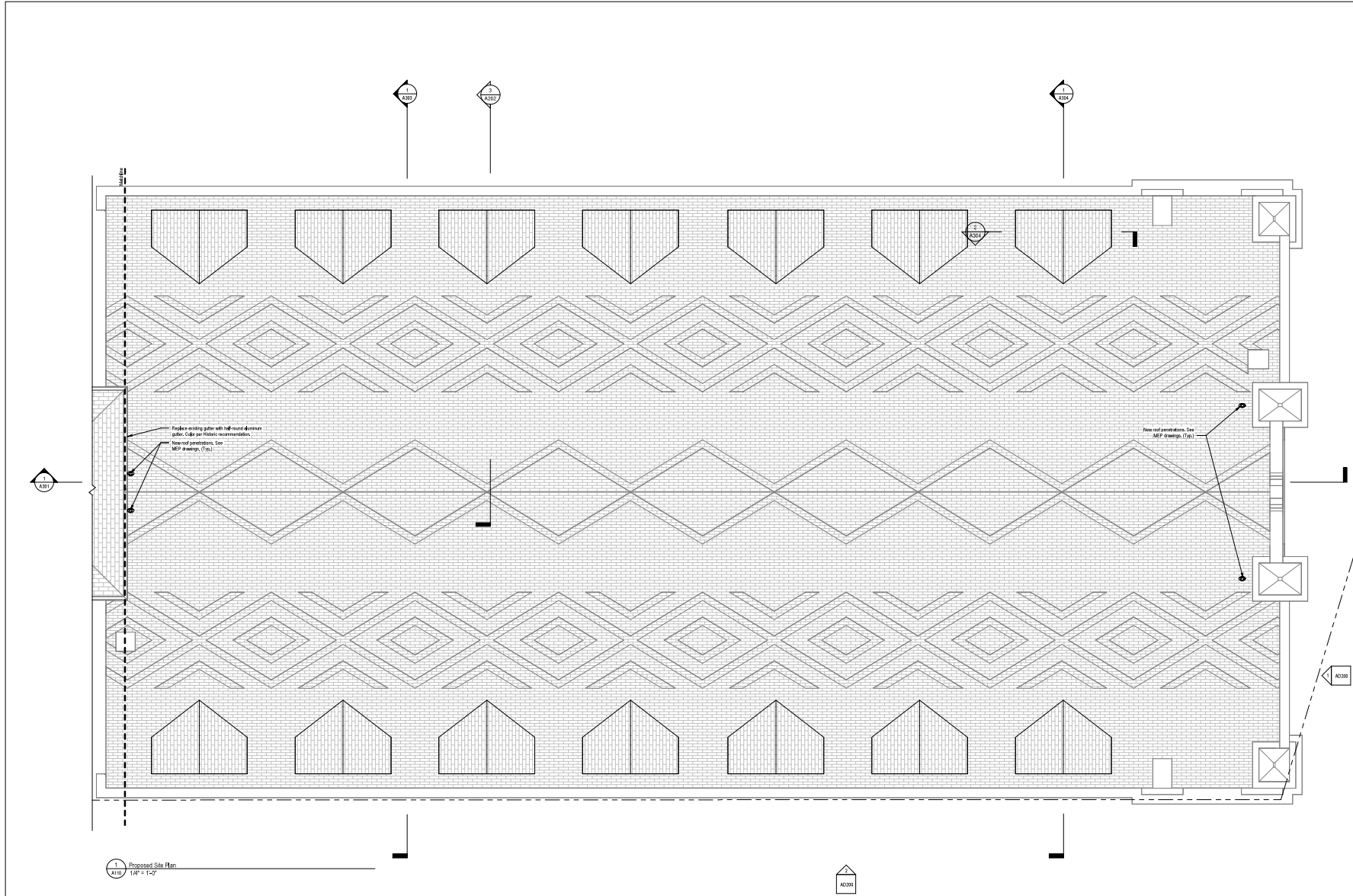
Greythorne Development
Adaptive Reuse of Existing
Church
1032 N Front St
Philadelphia, PA 19123

ROOF PLANS

Project number: 22055
Date: 10 June 2024
Drawn by: SK
Checked by: BB, SSP

A110

Scale: 1/8" = 1'-0"



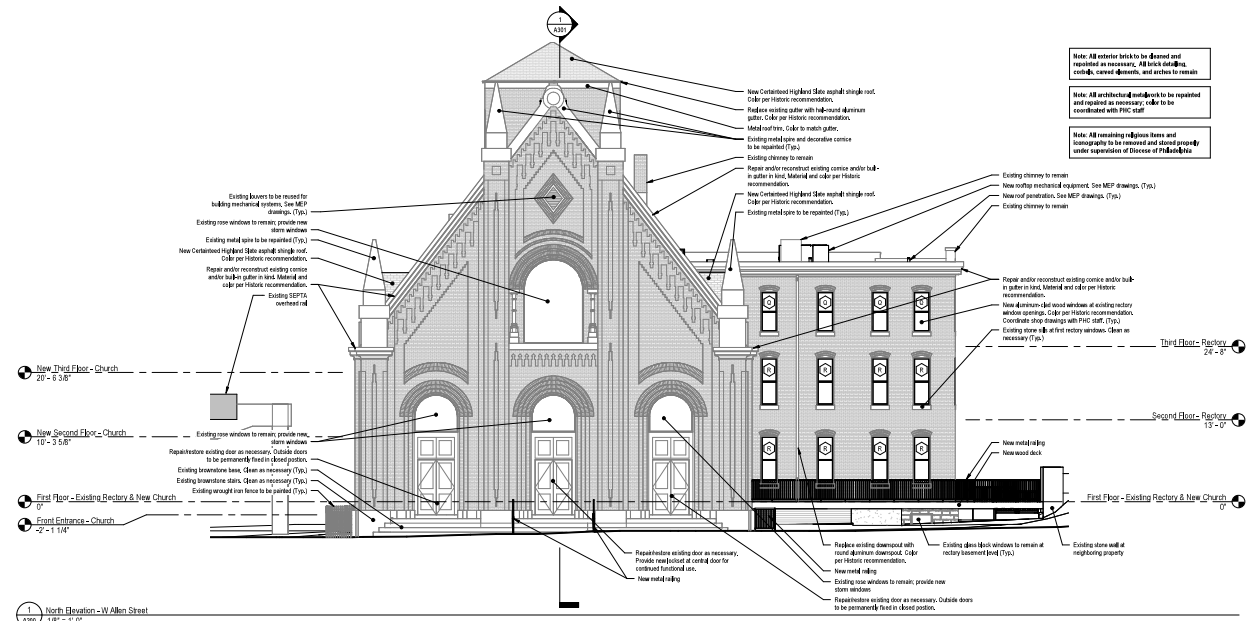
CITY OF PHILADELPHIA APPROVAL STAMPS

NOTES

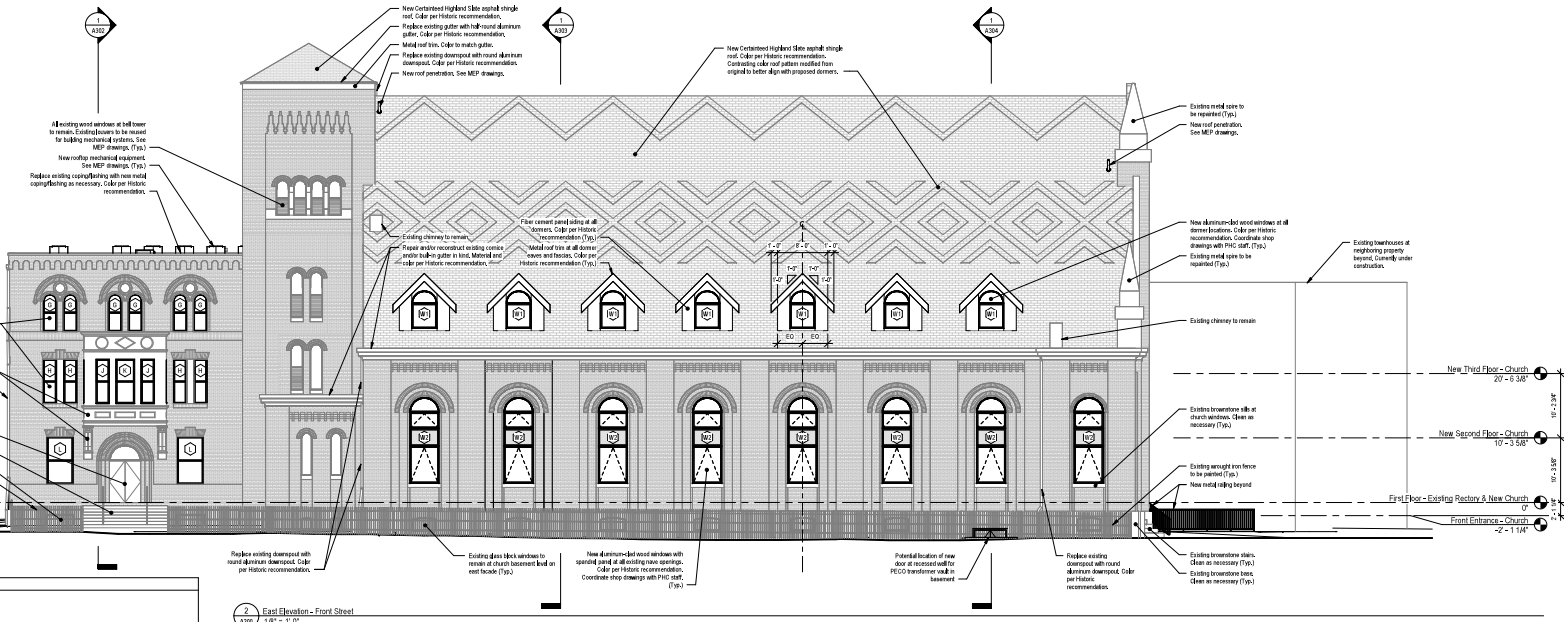
Note: All exterior brick to be removed and replaced as necessary. All brick details, coping, carved elements, and arches to remain.

Note: All masonry and metalwork to be repaired and replaced as necessary. Refer to be coordinated with PHC staff.

Note: All remaining window frames and sashwork to be removed and stored properly under supervision of Director of Preservation.



1 North Elevation - W. Allen Street
A200 1/8" = 1'-0"



2 East Elevation - Front Street
A200 1/8" = 1'-0"

Note: All exterior brick to be removed and replaced as necessary. All brick details, coping, carved elements, and arches to remain.

Note: All architectural metalwork to be repaired and replaced as necessary. Refer to be coordinated with PHC staff.

Note: All remaining window frames and sashwork to be removed and stored properly under supervision of Director of Preservation.

NOT FOR CONSTRUCTION



CITY OF PHILADELPHIA APPROVAL STAMPS

Grythorne Development
Adaptive Reuse of Existing Church
1032 N Front St
Philadelphia, PA 19123

EXTERIOR ELEVATIONS


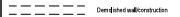
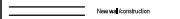
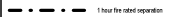


Project number	22065
Date	10 June 2024
Drawn by	BB
Checked by	SSP

A200

Scale: 1/8" = 1'-0"

NOTES

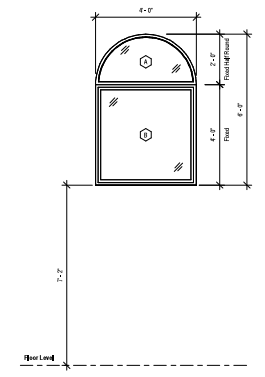
Wall Legend

-  Existing wall/construction
-  Demolished wall/construction
-  New wall/construction
-  1 hour fire rated separation
-  2 hour fire rated separation
-  3 hour fire rated separation

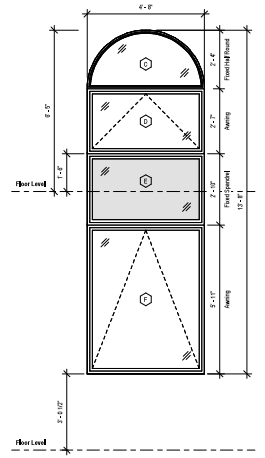
1. Alignment notes supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
2. All dimensions are to the face of finished wall unless noted otherwise.
3. Results and notes existing systems as required to accommodate new work.



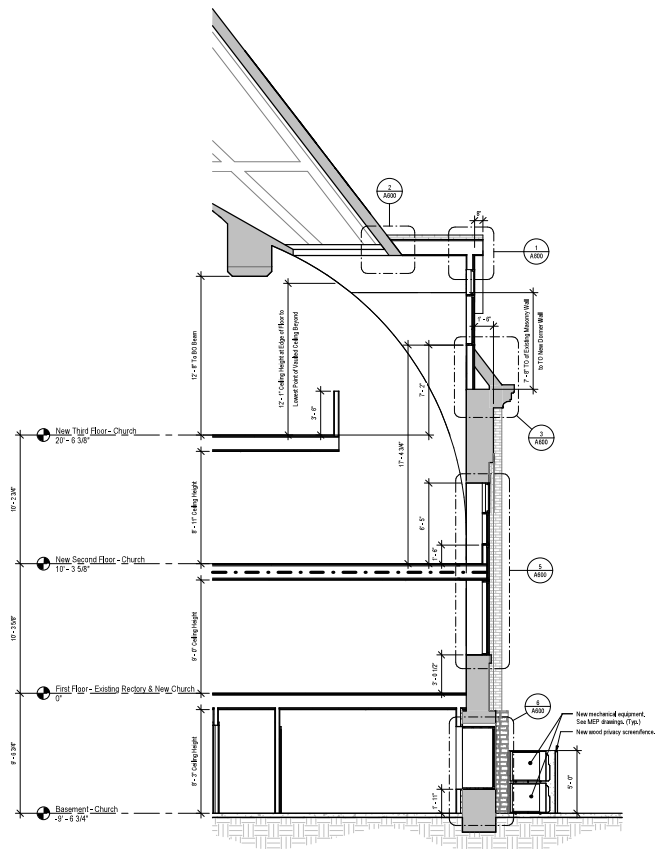
NOT FOR
CONSTRUCTION



1 Window Assembly W1
1/2" = 1'-0"



2 Window Assembly W2
1/2" = 1'-0"



3 Typical Wall Section at Dome
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

No.	DATE	DESCRIPTION

Greythorne Development
Adaptive Reuse of Existing Church
1032 N Front St
Philadelphia, PA 19123

WALL SECTION &
WINDOW ASSEMBLIES

Project number 22055
Date 10 June 2024
Drawn by BS
Checked by SSP

A202

Scale As indicated

NOTES

Wall Legend

- Existing wall construction
- Demolished wall construction
- New wall construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation

1. Alignment notes supersede dimensioned notes where noted. Where conflicting information is noted, dimension must be provided by the Architect.
2. All dimensions are to the face of finished wall unless noted otherwise.
3. Provide and install existing systems as required to accommodate new work.



NOT FOR
CONSTRUCTION

No.	Description	Date

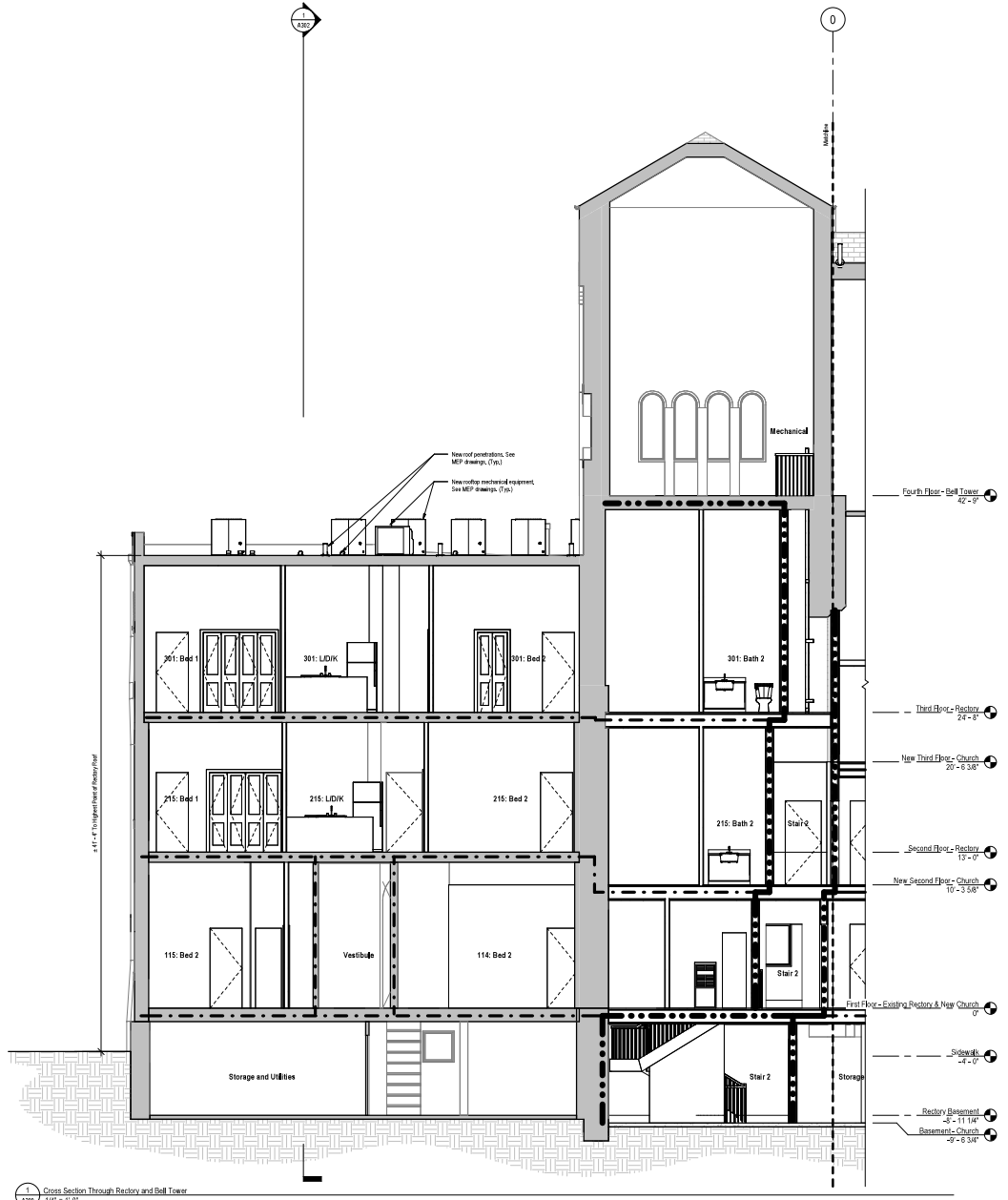
Greythorne Development
Adaptive Reuse of Existing
Church
1032 N Front St
Philadelphia, PA 19123

BUILDING SECTIONS

Project number: 22055
Date: 10 June 2024
Drawn by: SK
Checked by: BB, SSP

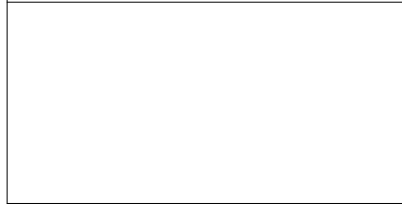
A300

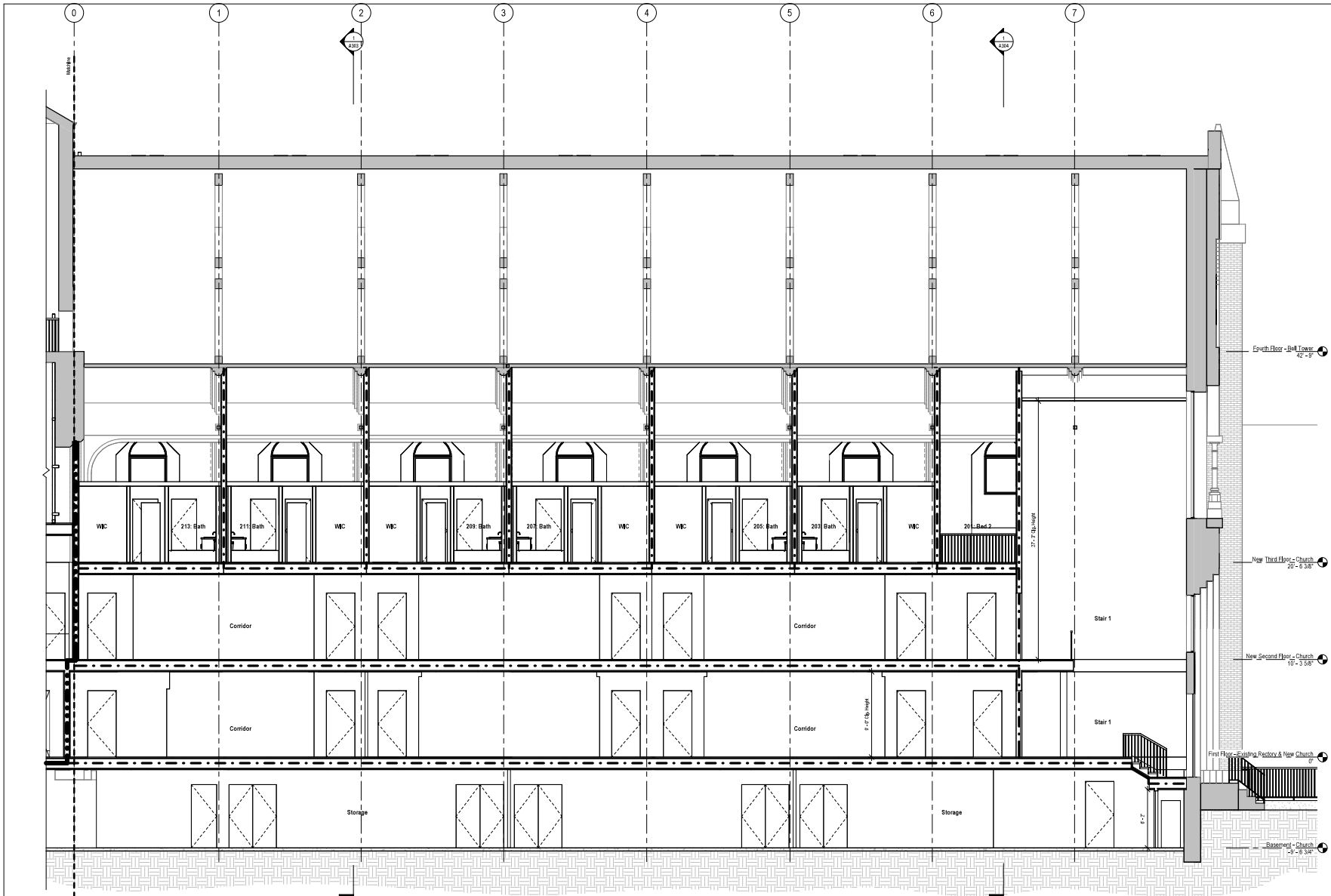
Scale: 1/8" = 1'-0"



1 Cross Section Through Rectory and Bell Tower
1/4" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS





1901 S. 8th Street
 Room 425
 Philadelphia, PA 19148
 215-500-1968
 www.tonerarch.com

NOTES

Wall Legend

- Existing wall/Construction
- Demolished wall/Construction
- New wall/Construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation

1. Alignment notes supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
2. All dimensions are to the face of finished wall unless noted otherwise.
3. Provide and install existing systems as required to accommodate new work.



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
BY	

Greythorne Development
 Adaptive Reuse of Existing Church
 1032 N Front St
 Philadelphia, PA 19123

BUILDING SECTIONS

Project number 22055
 Date 10 June 2024
 Drawn by SK
 Checked by BB, SSP

A301

Scale 1/8" = 1'-0"

1 Longitudinal Section Through Corridor
 1/4" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

NOTES

Wall Legend

	Existing wall/Construction
	Demolished wall/Construction
	New wall/Construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation

- Alignment notes supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
- All dimensions are to the face of finished wall unless noted otherwise.
- Remove and install existing systems as required to accommodate new work.



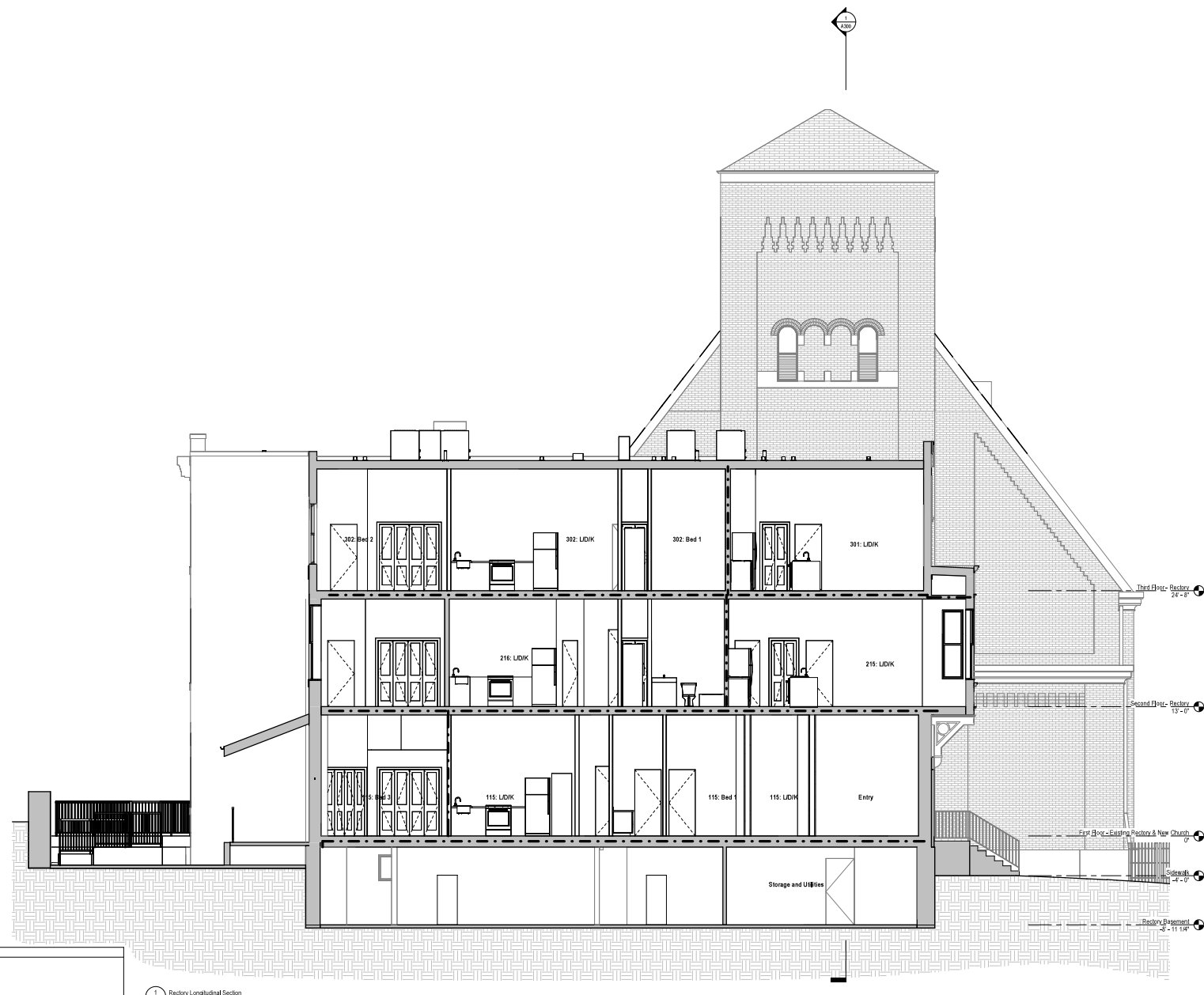
NOT FOR
CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

Greythorne Development
Adaptive Reuse of Existing
Church
1032 N Front St
Philadelphia, PA 19123

BUILDING SECTIONS

Project number	22055
Date	10 June 2024
Drawn by	SK
Checked by	BB, SSP
A302	
Scale	1/8" = 1'-0"



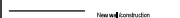





A302 Rectory Longitudinal Section
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

NOTES

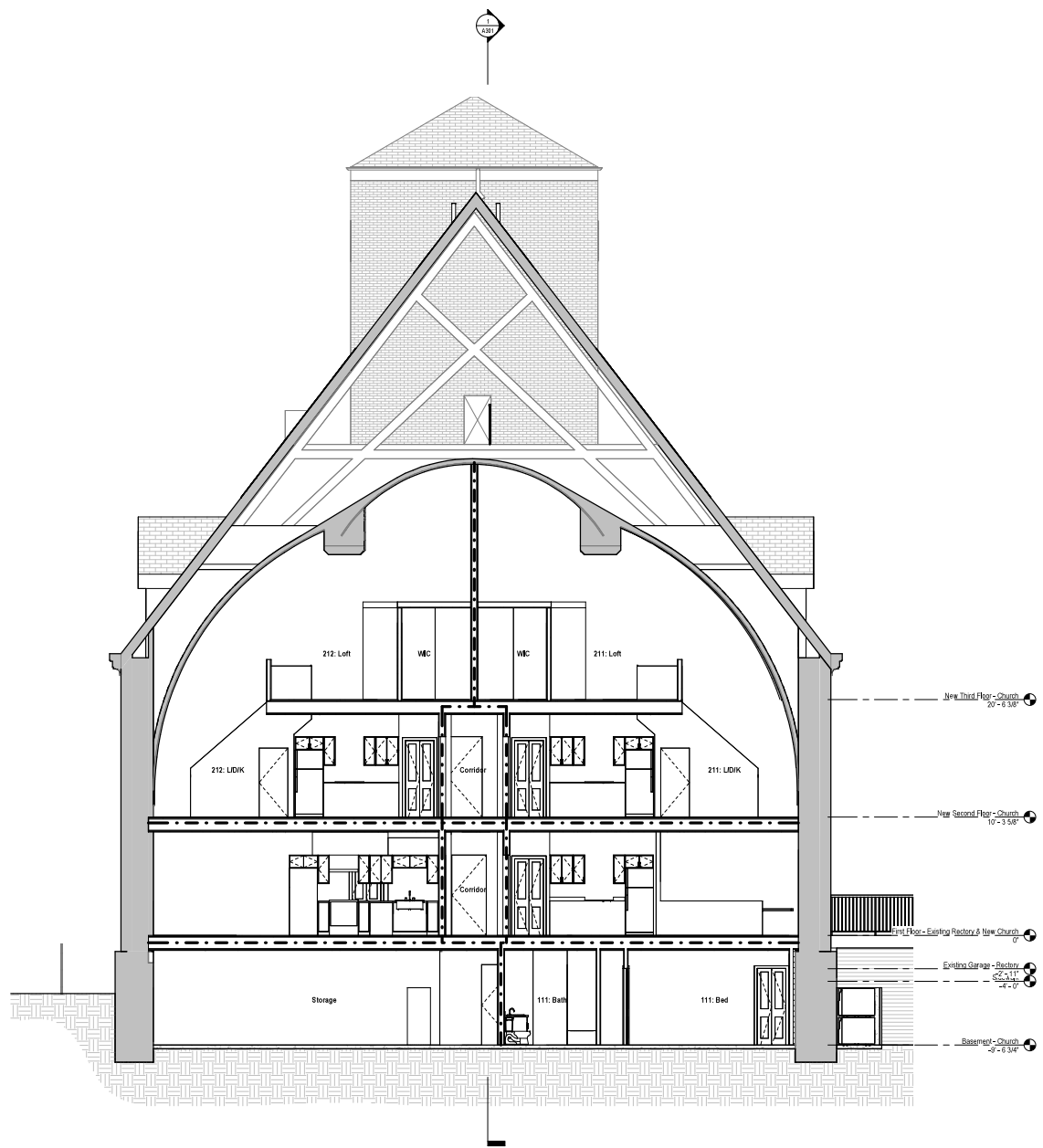
Wall Legend

-  Existing wall/Construction
-  Demolished wall/Construction
-  New wall/Construction
-  1 hour fire rated separation
-  2 hour fire rated separation
-  3 hour fire rated separation

1. Alignment notes supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
2. All dimensions are to the face of finished wall unless noted otherwise.
3. Provide and install existing systems as required to accommodate new work.



**NOT FOR
CONSTRUCTION**



1 Cross Section Through Sanctuary
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

DATE	DESCRIPTION

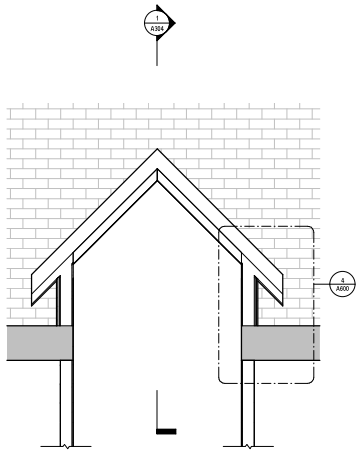
Greythorne Development
Adaptive Reuse of Existing
Church
1032 N Front St
Philadelphia, PA 19123

BUILDING SECTIONS

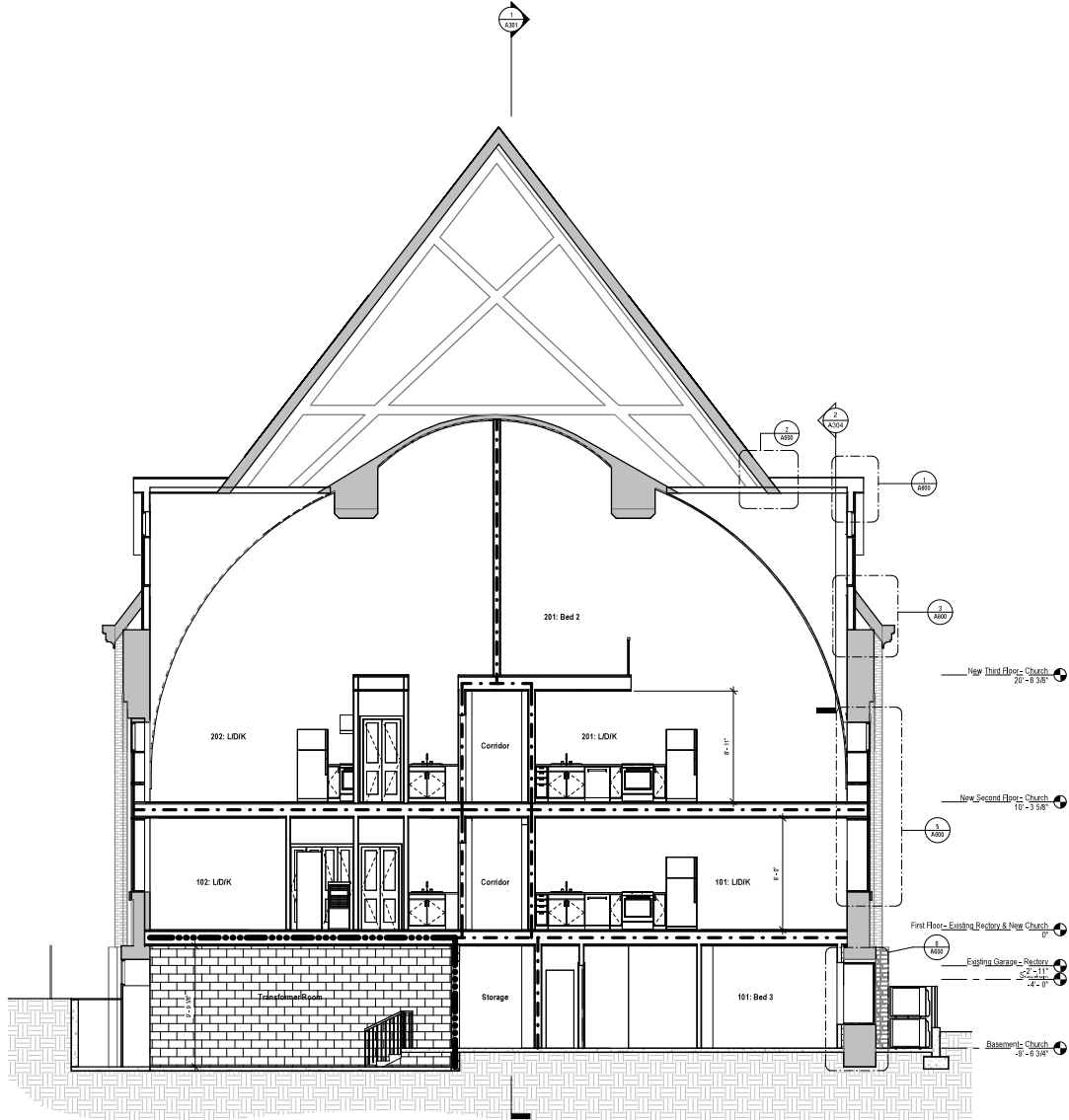
Project number 22055
Date 10 June 2024
Drawn by SK
Checked by BB, SSP

A303

Scale 1/8" = 1'-0"



2 Cross Section Through Individual Dome
1/2" = 1'-0"



1 Cross Section Through New Domes
1/4" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



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Room 425
Philadelphia, PA 19148
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NOTES

Wall Legend

- Existing wall/Construction
- Demolished wall/Construction
- New wall/Construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation

1. Alignment notes supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
2. All dimensions are to the face of finished wall unless noted otherwise.
3. Remove and extend existing systems as required to accommodate new work.



NOT FOR CONSTRUCTION

No.	Description	Date

Greythorne Development
Adaptive Reuse of Existing Church
1032 N Front St
Philadelphia, PA 19123

BUILDING SECTIONS

Project number: 22055
Date: 10 June 2024
Drawn by: SK
Checked by: BB, SSP

A304

Scale: As indicated

NOTES



NOT FOR CONSTRUCTION

DATE	DESCRIPTION	BY	CHK

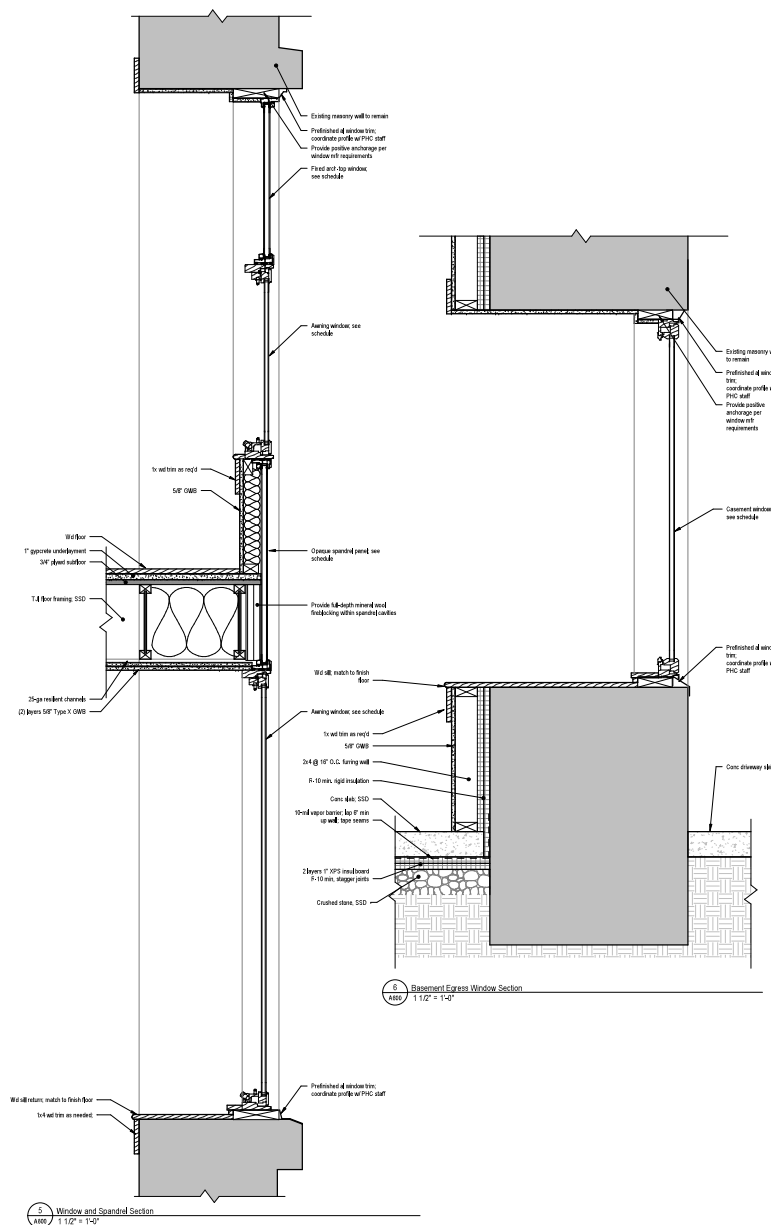
Greythorne Development
Adaptive Reuse of Existing Church
1032 N Front St
Philadelphia, PA 19123

DETAILS

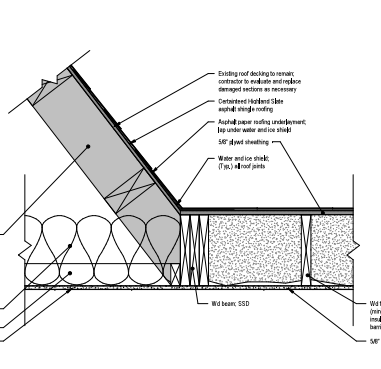
Project number	22055
Date	10 June 2024
Drawn by	SK
Checked by	BB, SSP

A600

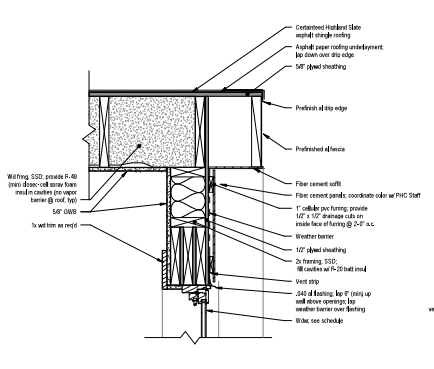
Scale: 1 1/2" = 1'-0"



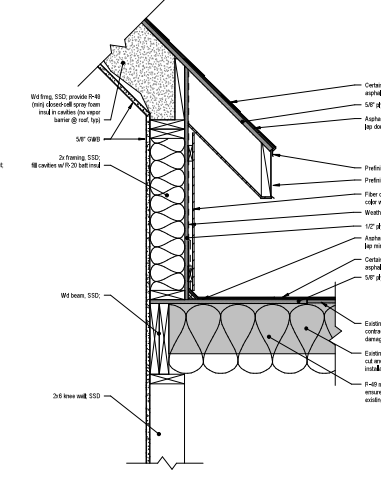
5 Window and Spandrel Section
1 1/2" = 1'-0"



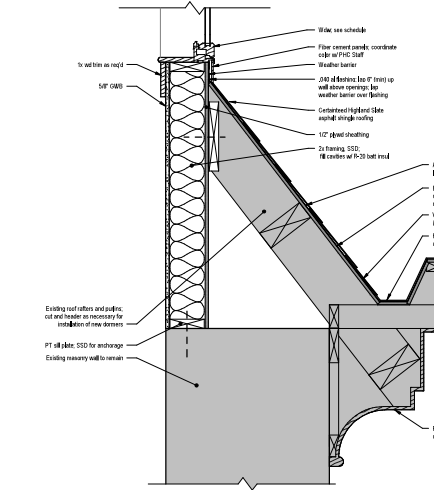
2 Existing Roof Connection Detail @ New Dormer
1 1/2" = 1'-0"



1 Window Head and Roof Detail @ New Dormer
1 1/2" = 1'-0"



4 Eave Detail @ New Dormer
1 1/2" = 1'-0"



3 Window Sill and Wall Connection Detail @ New Dormer
1 1/2" = 1'-0"

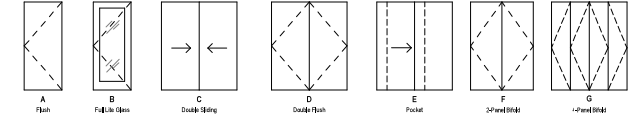
CITY OF PHILADELPHIA APPROVAL STAMPS

Window Schedule					
Type Mark	Width	Height	Operation	Count	Comments
A	2'-0"	2'-0"	Fixed/In Round	14	See Window Assembly #B1
B	2'-0"	6'-0"	Fixed	14	See Window Assembly #B1
C	2'-0"	2'-0"	Fixed/In Round	16	See Window Assembly #B2
D	2'-0"	2'-0"	Fixed	16	See Window Assembly #B2
E	2'-0"	2'-0"	Fixed/In Round	16	See Window Assembly #B2
F	2'-0"	2'-0"	Fixed/In Round	16	See Window Assembly #B2
G	2'-0"	2'-0"	Fixed/In Round	16	See Window Assembly #B2
H	2'-1 1/2"	2'-0"	Double Hung	4	See Window Assembly #B2
I	2'-0"	2'-0"	Double Hung	2	
J	2'-0"	2'-0"	Double Hung	1	
K	2'-0"	2'-0"	Double Hung	2	
L	2'-0"	2'-0"	Double Hung	2	
M	2'-0"	2'-0"	Double Hung	2	
N	2'-0"	2'-0"	Double Hung	2	
O	2'-0"	2'-0"	Double Hung	2	
P	2'-0"	2'-0"	Double Hung	2	
Q	2'-1 1/2"	2'-0"	Double Hung	8	
R	2'-1 1/2"	2'-0"	Double Hung	15	
S	2'-0"	2'-0"	Double Hung	1	
T	2'-0"	2'-0"	Double Hung	1	
U	2'-1 1/2"	2'-0"	Double Hung	2	
V	2'-0"	2'-0"	Casement	6	

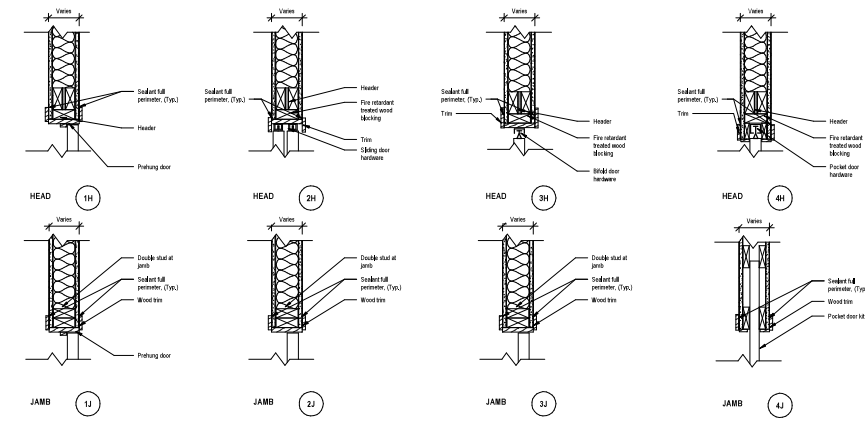
- Window Notes:**
- All door/ventilators to be 1-1/2 Min.
 - All window doors to be 5/8 Min.
 - All lights to be U-35 Min. Provide tempered glass or triple-layer acrylic glazing.
 - Windows to have SHGC 0.45 min.
 - All new windows to be installed within existing masonry openings, provide new interior and exterior trim.
 - Confirm existing opening sizes for replacement doors refer to orders.
 - Provide tempered glass for windows located in bathrooms and all other locations required by code.
 - Labels T, and U, and V, are for use on double hung windows.
 - All windows to be fully egressed (Review Series, Fully Representative, Kneel Clearance, Fully Commercial Windows. Contact: 800-376-5880)

Exterior Door Schedule												
Door Number	Size			Door Type	Material	Finish	Frame				Comments	
	Width	Height	Depth				Head	Jamb	Hardware Set			
101A	2'-0"	2'-0"	1'-0"	Double Sliding	STL	PT	MD	See Details	See Details	See Details	See Details	PECO wood door, door to adjacent existing window opening below grade.
101B	2'-0"	2'-0"	1'-0"	Double Sliding	STL	PT	MD	See Details	See Details	See Details	See Details	PECO wood door, door to adjacent existing window opening below grade.
102	2'-0"	2'-0"	1'-0"	Double Sliding	MD	PT	MD	See Details	See Details	See Details	See Details	How door in existing masonry opening, IIF prior to purchase and installation.
103	2'-0"	2'-0"	1'-0"	Double Sliding	MD	PT	MD	See Details	See Details	See Details	See Details	How door in existing masonry opening, IIF prior to purchase and installation.
104	2'-0"	2'-0"	1'-0"	Double Sliding	MD	PT	MD	See Details	See Details	See Details	See Details	How door in existing masonry opening, IIF prior to purchase and installation.
105	2'-0"	2'-0"	1'-0"	Double Sliding	MD	PT	MD	See Details	See Details	See Details	See Details	How door in existing masonry opening, IIF prior to purchase and installation.
106	2'-0"	2'-0"	1'-0"	Double Sliding	MD	PT	MD	See Details	See Details	See Details	See Details	How door in existing masonry opening, IIF prior to purchase and installation.
107	2'-0"	2'-0"	1'-0"	Double Sliding	MD	PT	MD	See Details	See Details	See Details	See Details	How door in existing masonry opening, IIF prior to purchase and installation.
108	2'-0"	2'-0"	1'-0"	Double Sliding	MD	PT	MD	See Details	See Details	See Details	See Details	How door in existing masonry opening, IIF prior to purchase and installation.

- Door Notes:**
- Wood doors to have SHGC 0.40 min and tempered glass.
 - All new doors installed within existing masonry openings, provide new interior and exterior trim.
 - Confirm existing opening sizes for replacement doors refer to orders.
 - Double hung doors to have minimum 1/2" clearance between replacement and existing.
 - PT = Paint Finish, MD = Wood (veneer), STL = Solid (veneer).
 - TRIP = To Be Determined by owner or supplier at future date.
 - Note: Doors 107A and 107B are mutually exclusive - one location only is required for PECO transformer vault. Final location to be determined by PECO engineers.



1 Door Types
1/4" = 1'-0"



2 Door Details
1/4" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

TONER architects

1901 S. 8th Street
Room 425
Philadelphia, PA 19148
215-800-1966
www.tonerarch.com

NOTES

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

Greythorne Development
Adaptive Reuse of Existing Church
1032 N Front St
Philadelphia, PA 19123

DOOR & WINDOW SCHEDULES, DOOR DETAILS

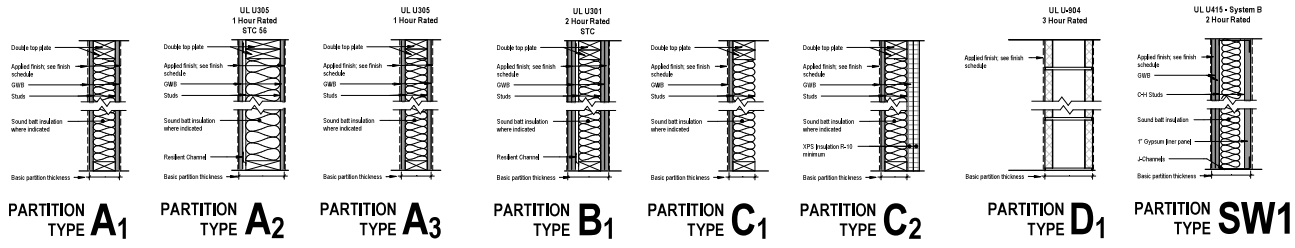
Project number	22065
Date	10 June 2024
Drawn by	SK
Checked by	BB, SSP
Scale	A900
As indicated	





1901 S. 8th Street
 Room 425
 Philadelphia, PA 19148
 215-800-1988
 www.tonerarch.com

Partition identification plan symbol	①	②	③	④	⑤	⑥	⑦	⑧	⑨
Basic partition thickness	0' - 6 3/4"	0' - 7 1/4"	0' - 8 3/4"	0' - 9 1/2"	0' - 4 1/8"	0' - 5 1/8"	0' - 6 1/8"	0' - 7 5/8"	0' - 8 5/8"
Fire rating (hrs)	1	1	1	2	-	-	-	3	2
Fire test number (UL)	-	UL U305	UL U305	UL U301	-	-	-	UL U304	UL U415
Acoustical rating (STC)	-	58	50 Min.	-	-	-	-	-	-
Acoustical test number	-	-	-	-	-	-	-	-	-
Insulation thickness	3 1/2"	5 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"
OSB thickness	5/8"	5/8"	5/8"	5/8" (2 ea. face)	5/8"	5/8"	5/8"	5/8"	5/8" (2 front)
Acoustical ceiling	-	-	Yes	Yes	-	-	-	-	-
Fire ceiling	-	-	Yes	Yes	-	-	Yes	Yes	Yes
Steel thickness	-	-	-	-	-	-	-	-	-
Stud size	2x4	2x6	Varies	2x4	2x4	2x4	-	2 1/2 C4H	-
Stud spacing (OS)	1' - 4"	1' - 4"	1' - 4"	-	1' - 4"	1' - 4"	-	2'	-
Studs to structure above	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
Studs to structure below	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
Remarks:	See U.L. U305 for details on construction & materials.	See U.L. U305 for details on construction & materials.	See U.L. U305 for details on construction & materials.	See U.L. U301 for details on construction & materials.	See U.L. U304 for details on construction & materials.	See U.L. U304 for details on construction & materials.	See U.L. U304 for details on construction & materials.	See U.L. U304 for details on construction & materials.	See U.L. U415 for details on construction & materials.



① Partition Types
 1 1/2" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



NOTES

NOT FOR CONSTRUCTION



NO.	DESCRIPTION	DATE

Greythorne Development
 Adaptive Reuse of Existing Church
 1032 N Front St
 Philadelphia, PA 19123

PARTITION TYPES & FLOOR/CEILING TYPES

Project number: 22055
 Date: 10 June 2024
 Drawn by: SK
 Checked by: BB, SSP

A901

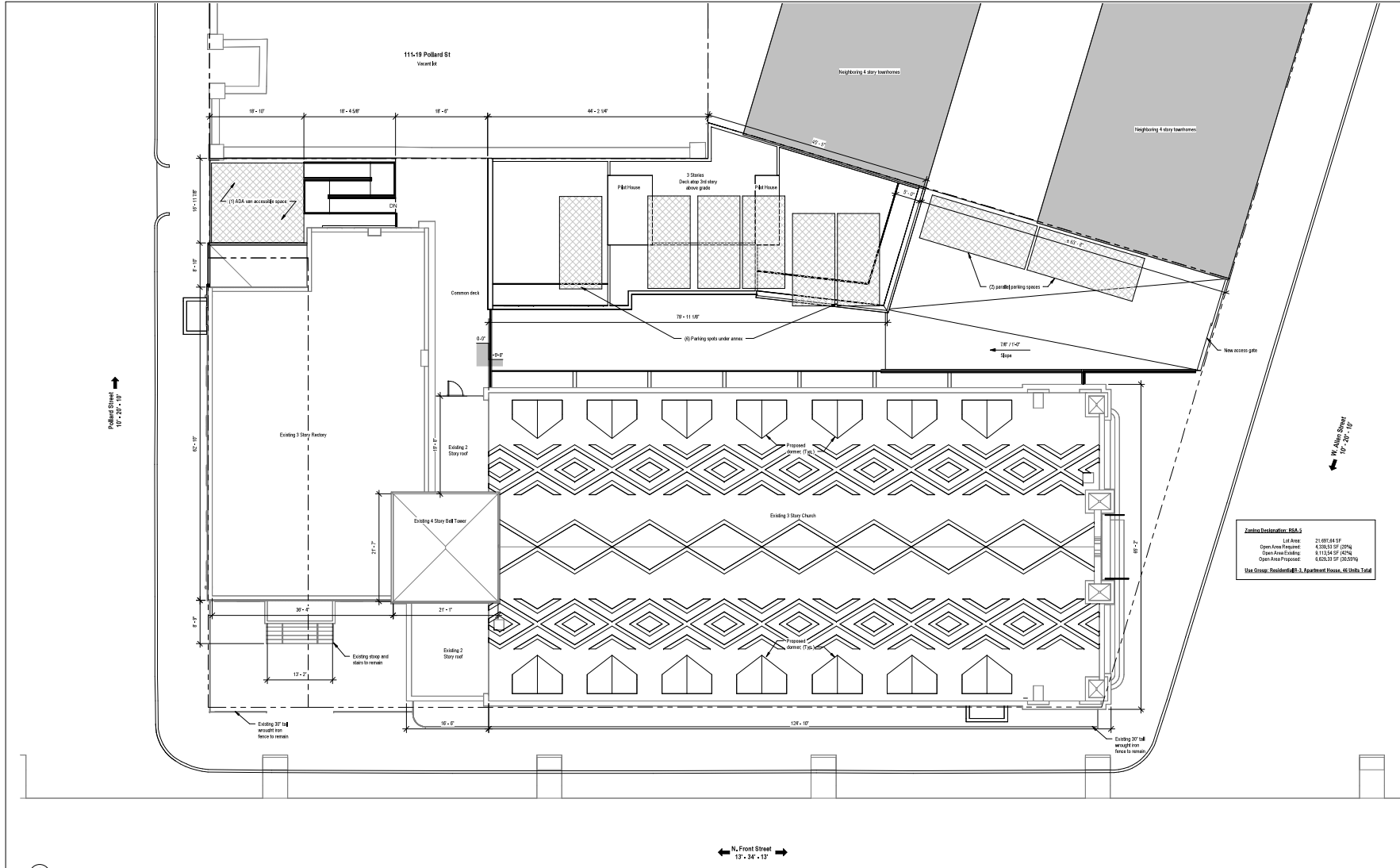
Scale: 1 1/2" = 1'-0"

NOTES

1. All new street work shall be in accordance with the City of Philadelphia Engineering Department standards.

Existing Destination: RMA-3	Lot Area:	21,697.64 SF
	Open Area Potential:	4,336.03 SF (20%)
	Open Area Existing:	6,119.94 SF (28%)
	Open Area Proposed:	6,620.03 SF (30.5%)
Site Group: Residential R3.3, Apartment House, R3.3 (R3.3)		

NOT FOR CONSTRUCTION



Site Plan
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



1 Annex Looking Down from Allen St

2 Annex Looking Up from Pollard St



Greythorne Development
Adaptive Reuse of Existing Church
1032 N Front St
Philadelphia, PA 19123

ZONING PLAN

Project number: 22055
Date: 10 June 2024
Drawn by: SK
Checked by: BB BMT

Z1

Scale: 1/8" = 1'-0"

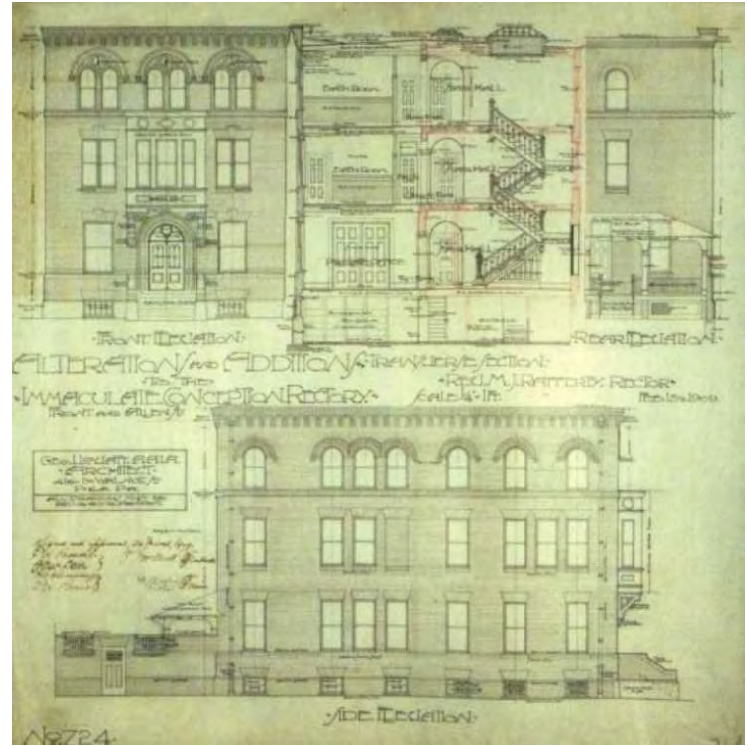
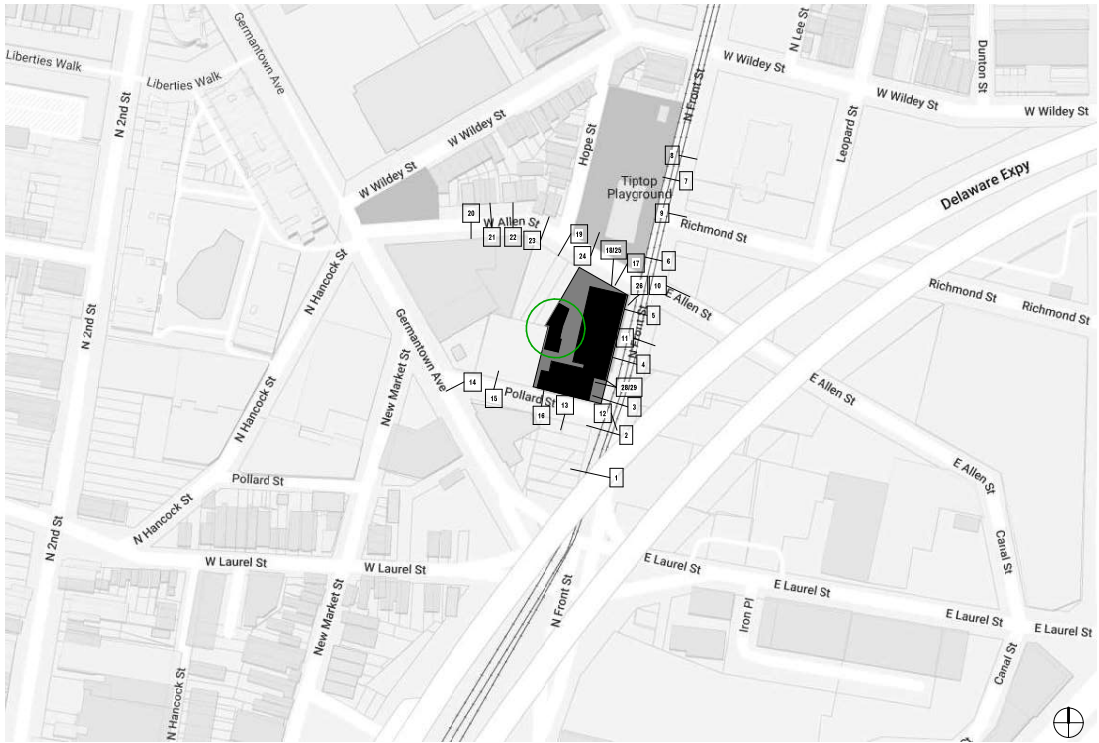
ARCHITECTURAL COMMITTEE CONSIDERATION

JUNE 2024

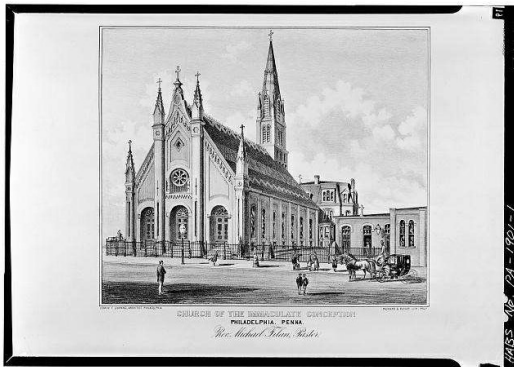
SUBMITTED FOR FINAL APPROVAL

(NOT PREVIOUSLY PREVIOUS SUBMITTED)

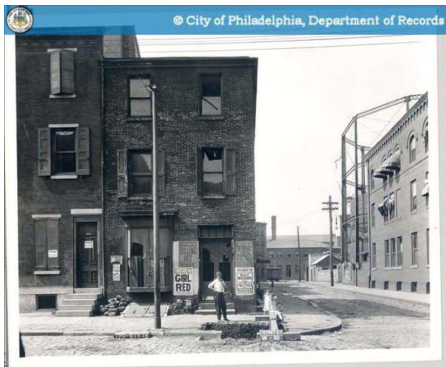
ADDITION (ANNEX)



Source: Provided by PHC Staff



Source: <http://www.loc.gov/pictures/search/?q=Photograph%20of%201356&number&pg=PR&PAGE=4&max=act&co%20=&sl=gallery&g%20=&20=7>



Source: <https://www.phillyhistory.org/PhotoArchive/Search.aspx?action=link&display=address&address=1032-N-FRONT-6ST>



Source: <https://www.phillyhistory.org/PhotoArchive/Search.aspx?action=link&display=address&address=1032-N-FRONT-6ST>



Greythorne Development
1032 N Front St
Philadelphia, PA, 19123

1032 N Front St - Annex

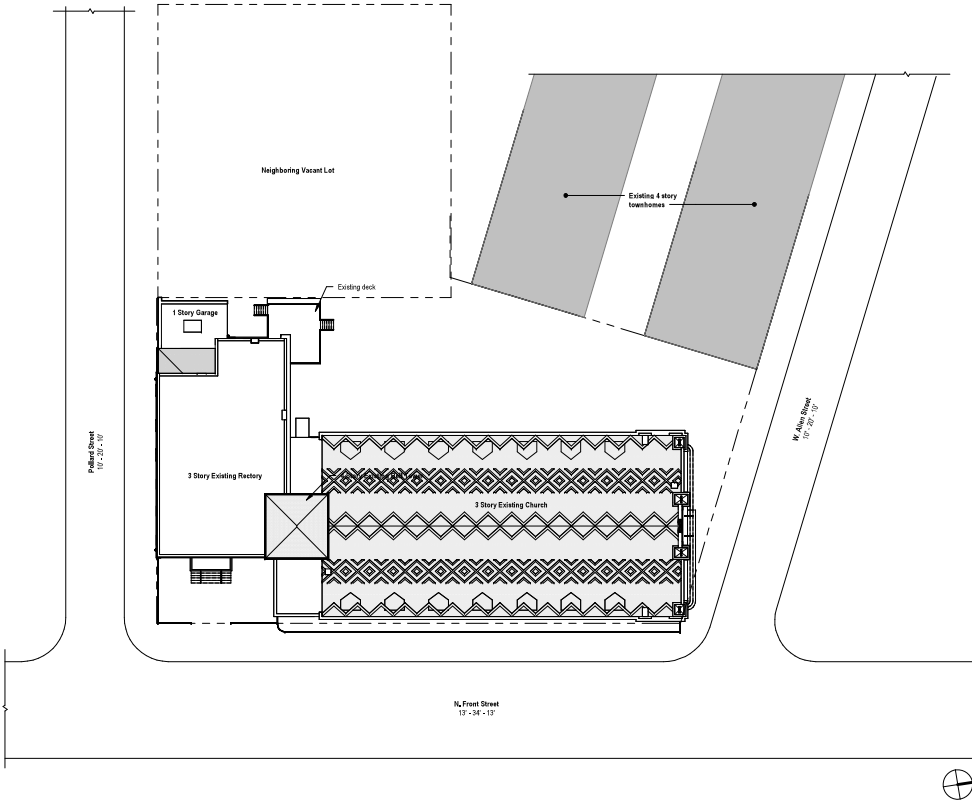


CONTEXT PLAN & HISTORIC INFO
Date: 10 June 2024
Scale: 1/2" = 1'-0"
PHC Annex Ii-Concept Approval
Project number: 22085

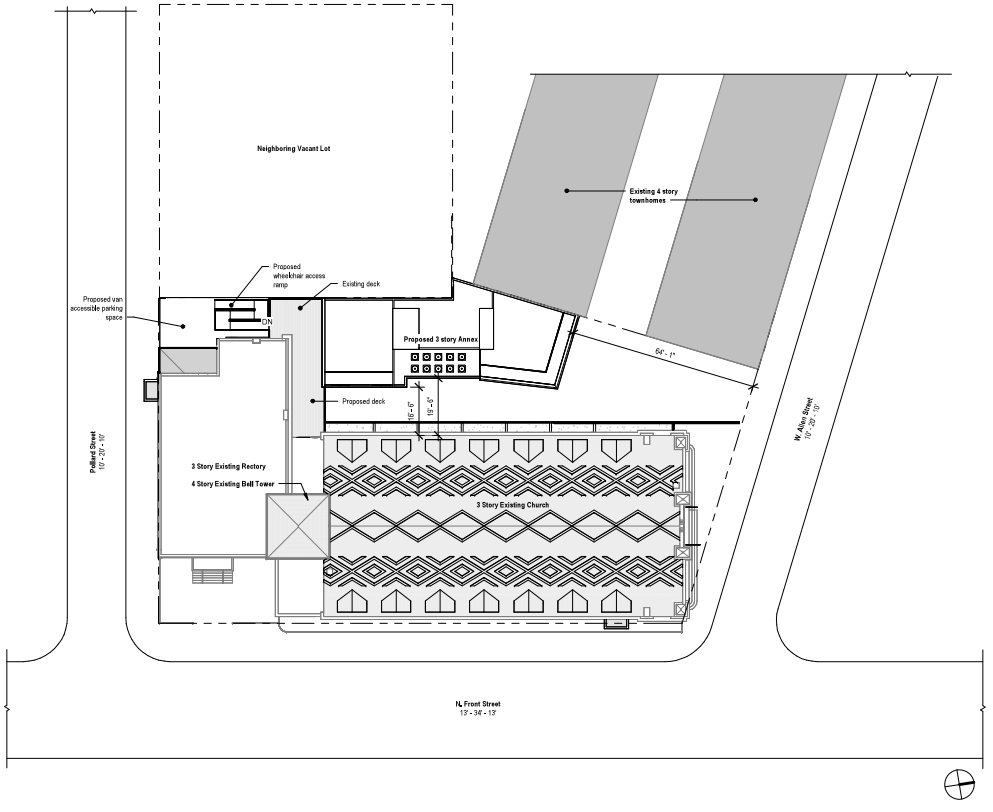


If I am not
1" tall
this drawing
was not
printed to
scale.

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1 Existing Site Plan
1" = 20'-0"



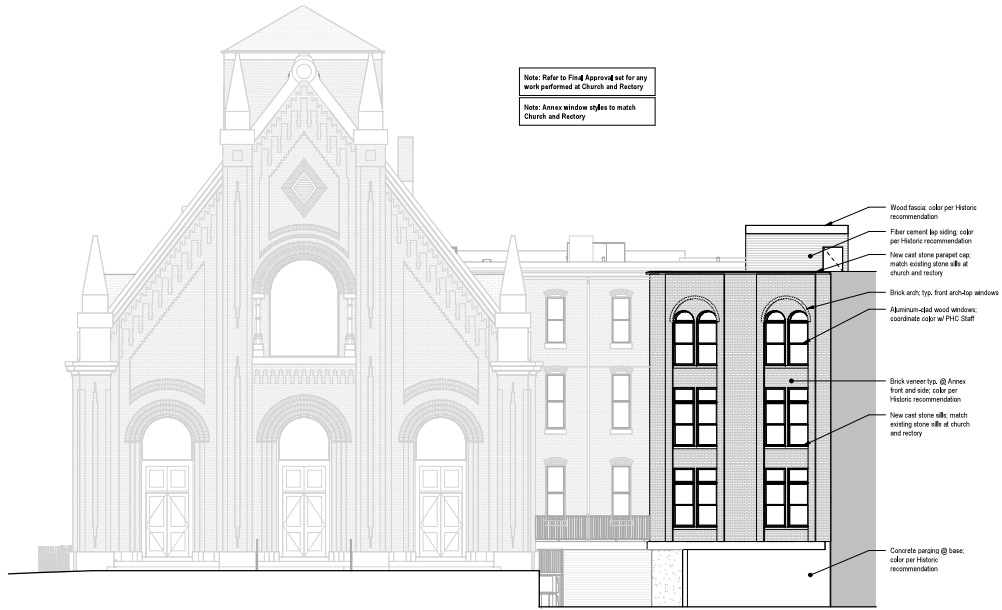
2 Proposed Site Plan
1" = 20'-0"



1/4" = 1'-0"
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scale

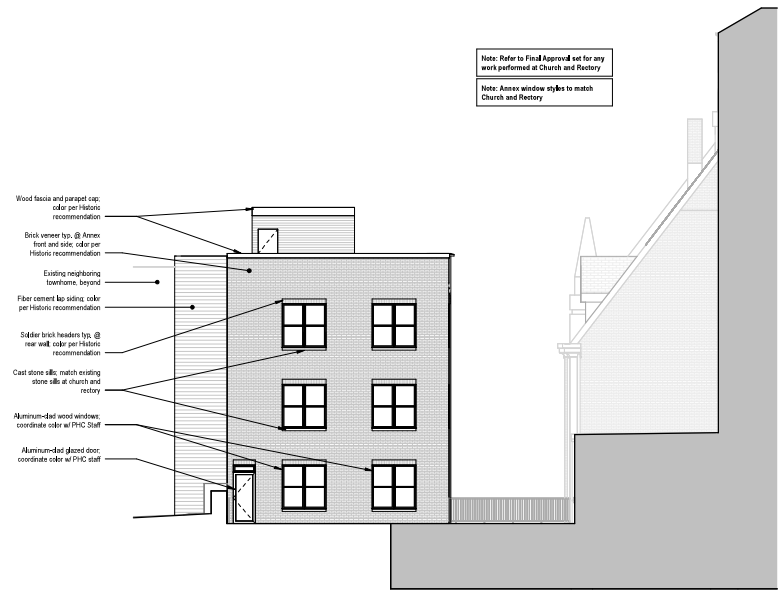
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Note: Refer to Final Approval set for any work performed at Church and Rectory

Note: Annex window styles to match Church and Rectory



Note: Refer to Final Approval set for any work performed at Church and Rectory

Note: Annex window styles to match Church and Rectory

1 Proposed Front Elevation
1/8" = 1'-0"

2 Proposed Rear Elevation
1/8" = 1'-0"



Note: Refer to Final Approval set for any work performed at Church and Rectory

Note: Annex window styles to match Church and Rectory

3 Proposed Courtyard Elevation
1/8" = 1'-0"

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1 Front View from Allen St - View 1
HG



2 Front View from Allen St - View 2
HG



3 Courtyard
HG



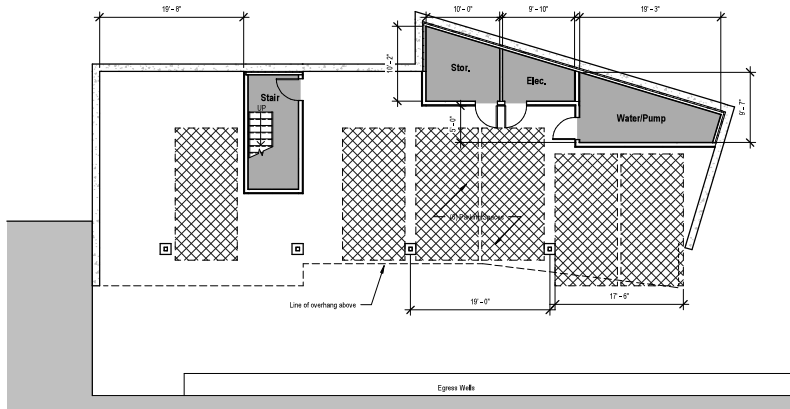
4 Rear View from Pollard St
HG



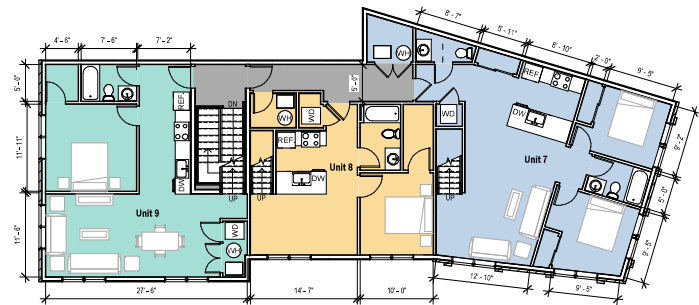
1/4" = 1'-0"
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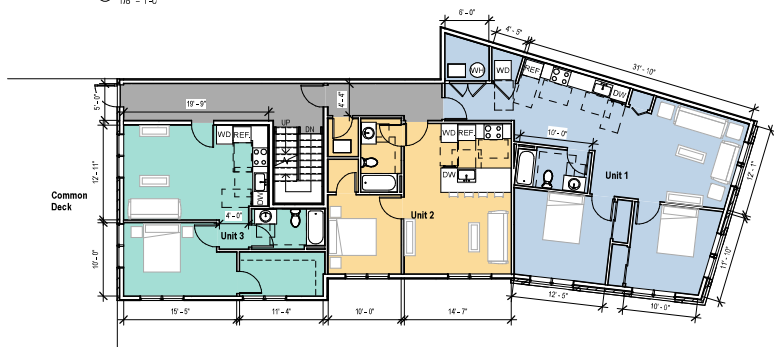




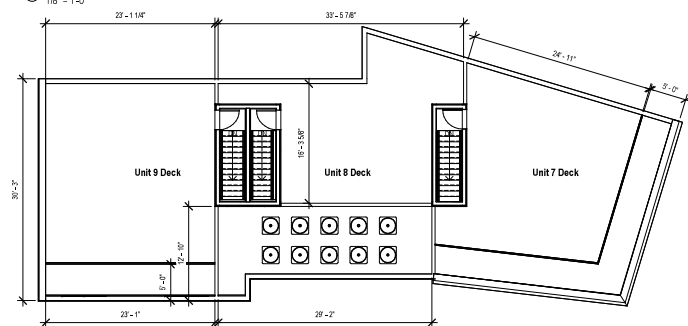
1 Basement Plan
1/8" = 1'-0"



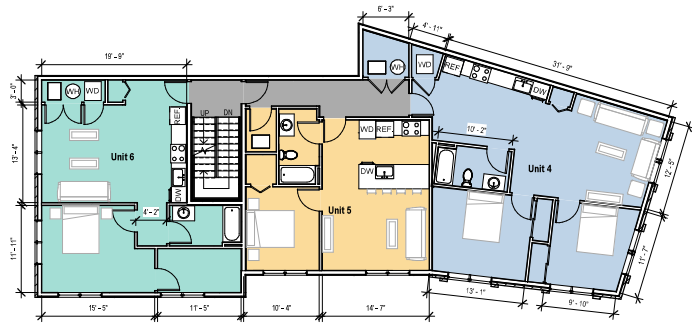
3 Third Floor Plan
1/8" = 1'-0"



1 First Floor Plan
1/8" = 1'-0"



1 Pilot House Plan
1/8" = 1'-0"



2 Second Floor Plan
1/8" = 1'-0"

Wall Legend

	Existing wall/construction
	New wall/construction



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1" = 1" all
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1032 N Front St - Annex



Schematic Floor Plans

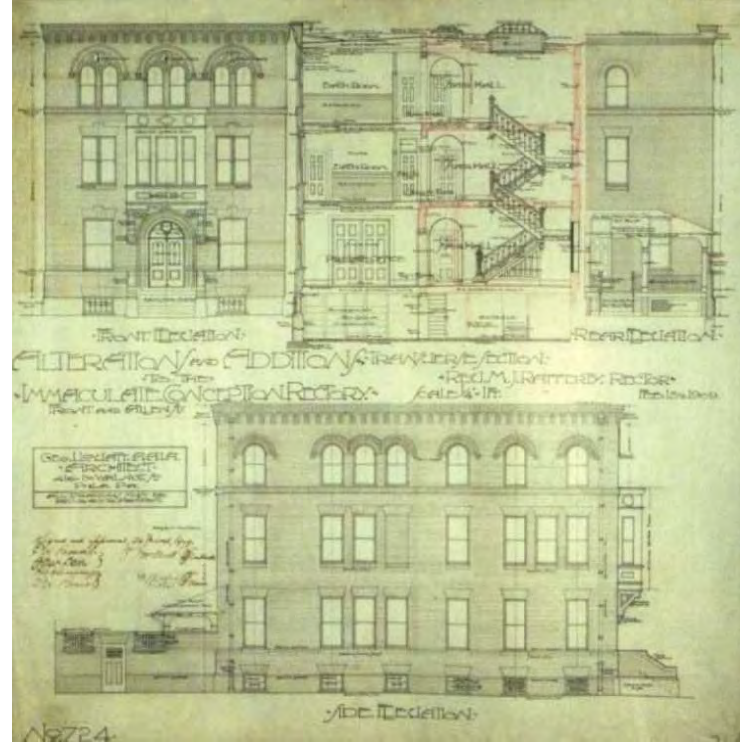
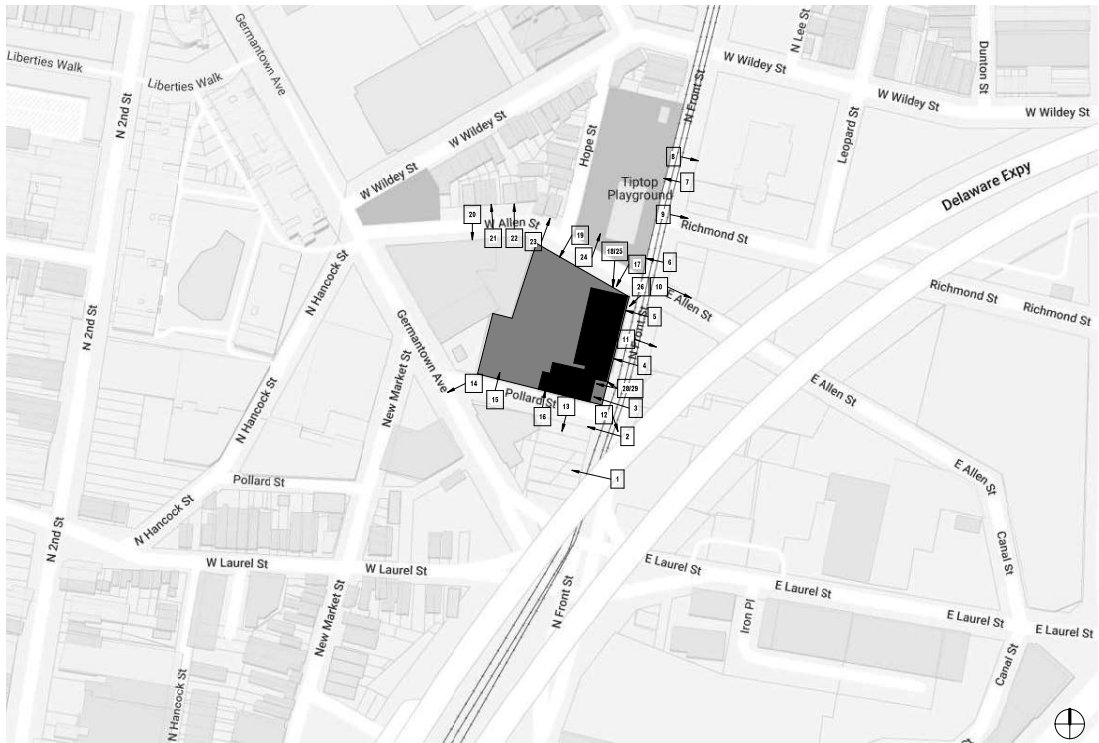
Date: 10 June 2024
Scale: As indicated
PHC Annex II-Concept Approval
Project number: 22065

HISTORICAL COMMISSION APPROVED

JANUARY 2023

IN-CONCEPT DESIGN

CHURCH & RECTORY



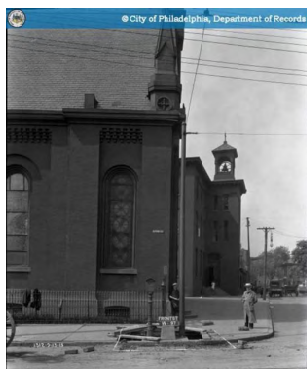
Source: Provided by PHC Staff



Source: <http://www.bl.gov/pictures/search/?q=Photograph%20of%201155267&number&g=PHRAS&view=actual%20%20&st=gallery&g%20%20%20>



Source: <https://www.phila.gov/history/PhotoArchive/Search.aspx?action=link&ipr=address&address=1020-N-FRONT-6ST>



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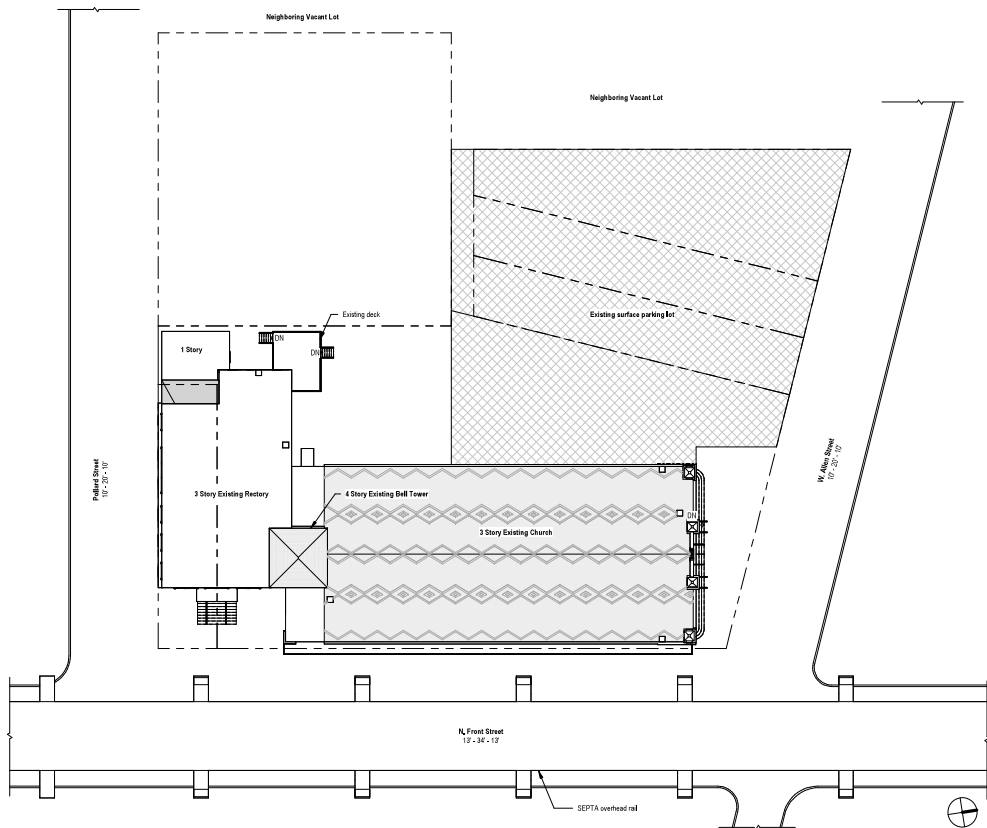
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Adaptive Reuse of Existing Church

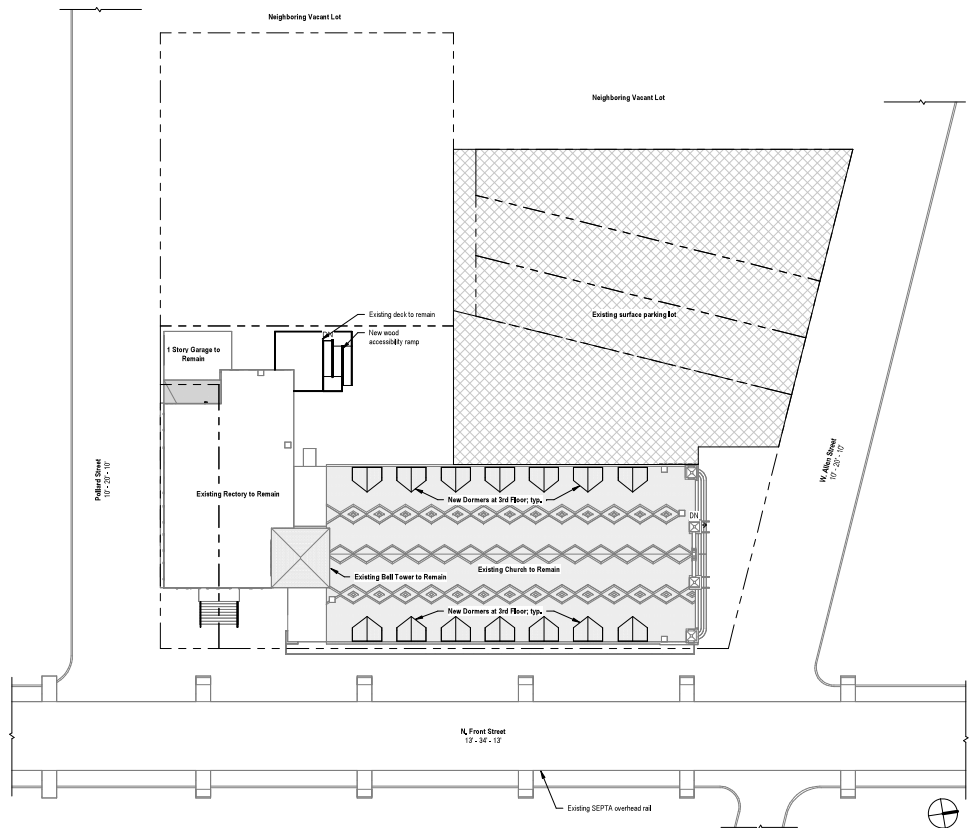
CONTEXT PLAN & HISTORIC INFO
 Date: 5 January 2023
 Scale: 1/2" = 1'-0"
 Historical Drawings
 Project number: 22065



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1 Existing Site Plan
1" = 20'-0"



2 Proposed Site Plan
1" = 20'-0"



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DATE: 5 JANUARY 2023
SCALE: 1" = 20'-0"
PROJECT NUMBER: 22065

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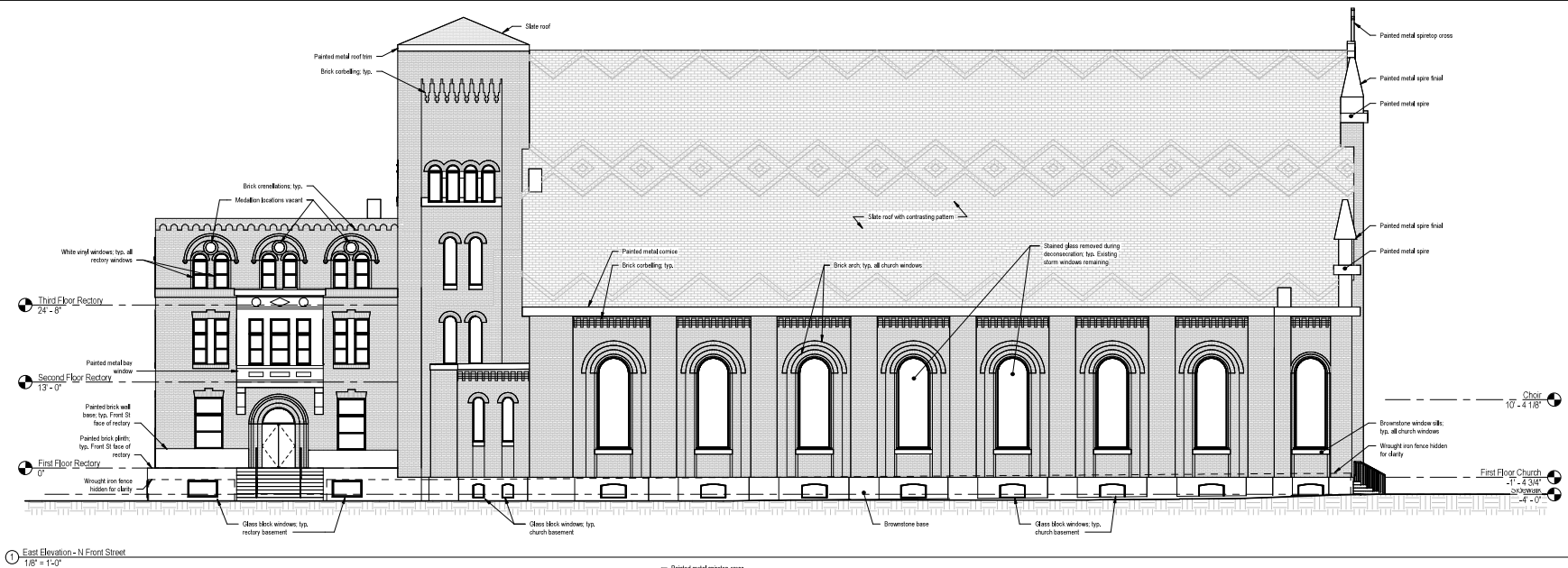
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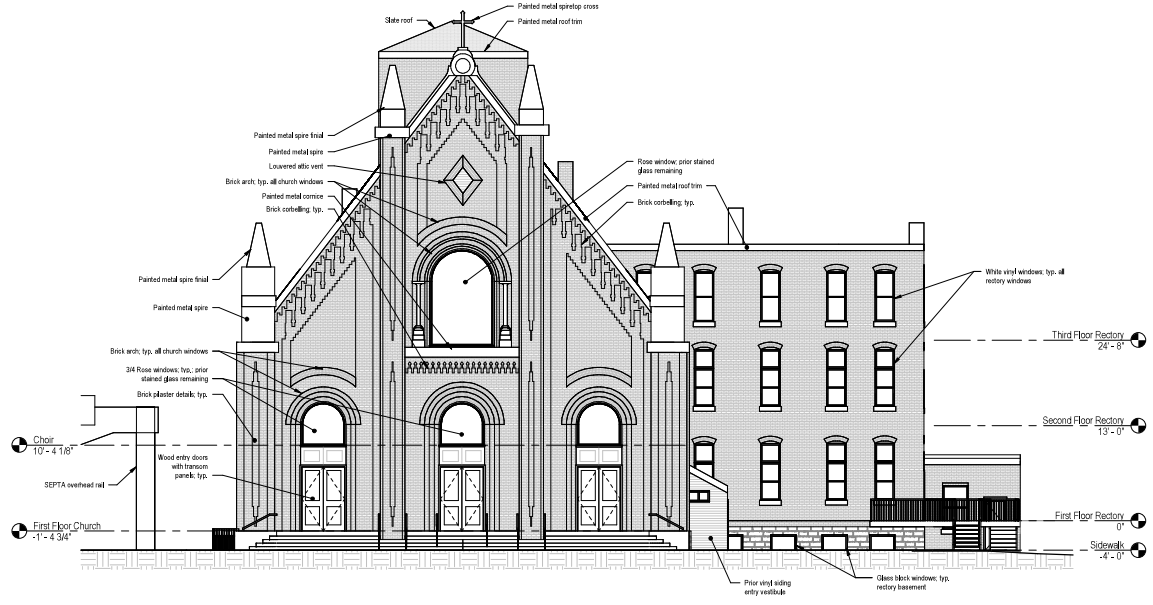
Adaptive Reuse of Existing Church

EXISTING AND PROPOSED SITE PLANS

Date: 5 January 2023
Scale: 1" = 20'-0"
Historical Drawings
Project number: 22065



1 East Elevation - N Front Street
1/8" = 1'-0"

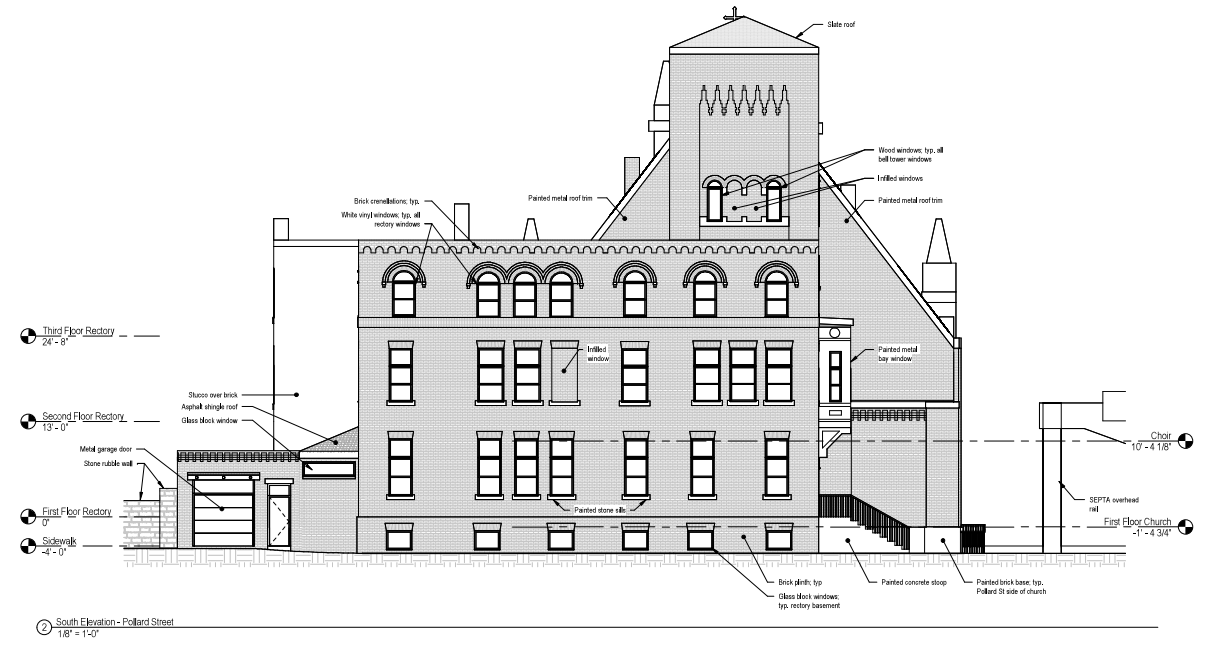
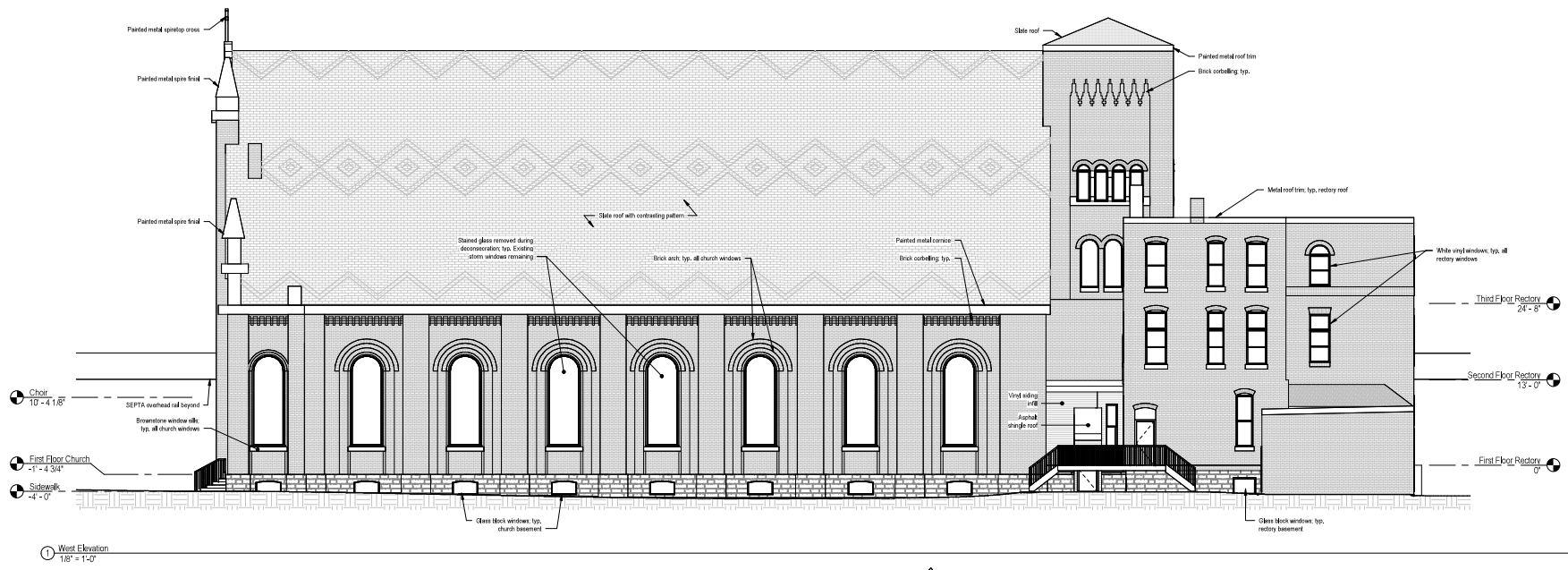


2 North Elevation - W Allen Street
1/8" = 1'-0"



1/8" not
1" tall
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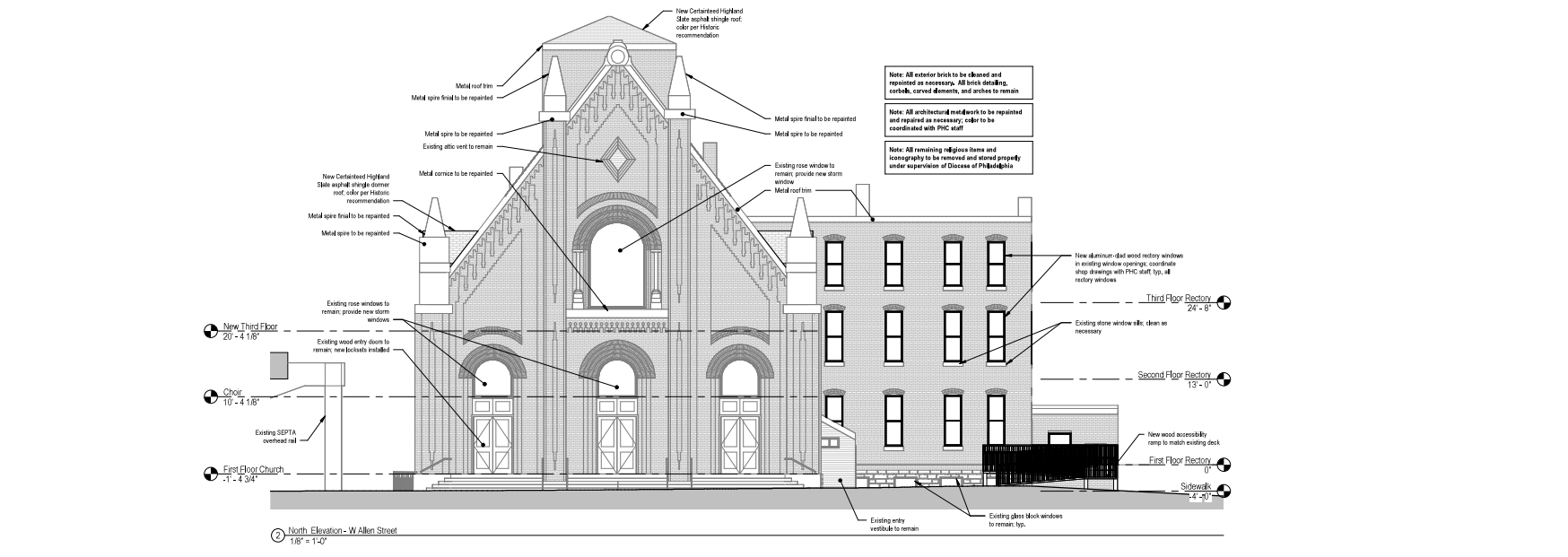
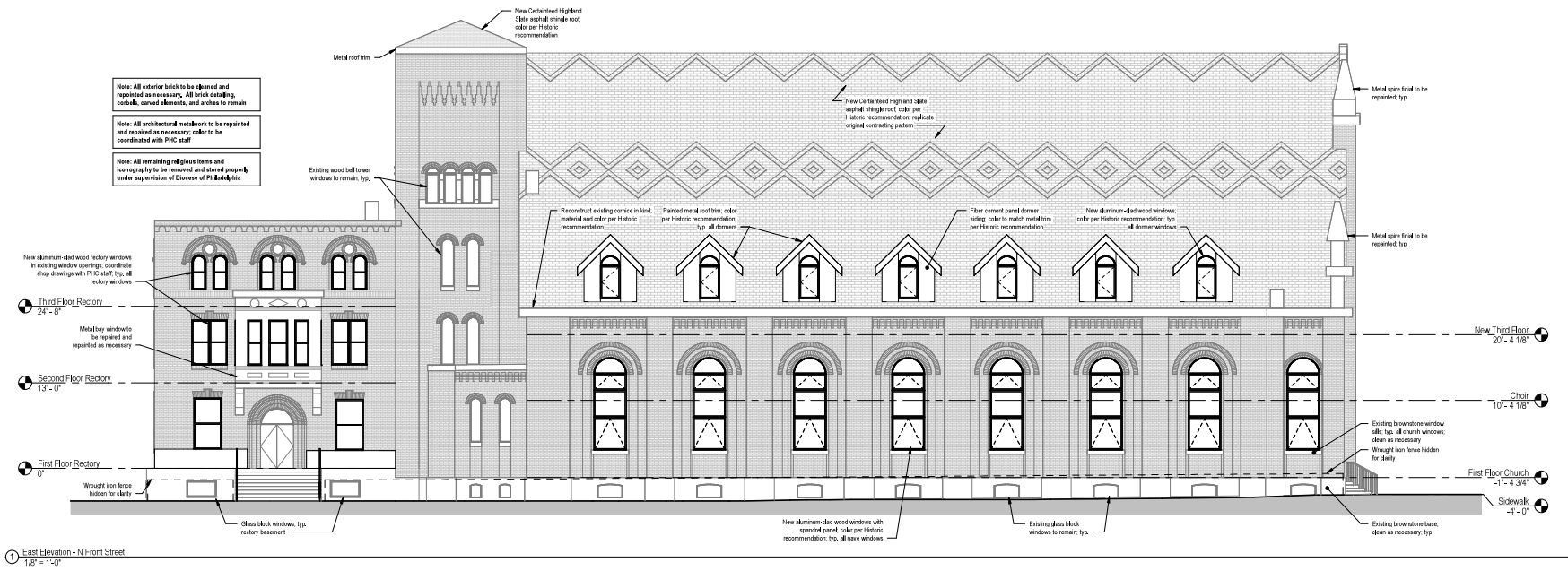
Pollard Allen OCF LLC
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Adaptive Reuse of Existing Church

EXISTING ELEVATIONS

Date: 5 January 2023
Scale: 1/8" = 1'-0"
Historical Drawings
Project number: 22065

1/8" not cut
1" tall
this drawing
was not
printed to
scale



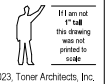
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Adaptive Reuse of Existing Church

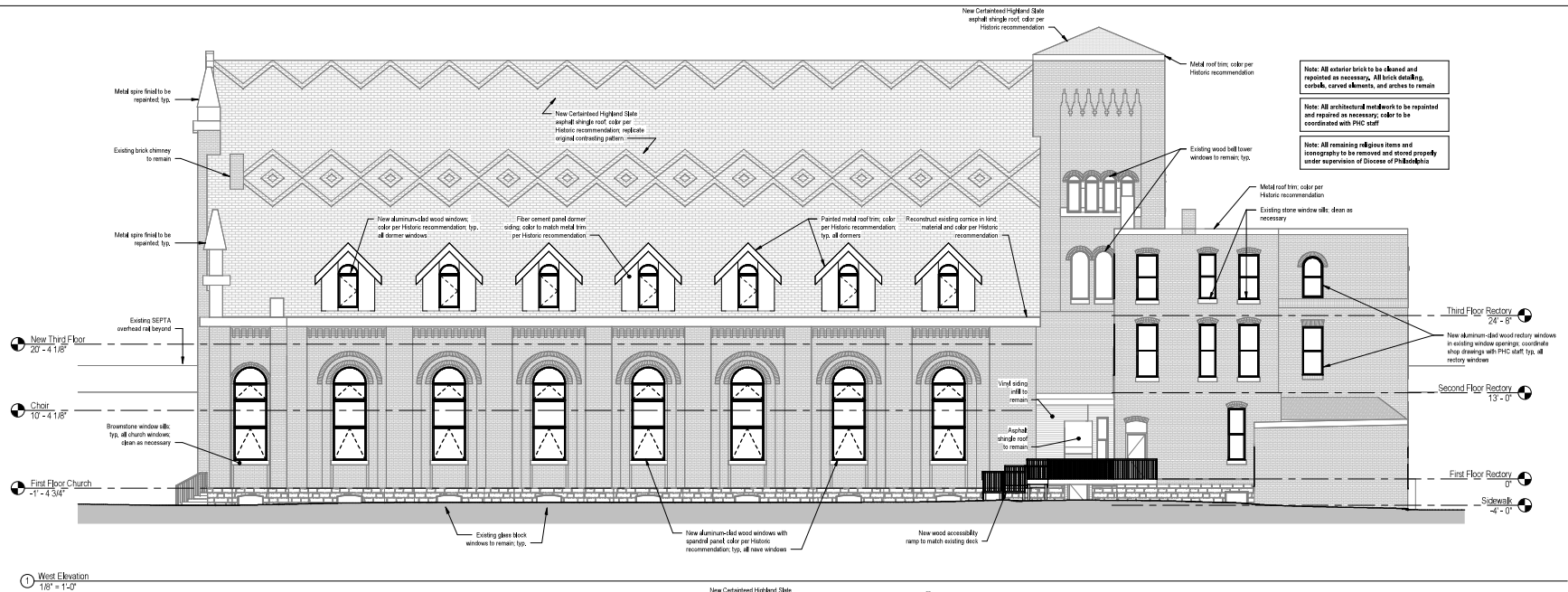
PROPOSED ELEVATIONS

Date: 5 January 2023
 Scale: 1/8" = 1'-0"
 Historical Drawings
 Project number: 22065



1/8" not
 1" tall
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 was not
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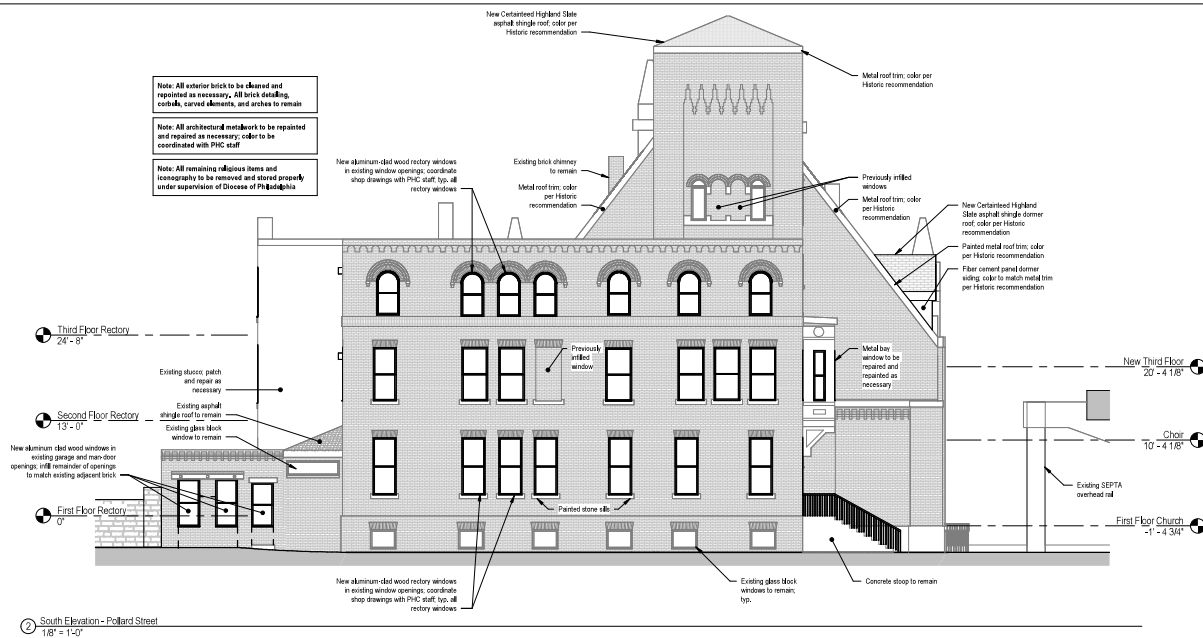


Note: All exterior brick to be cleaned and repaired as necessary. All brick detailing, corbels, curved elements, and arches to remain

Note: All architectural metalwork to be repainted and repaired as necessary, color to be coordinated with PHC staff

Note: All remaining religious items and iconography to be removed and stored properly under supervision of Diocese of Philadelphia

1 West Elevation
1/8" = 1'-0"



Note: All exterior brick to be cleaned and repaired as necessary. All brick detailing, corbels, curved elements, and arches to remain

Note: All architectural metalwork to be repainted and repaired as necessary, color to be coordinated with PHC staff

Note: All remaining religious items and iconography to be removed and stored properly under supervision of Diocese of Philadelphia

2 South Elevation - Pollard Street
1/8" = 1'-0"

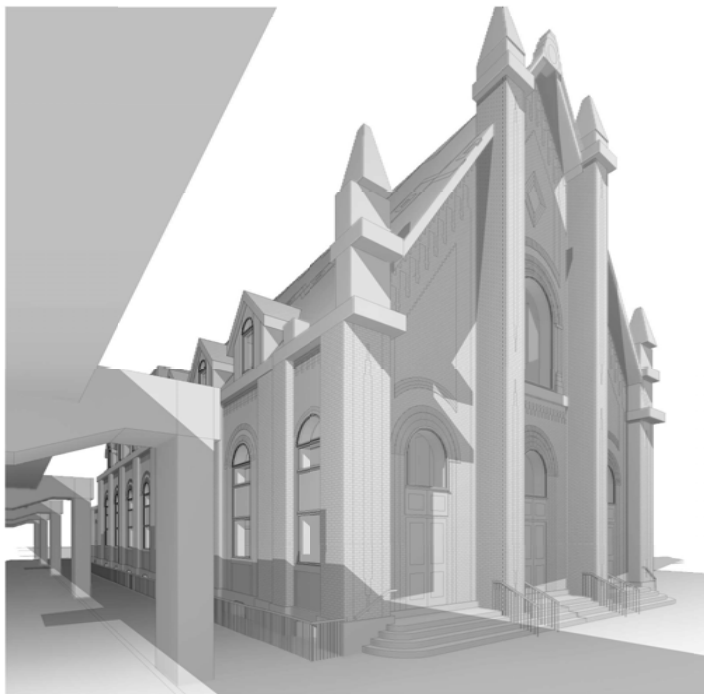


1/8" not 1" tall
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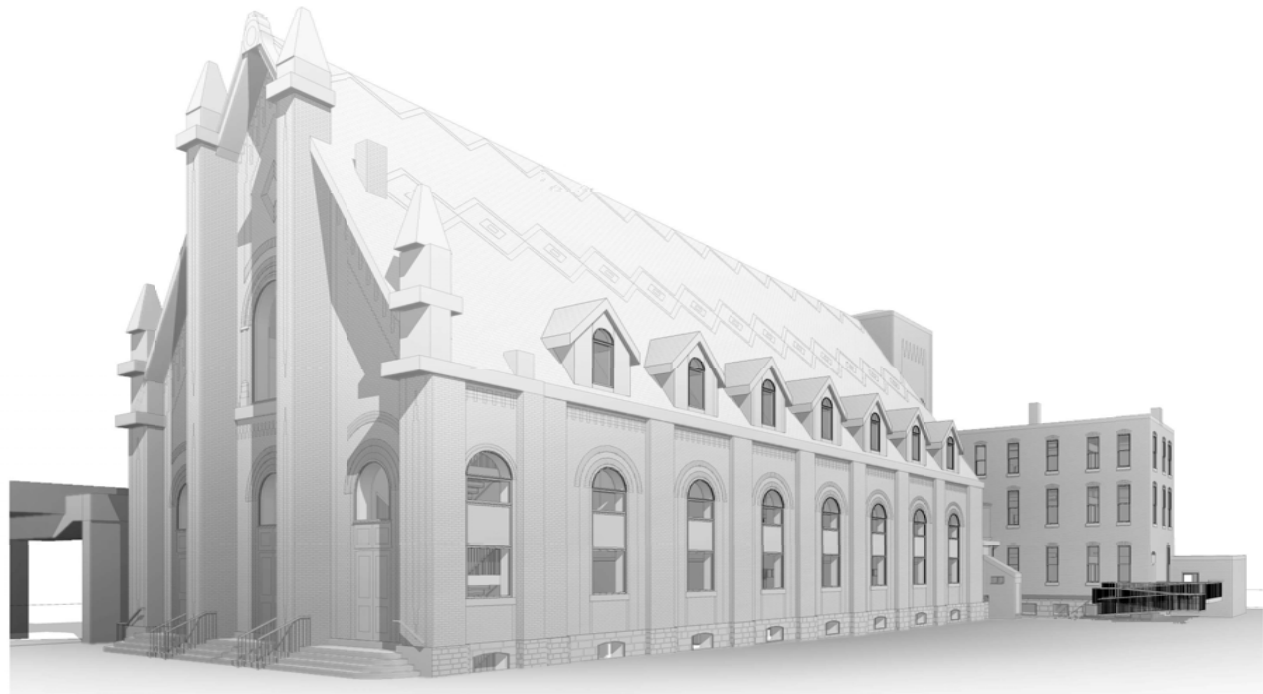
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PROPOSED ELEVATIONS



① 3/4 View from Corner of Front and Allen Streets



② 3/4 View From Allen St



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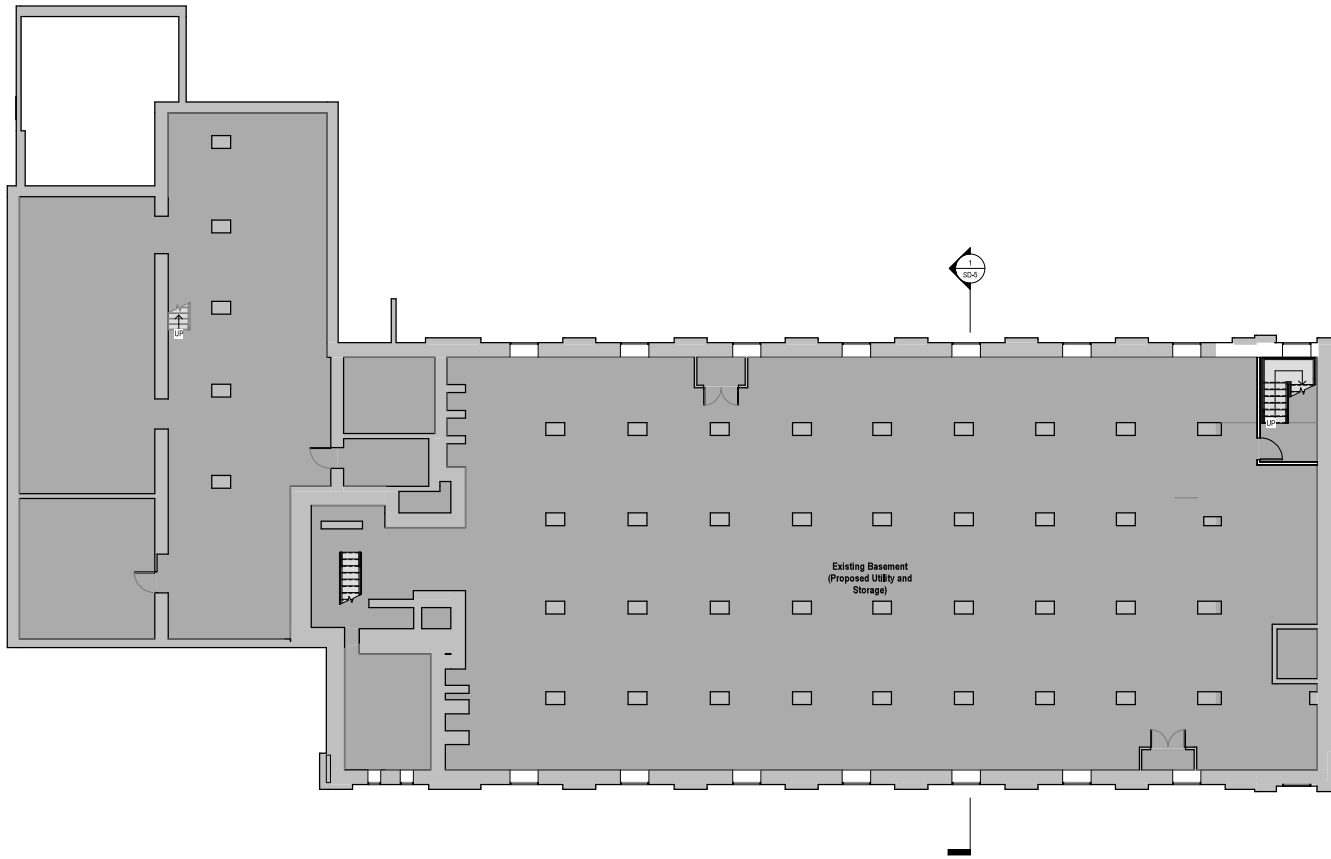
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PERSPECTIVE VIEWS

Date 5 January 2023
 Historical Drawings

Scale
 Project number 22065



Basement
1/8" = 1'-0"



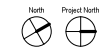
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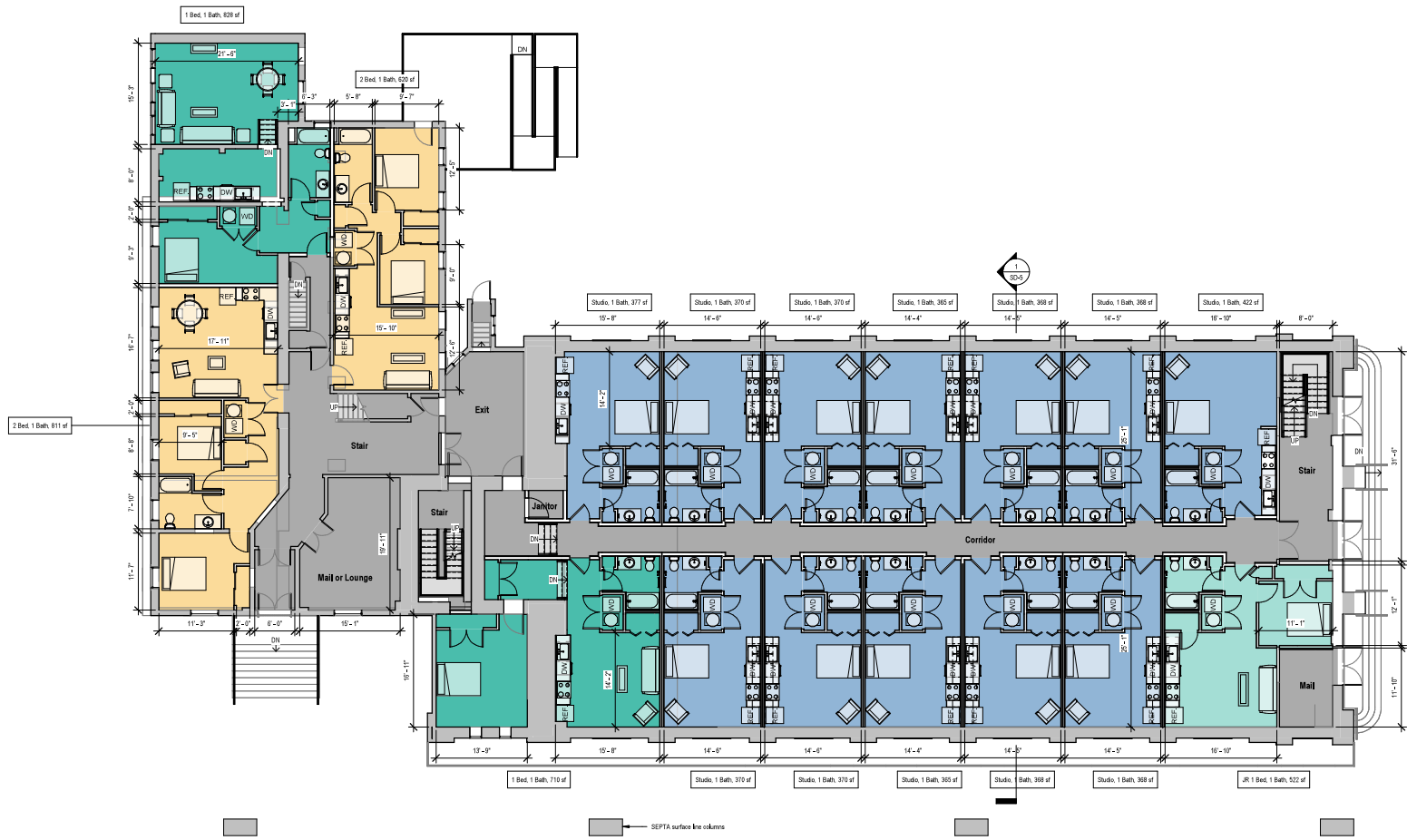


Date 5 January 2023
Historical Drawings

PLANS - Basement

Scale 1/8" = 1'-0"
Project number 22065

Unit Totals:	
Studio, 1 Bath units	24
1.5 Bed, 1 Bath units	5
1 Bed, 1 Bath units	7
2 Bed, 1 Bath units	8
2 Bed (1 w/o window), 1 bath	1
Total	45 units



○ First Floor
1/8" = 1'-0"

SEPTA surface line columns



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Adaptive Reuse of Existing Church

PLANS - First Floor

Date 5 January 2023
Historical Drawings

Scale 1/8" = 1'-0"
Project number 22065

Unit Totals:	
Studio, 1 Bath units	24
1.5 Bed, 1 Bath units	5
1 Bed, 1 Bath units	7
2 Bed, 1 Bath units	8
2 Bed (1 w/o window), 1 bath	1
Total	45 units



Second Floor
1/8" = 1'-0"



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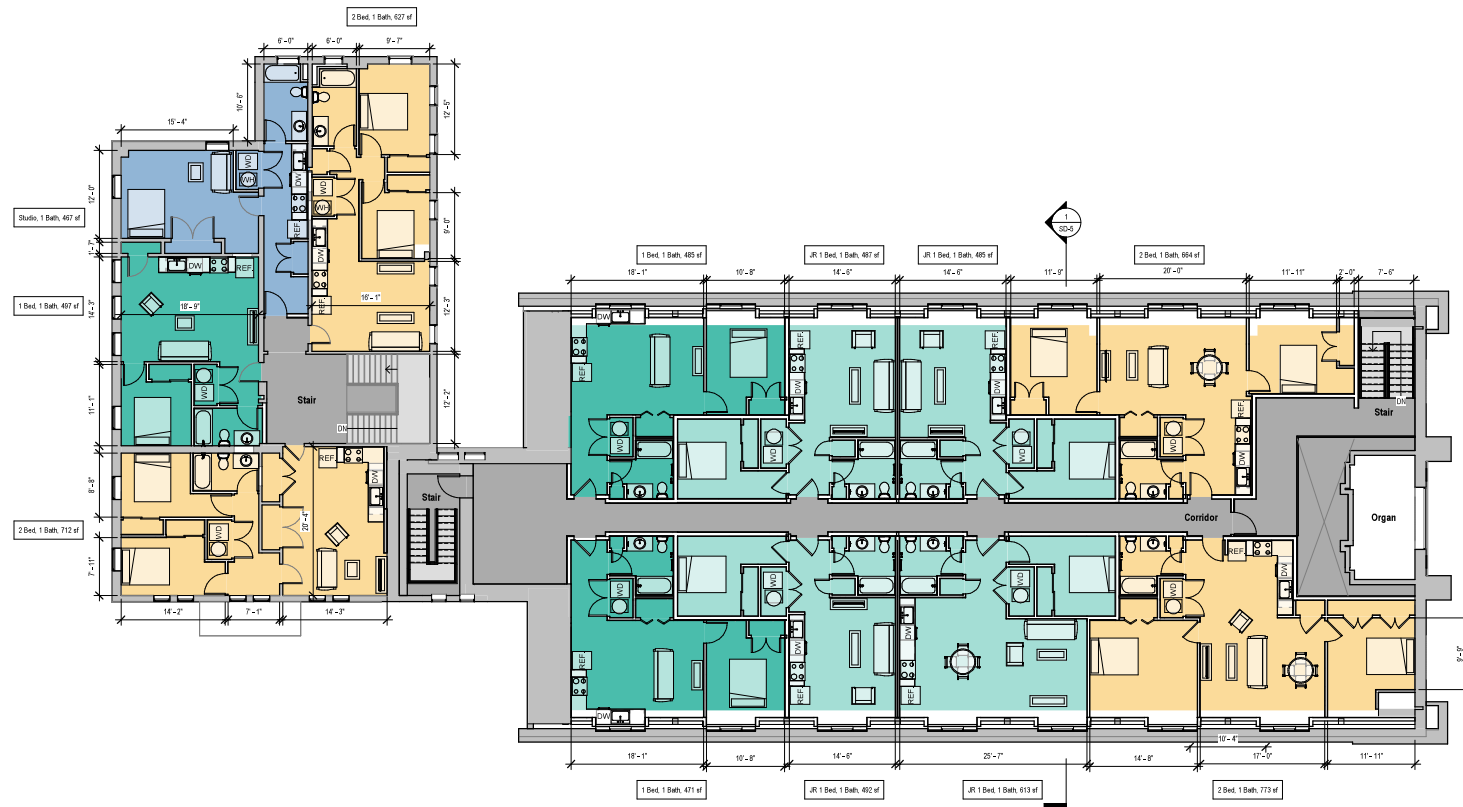
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Adaptive Reuse of Existing Church

PLANS - Second Floor
Date: 5 January 2023
Scale: 1/8" = 1'-0"
Project number: 22065

Unit Totals	
Studio, 1 Bath units	1
1 Br. Bed, 1 Bath units	5
1 Bed, 1 Bath units	7
2 Bed, 1 Bath units	8
2 Bed (1 w/o window), 1 bath	1
Total	22 units



③ Third Floor
1/8" = 1'-0"



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PLANS - Third Floor

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Date: 5 January 2023
Scale: 1/8" = 1'-0"

Historical Drawings
Project number: 22065



1 Transverse Building Section Through Church
1/4" = 1'-0"

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scale

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Adaptive Reuse of Existing Church

BUILDING SECTION

Date 5 January 2023
Historical Drawings

Scale 1/4" = 1'-0"
Project number 22065

ADDITIONAL IMAGES



Photo 1 - 11/1/2022



Photo 2 - 11/1/2022



SP
UL
2

ALL TRAFFIC
MUST
TURN RIGHT

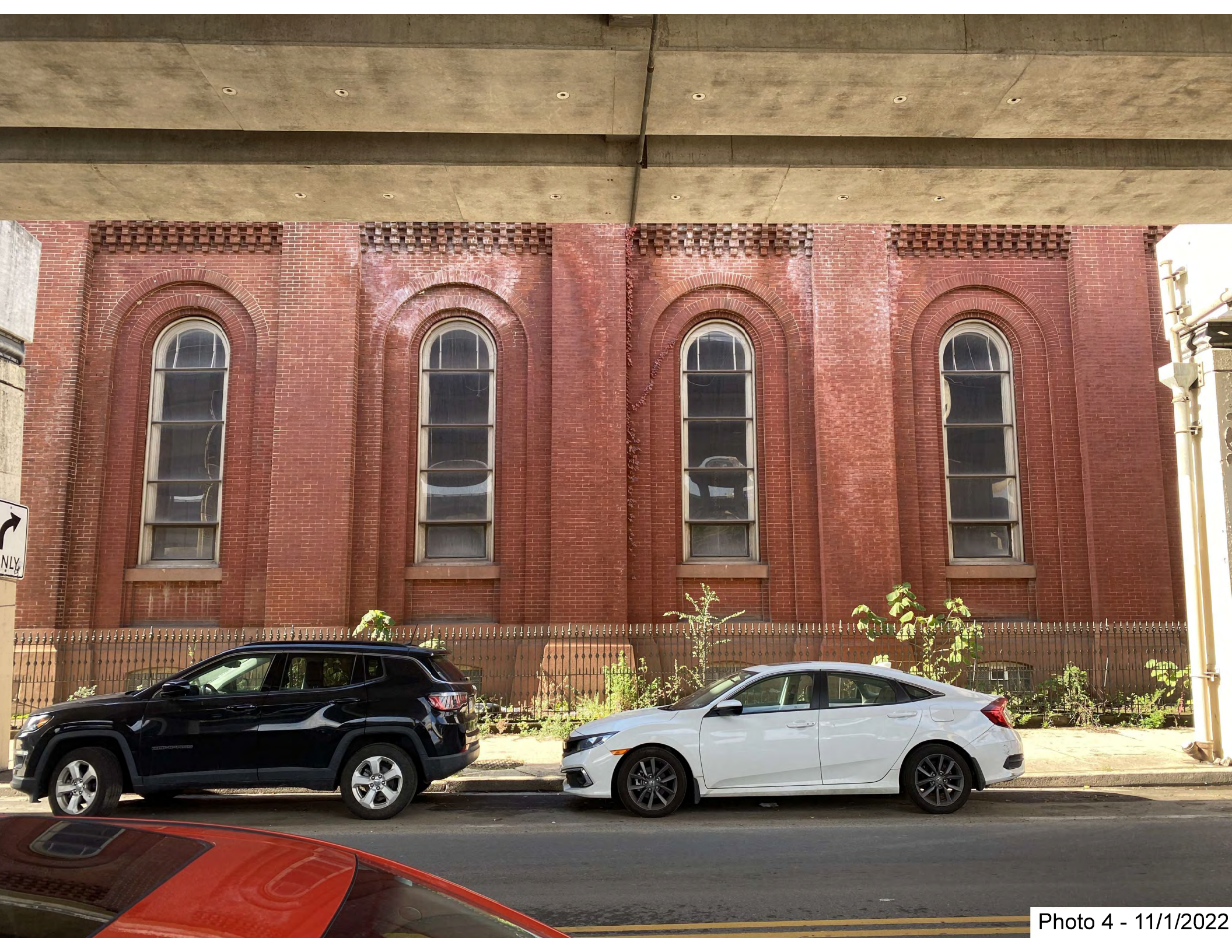


Photo 4 - 11/1/2022

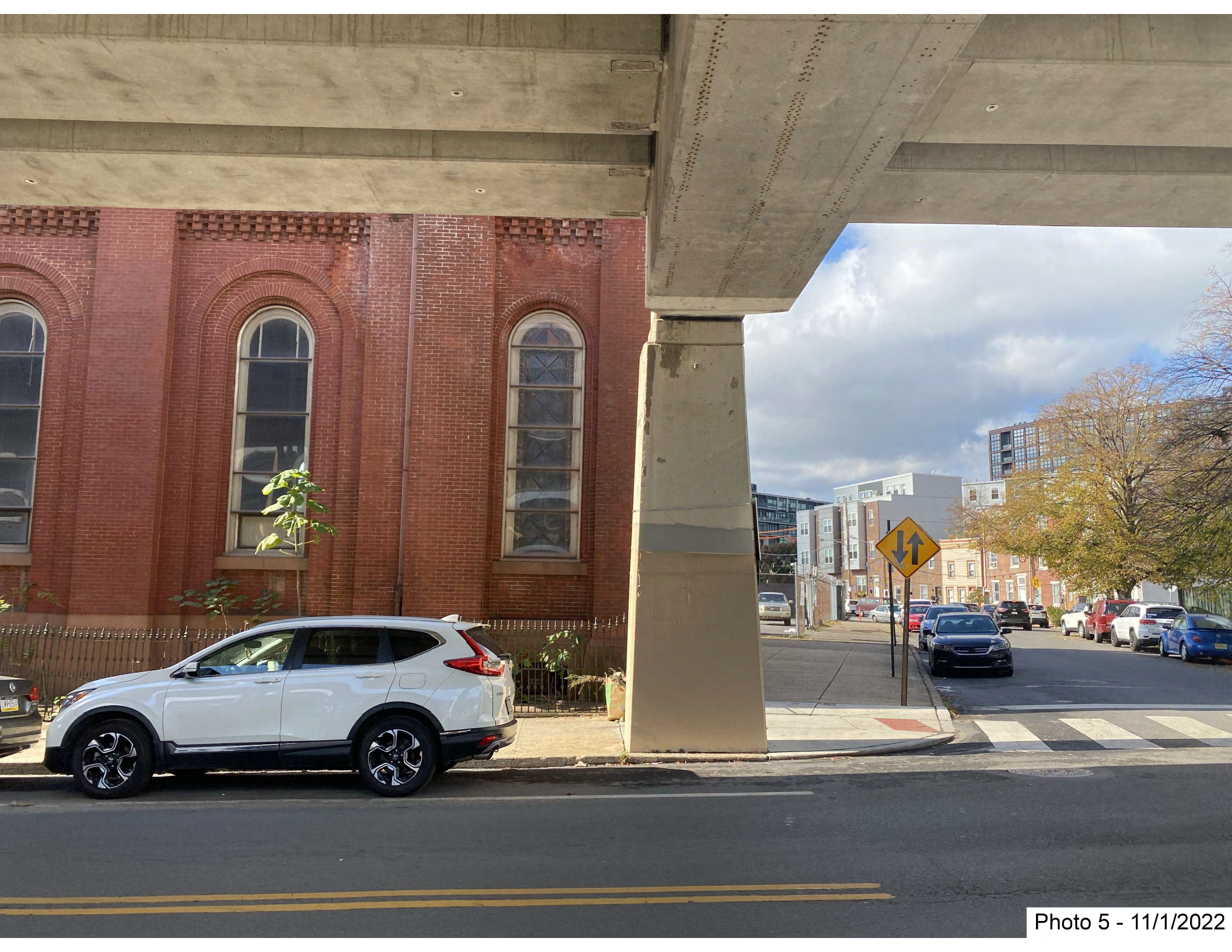


Photo 5 - 11/1/2022



Photo 6 - 11/1/2022



Photo 7 - 11/1/2022



Photo 8 - 11/1/2022



Photo 9 - 11/1/2022



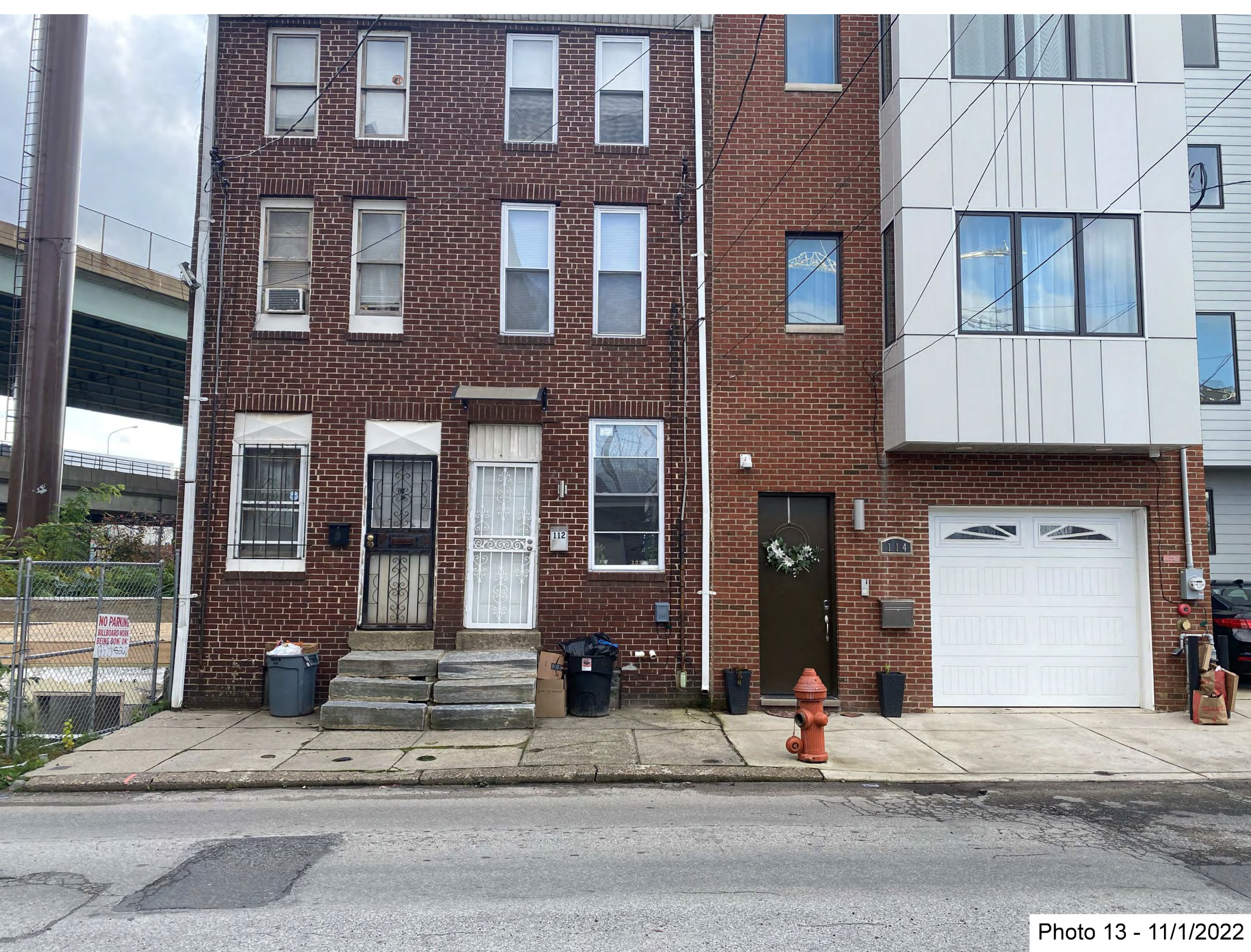
Photo 10 - 11/1/2022



Photo 11 - 11/1/2022



Photo 12 - 11/1/2022



NO PARKING
BILLBOARD WORK
BEING DONE ON
THE REAR

112

114

Photo 13 - 11/1/2022



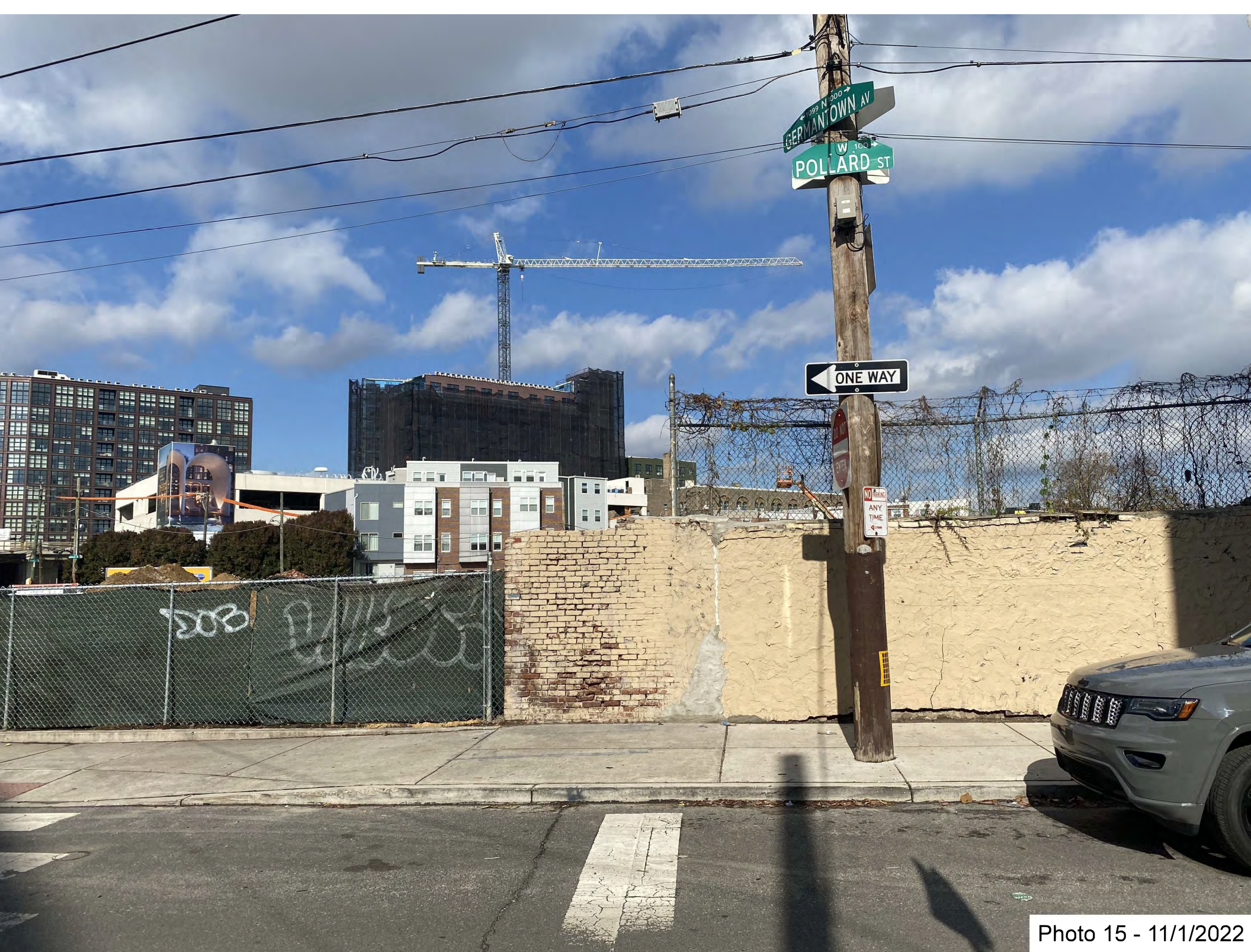
THE IRONWORKS

We're Just
Freshening
Up the Place

Neighborhood
Dentist

Brighter
Smiles for
Lighter Days

Photo 14 - 11/1/2022



GERMANTOWN AV
POLLARD ST

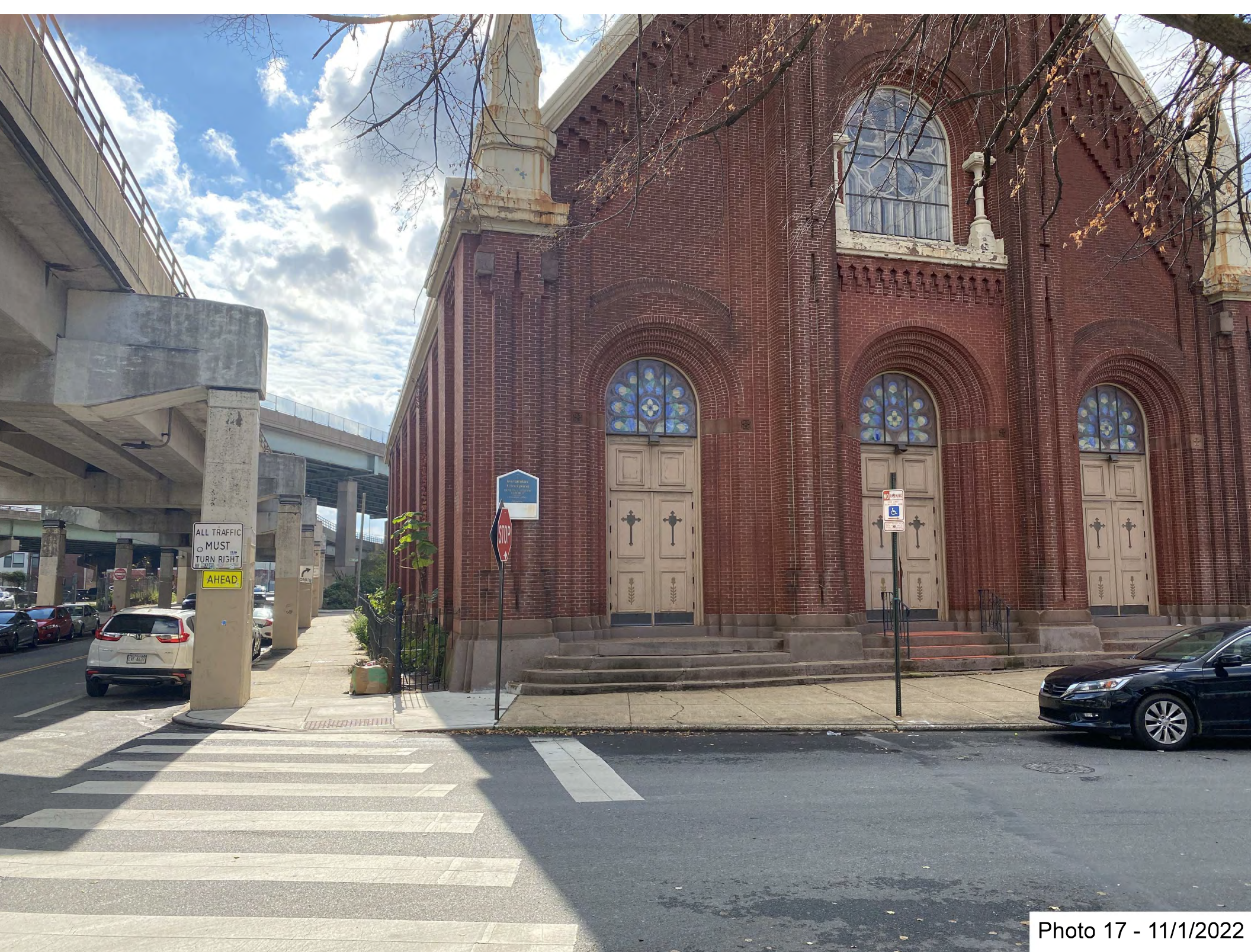
ONE WAY

NO PARKING
ANY TIME

Photo 15 - 11/1/2022



Photo 16 - 11/1/2022



ALL TRAFFIC
MUST
TURN RIGHT

AHEAD

STOP

Historic
Preservation
Commission

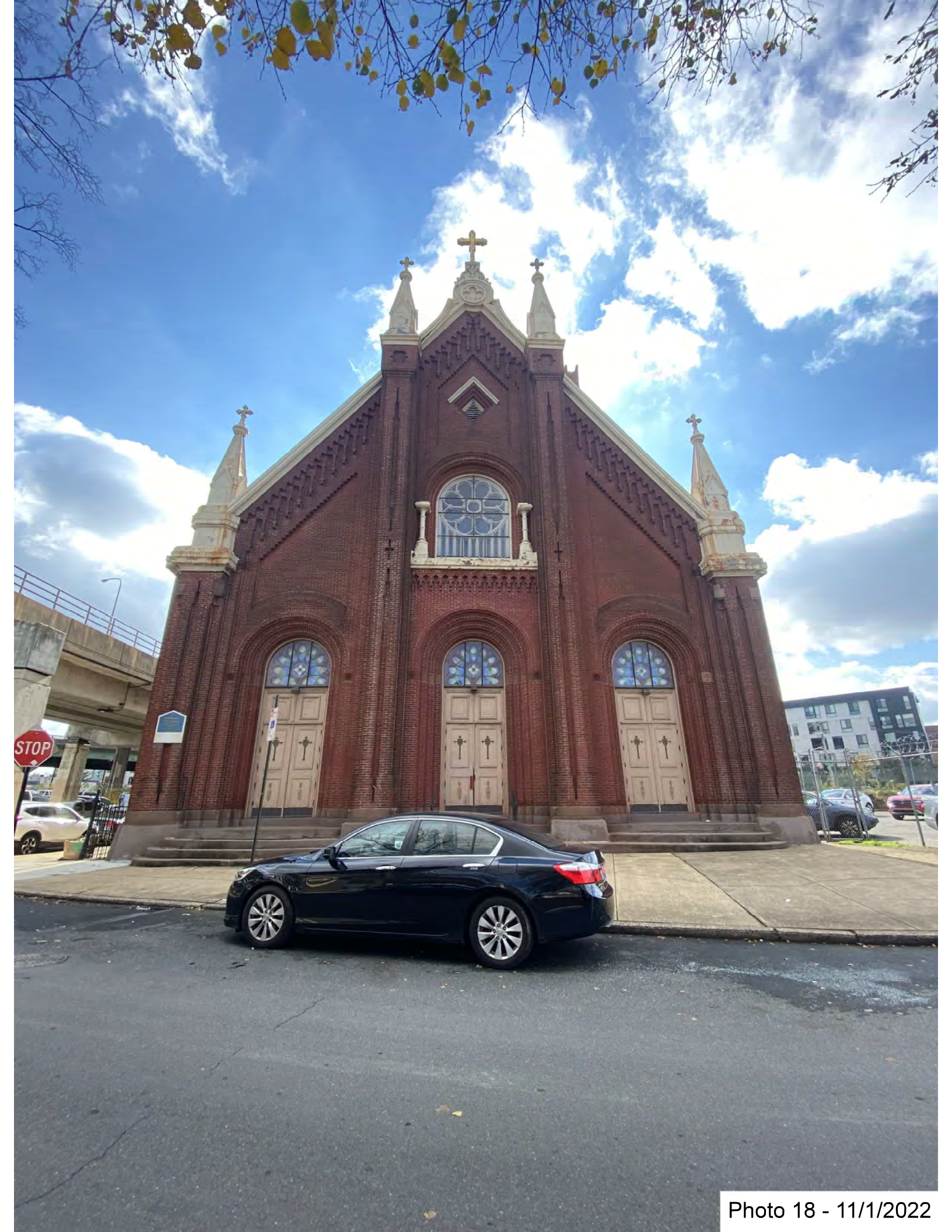


Photo 18 - 11/1/2022



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Photo 19 - 6/6/2024



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Photo 20 - 6/6/2024



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Photo 21 - 11/1/2022



Photo 22 - 11/1/2022



Photo 23 - 11/1/2022



Photo 24 - 11/1/2022



Photo 25 - 11/1/2022



Photo 26 - 11/1/2022

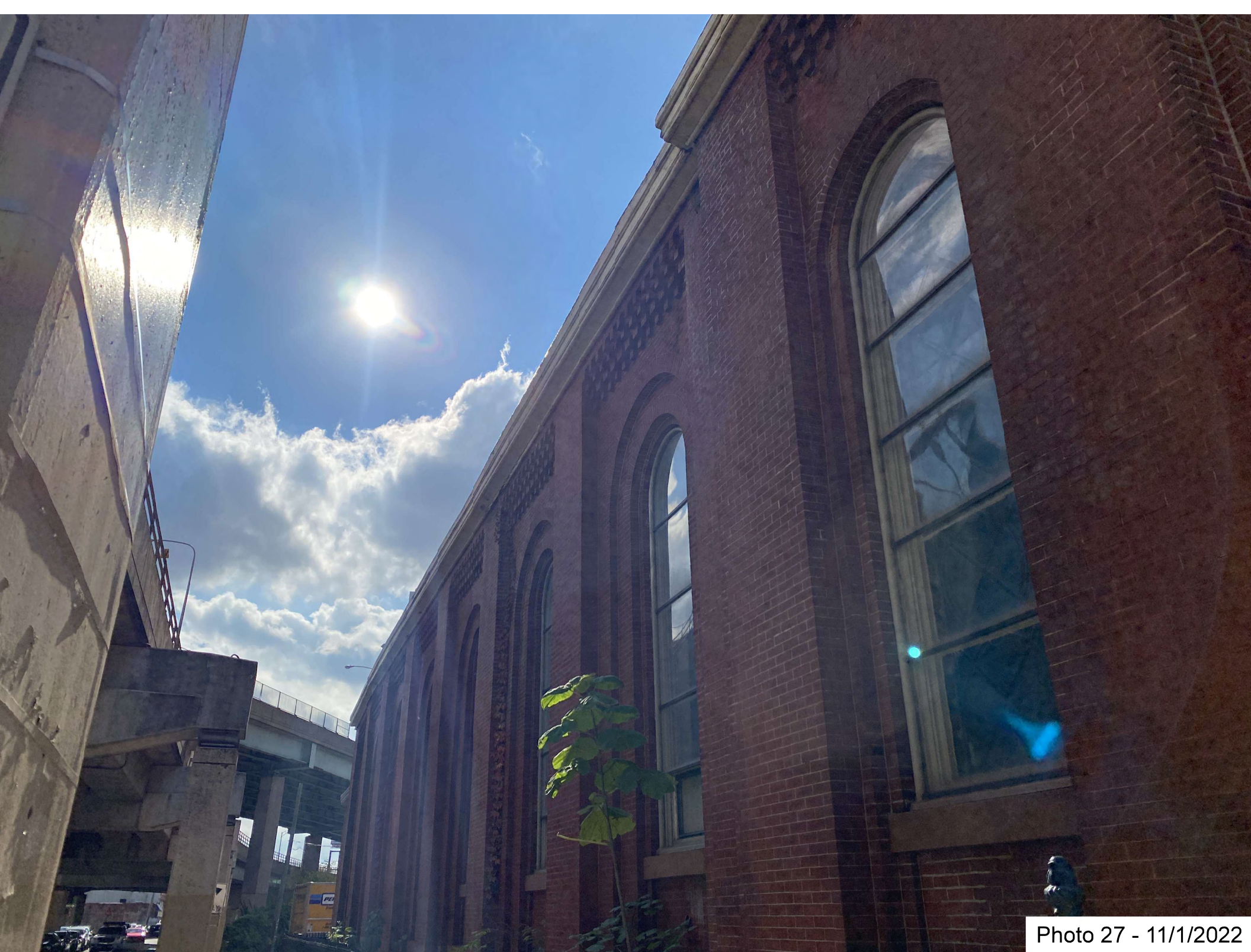


Photo 27 - 11/1/2022



Photo 28 - 11/1/2022



Photo 29 - 11/1/2022