

ADDRESS: 4124-28 PARKSIDE AVE

Proposal: Construct multi-unit residential building

Review Requested: Final Approval

Owner: Beywatch Property Management LLC

Applicant: Lee Eley, LC Architecture LLC

History: 1894

Individual Designation: None

District Designation: Parkside Historic District, Significant, 12/11/2009

Staff Contact: Alex Till, alexander.till@phila.gov

BACKGROUND:

This application proposes to construct a four-story building at a property classified as significant in the Parkside Historic District. The new building will be located in the side yard of the lot and stand between three and 10 feet from the historic building. The entrance to the new building is located at the end of a narrow pathway that runs between the buildings. The existing building was constructed in 1894 and is four stories tall with a prominent porch and features distinctive late-Victorian decorative elements and a mansard roof. The new building will include a stucco and brick front façade and prominent fourth-floor balcony as well as a roof deck set on a flat roof. Both side elevations, including the large exposed east elevation will be clad in a combination of Hardie board panels and vinyl siding. The new building will stand beside the historic building and will be prominently visible from Parkside Avenue.

The Architectural reviewed and recommended denial of an earlier version of this project in February 2024. The application was withdrawn before the Historical Commission reviewed it.

SCOPE OF WORK:

- Construct a new four-story building adjacent to an existing historic building at 4124-28 Parkside Avenue.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
 - The proposed vinyl siding and Hardi board cladding materials for the east and west side elevations of the addition do not meet Standard 9. The materials are not compatible with the historic materials or features of the building. The cladding should be replaced with an alternate material that is more appropriate for the district such as brick or stucco.

STAFF RECOMMENDATION: The staff recommends approval, provided more appropriate cladding materials are used on the east and west side elevations, pursuant to Standard 9.

IMAGES:

Figure 1: 1910, G. W. Bromley Atlas. Property outlined in red.

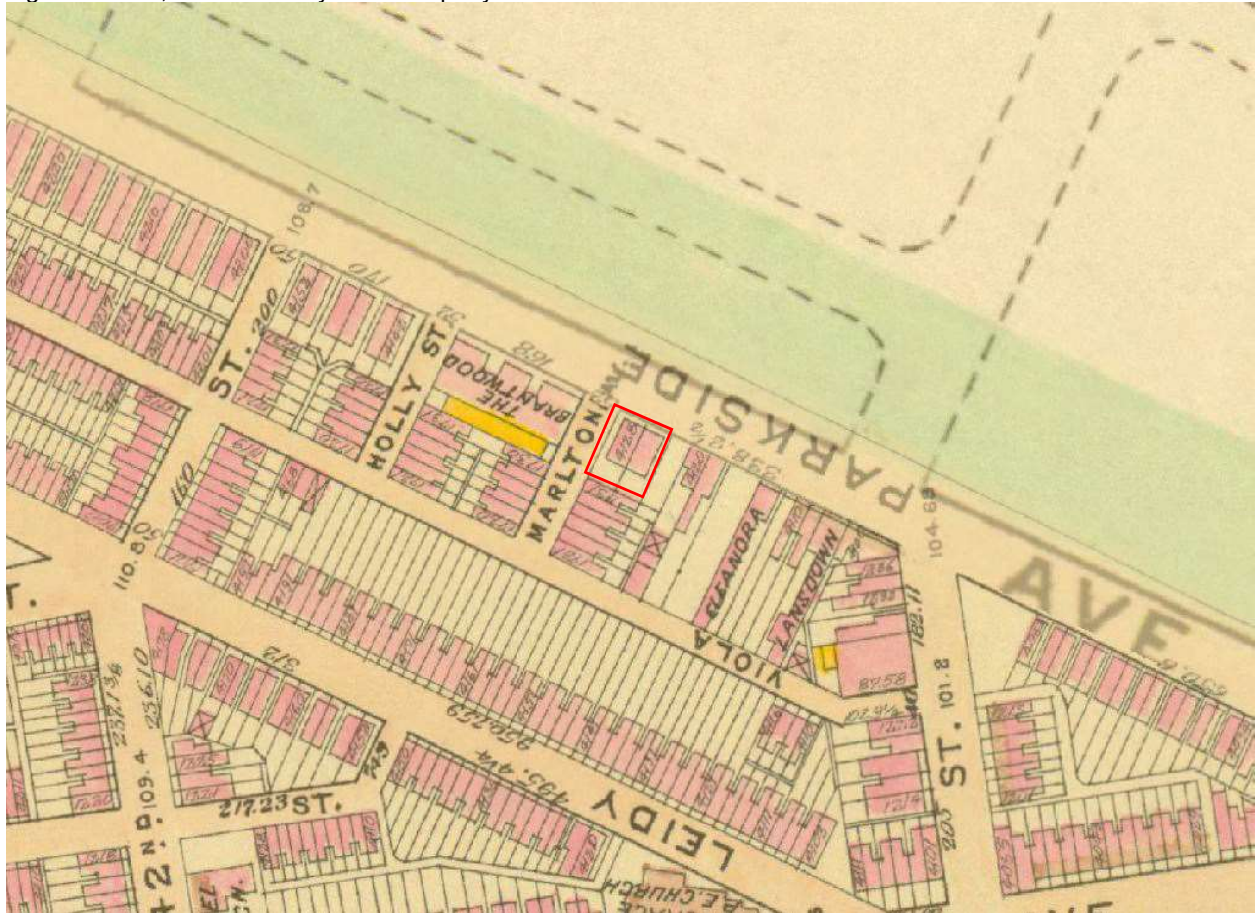


Figure 2: View of front façade of 4124-28 Parkside Ave looking South from Parkside Ave



Figure 3: View of 4124-28 Parkside Ave looking Southwest from Parkside Ave.



Figure 4: Aerial view of 4124-28 Parkside Ave looking Southwest.



APPLICATION FOR BUILDING PERMIT



CITY OF PHILADELPHIA
DEPARTMENT OF LICENSES AND INSPECTIONS
MUNICIPAL SERVICES BUILDING – CONCOURSE
1401 JOHN F. KENNEDY BOULEVARD
PHILADELPHIA, PA 19102
For more information visit us at www.phila.gov/li

APPLICATION # _____

(Please complete all information below and print clearly)

ADDRESS OF PROPOSED CONSTRUCTION:

4124-28 Parkside Ave

APPLICANT:

Lee Elsey

COMPANY NAME

LC Architecture LLC dba Living City Architecture

PHONE # (484) 441-6057

FAX #

PROPERTY OWNER'S NAME:

Beywatch Property Management LLC

PHONE # (267) 577-2490

FAX #

ARCHITECT/ENGINEER IN RESPONSIBLE CHARGE

Lee Elsey

ARCHITECT/ENGINEERING FIRM:

LC Architecture LLC

PHONE # (484) 441-6057

FAX #

CONTRACTOR:

Dawud Bey

CONTRACTING COMPANY:

Fine Print Construction LLC

PHONE # (267) 577-2490

FAX #

APPLICANT'S ADDRESS:

500 W Office Center Dr, Suite 400

Fort Washington, PA 19034

LICENSE # RA405203

E-MAIL: lee@livingcityarch.com

PROPERTY OWNER'S ADDRESS:

3900 City Ave, A609

Philadelphia, PA 19131

ARCHITECT/ENGINEERING FIRM ADDRESS:

500 W Office Center Dr, Suite 400

Fort Washington, PA 19034

LICENSE # RA405203

E-MAIL: lee@livingcityarch.com

CONTRACTING COMPANY ADDRESS:

3900 City Ave, A609

Philadelphia, PA 19131

LICENSE # 055843

E-MAIL: dawud@fineprintcompanies.com

USE OF BUILDING/SPACE

Multifamily Residential

ESTIMATED COST OF WORK

\$ _____

BRIEF DESCRIPTION OF WORK:

New construction of a 4-story residential building with (7) units on an existing site with (2) buildings and (17) existing units. This projects involves affordable housing and the low-income bracket of the mixed-income density bonus.

TOTAL AREA UNDERGOING CONSTRUCTION: 5,300.00 square feet

COMPLETE THESE ITEMS IF APPLICABLE TO THIS APPLICATION:

OF NEW SPRINKLER HEADS (suppression system permits only): _____ LOCATION OF SPRINKLERS: _____

OF NEW REGISTERS/DIFFUSERS (hvac/ductwork permits only): _____ LOCATION OF STANDPIPES: _____

IS THIS APPLICATION IN RESPONSE TO A VIOLATION? NO YES VIOLATION #: _____

All provisions of the building code and other City ordinances will be complied with, whether specified herein or not. Plans approved by the Department form a part of this application. I hereby certify that the statements contained herein are true and correct to the best of my knowledge and belief. I further certify that I am authorized by the owner to make the foregoing application, and that, before I accept my permit for which this application is made, the owner shall be made aware of all conditions of the permit. I understand that if I knowingly make any false statement herein I am subject to such penalties as may be prescribed by law or ordinance.

APPLICANT'S SIGNATURE: _____

DATE: 5 / 13 / 2024



Living City

ARCHITECTURE

LC Architecture LLC

500 W Office Center Dr, Suite 400, Fort Washington, PA 19034

Principal: Lee Elsey, AIA

t. 484.441.6057 e. lee@livingcityarch.com

June 6, 2024

Philadelphia Historical Commission
1515 Arch St, 13th Floor
Philadelphia, PA 19102

RE: Final Review requested for a New Construction Multi-Family Building at 4124-28 Parkside Ave

Dear Historical Commission,

Please find the associated design documents for a new construction 4-story multi-family building within the historic district that encompasses 4124-28 Parkside Ave. We are requesting consideration by the Commission in preparation for a building permit submission. We have received a zoning permit for the new construction building, but will be revising this permit as necessary.

The existing site encompasses (3) city lots that were consolidated into a single lot some time ago. There are twin mirrored 5-story multi-family buildings on the sites we call 4126 Parkside and 4128 Parkside. 4126 was configured with (8) residential units, and 4128 was configured with (9) residential units. Permits to renovate and update the existing buildings were obtained by a previous owner and completed in 2023 by the current owner, Beywatch Property Management LLC.

The previous owner obtained zoning approval to legalize the existing configuration of units in October of 2018 (Permit # 921447). Although the existing configuration of the buildings included (17) residential units, the 2018 zoning permit only included (16) units, and the corresponding Building Permit (# 946030) from March of 2019 is consistent with this. It appears the previous owner declined to pursue the zoning variance that would have been required to legalize (17) units on the property, although they never changed the existing layout and proceeded to refinish all (17) units.

Beywatch obtained the building and the ongoing construction in January of 2023 as part of an effort to provide affordable housing in the neighborhood. At this point Living City Architecture also became involved in the permitting of the project. Beywatch is a minority owned development entity active with affordable housing projects throughout Philadelphia. We are also working with the PHDC and City Council on a project to provide 50+ affordable and workhouse infill buildings on several of the blocks surrounding this site. In May of 2023 we obtained Zoning Permit (ZP-2023-003061), which relied upon the mixed-income density bonus to both increase the unit count within the existing buildings to (17) units, and provide for a new building, which we call 4124 Parkside, with the additional (7) units allowed with the density bonus. At the time, the emphasis was on legalizing the 17th unit in the existing buildings, so we could update the Building Permit (CP-2023-

005423) and obtain a Certificate of Occupancy at 4126 and 4128, which was granted for (17) residential units in November of 2023.

Prior to the submission for Zoning Permit (ZP-2023-003061), we approached the Planning Commission to discuss the use of the mixed-income density bonus on a single site with phased building. We were reluctant to commit to the new building at 4124 when our real focus was the 17th unit in the existing building. The response from the Planning Commission was that the mixed-income bonus can only be used one time per site. Accordingly, we're now pursuing the messy process of designing a complicated building on a historic site, which is tied to an existing zoning permit. We are able to amend the existing zoning permit, which the limitations set forth by current regulations.

As currently designed, the new building at 4124 Parkside consists of (7) residential units. One unit, currently designated as Unit 101 on the 1st floor, is limited to 50% of AMI to comply with the mixed-income density bonus. We are limiting the full-depth cellar to the area of the building which is at least 10' removed from any existing buildings. The primary entry to the building is located in an internal courtyard between the existing building and 4124 Parkside, and we're open to amending the zoning plan to setback all of 4124 Parkside at least 3' from the existing building, providing a pass-through to the rear. The 3rd floor rear unit is a bilevel unit, which extends to the 4th floor, which is setback 26'-4" from the front of the building, providing for a walk-out roof deck above the 3rd story. We are also proposing a further roof deck above the 4th story accessed by pilot house structure and limited by code travel distance. The Owner intends to use this bilevel unit for his personal residence once construction is completed. The mixed-income density bonus also allows for an increase in building height to 45', which we are proposing for the partial 4th story, although we are unable to match the exiting structure height of roughly 60'.

Thank you for your review, and please reach out to request any additional information we can supply. This letter is a representation from both the Owner, Mr. Dawud Bey, and myself as architect of record.

Please respond with any questions or if further clarification is required.

Best,

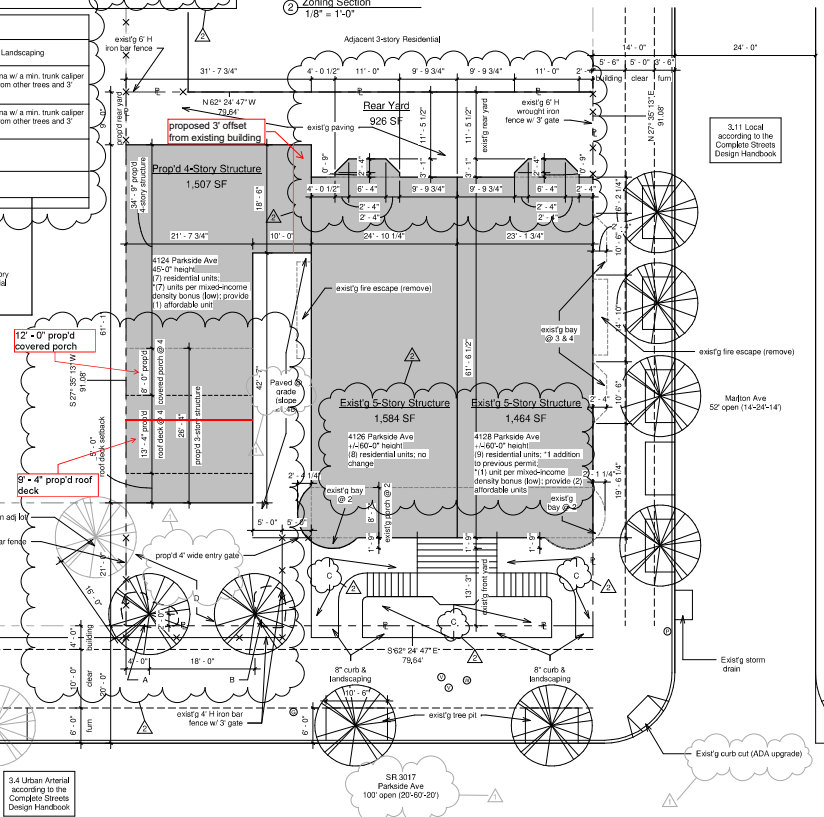
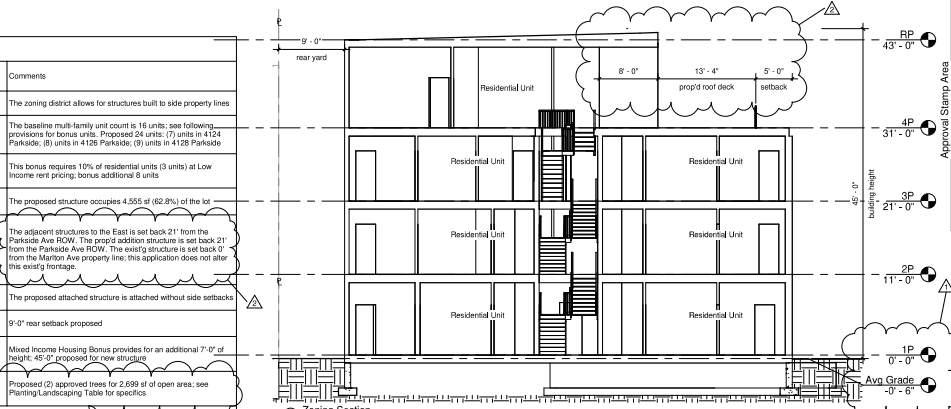
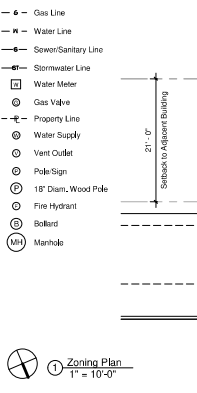


Lee Elsey, AIA
Living City Architecture

Category	Regulation	Philadelphia Zoning Code Reference	Comments
Building Type	Attached buildings permitted	14-602(3)	The zoning district allows for structures built to side property lines
Uses Allowed / Maximum Allowed Multifamily Unit Count	Multifamily residential is allowed	14-602(3)	The baseline multi-family unit count is 18 units; see following provisions for bonus units. Proposed 24 units: (7) units in 4124 Parkside, (8) units in 4126 Parkside, (9) units in 4128 Parkside
Mixed-Income Housing Density Bonus	Multifamily residential unit bonus for providing affordable housing/low	14-702(7)	This bonus requires 10% of residential units (3 units) w/ Low income rent pricing/bonus additional 8 units
Minimum Open Area / Maximum Occupied Area	Max. Occupied Area: 80%	14-701(2)	The proposed structure occupies 4,555 sf (62.8%) of the lot
Front Setback	Min. setback determined by Adjacent Structures	14-701(2)	The adjacent structures to the East is set back 21' from the Parkside Ave ROW. The prop'd addition structure is set back 0' from the Marlon Ave property line; this application does not alter this existing footage.
Side Setback	none required	14-701(2)	The proposed attached structure is attached without side setbacks
Rear Setback / Rear Yard Depth	Min. rear setback of 9'	14-701(2)	9'-0" rear setback proposed
Maximum Building Height	38'-45' w/ mixed income density bonus	14-701(2)	Mixed Income Housing Bonus provides for an additional 7'-0" of height; 45'-0" proposed for new structure
Landscape & Trees	Min. 1 tree (2.5 DBH) per 1,600 sf of open area	14-705(1)	Proposed (2) approved trees for 2,699 sf of open area; see Planting/Landscaping Table for specifics

Tag	Existing Planting/Landscaping	Prop'd Planting Landscaping
A	Existing cluster of (3) Arborvitae trees approx. 7', 8' & 11' tall; overcrowned; DBH of 1.5"-2"; & not on PCPC Recommended Planting List; to be removed	Prunus Virginiana w/ a min. trunk caliper of 2"; min. 12' from other trees and 3' from shrubs
B	Existing cluster of (2) Arborvitae trees approx. 7' & 12' tall; overcrowned; DBH of 1.5"-2"; & not on PCPC Recommended Planting List; to be removed	N/A
C	Existing row of 3' Variegated Boxwood Broadleaf Evergreen bushes; to be preserved & maintained	N/A
D	Existing grass; to be preserved & maintained w/ PA native mix of Fescues and Bluegrasses	N/A

Name	Area	%
Existing 5-Story Structure	1,584 SF	21.8%
Existing 5-Story Structure	1,464 SF	20.2%
Prop'd 4-Story Structure	1,507 SF	20.8%
Prop'd 5-Story Structure	4,555 SF	62.8%
Rear Yard	926 SF	12.8%
Yard	1,773 SF	24.4%
Open	2,699 SF	37.2%
Total Lot	7,253 SF	100.0%



Dial 8-1-1 or 1-800-542-1776 not less than 3 business days nor more than 10 business days prior to the start of excavation.
 Pennsylvania One Call System Serial Number 20230603708

Utility Plan for information only. Contractor to contact individual utility companies for latest data and information before digging. Call PA One Call before you dig in accordance with state and local laws and regulations.
 All Water, Sewage, and Storm service sizes and materials to be designed by a licensed Pennsylvania Engineer.



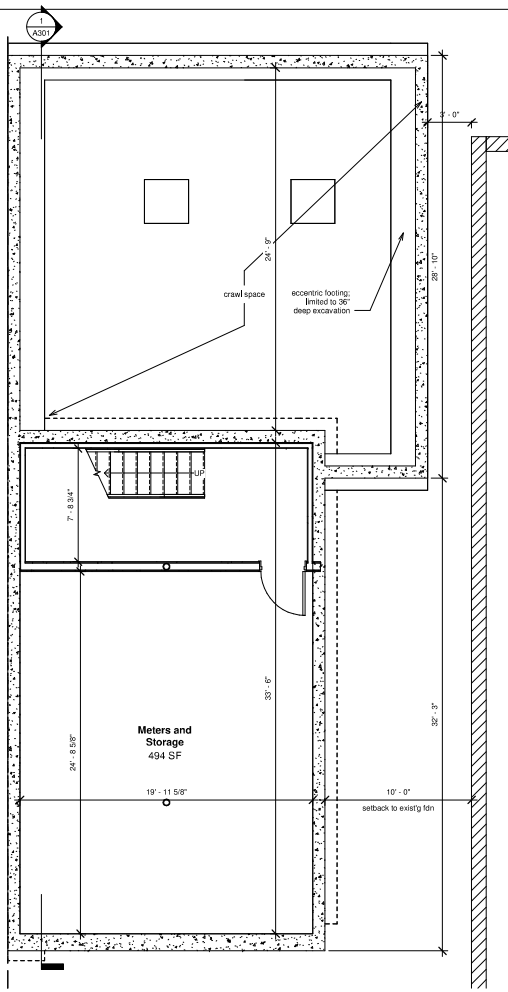
www.LivingCityArch.com
 The Services and the Architectural Drawings and any associated documents are the property of L.C. Architecture LLC. They are to be used for the project and site only. Any reuse or modification without the written consent of L.C. Architecture LLC is strictly prohibited. It is the responsibility of the client to ensure that the drawings are used in accordance with the intended purpose. L.C. Architecture LLC is not responsible for any errors or omissions in the drawings. The drawings are provided for informational purposes only. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The drawings are not to be used for any other purpose without the written consent of L.C. Architecture LLC. The drawings are the property of L.C. Architecture LLC and shall remain confidential. The client agrees to hold L.C. Architecture LLC harmless from and against all claims, damages, and expenses, including reasonable attorneys' fees, arising out of or from the use of the drawings, whether or not such claims, damages, and expenses are caused in whole or in part by the negligence of L.C. Architecture LLC. The drawings are not to be used for any other purpose without the written consent of L.C. Architecture LLC. The drawings are the property of L.C. Architecture LLC and shall remain confidential.

Beywatch Property Management LLC
 Renovation & Addition
 4126-28 Parkside Avenue
 Philadelphia, PA 19104

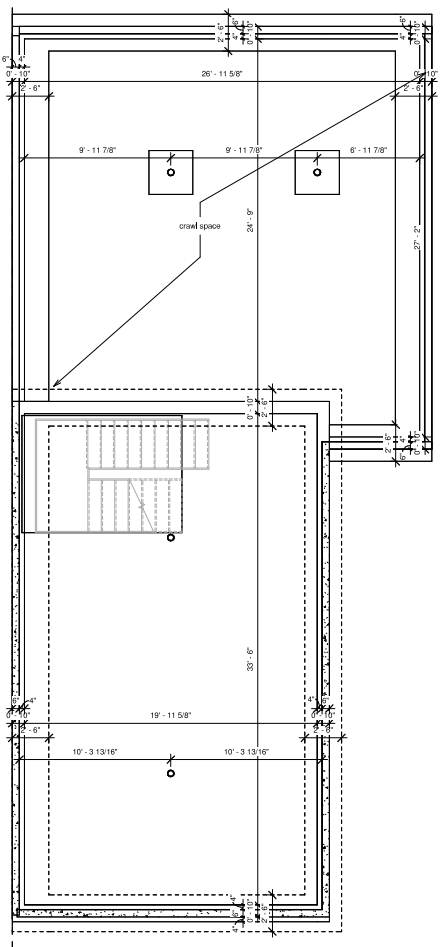
No.	Description	Date
1	Zoning Submission	3/21/2023
1	Sheets Rev	3/27/2023
2	Zoning Rev	4/21/2023

No.	Description	Date
1	Zoning Submission	3/21/2023
1	Sheets Rev	3/27/2023
2	Zoning Rev	4/21/2023

Zoning
 Project number 202212-02
 Date 4/21/2023
Z001
 Scale As indicated



1 Cellar Plan
1/4" = 1'-0"



2 Foundation Plan
1/4" = 1'-0"

Approval Stamp Area

General Notes - Floor Plans

1. The contractor shall not consider floor plan notes to be all inclusive. It is the contractor's responsibility to inspect and assess each area and to fill the intent of the work indicated by all the contract documents.
2. Architectural drawings must be read in conjunction with all other drawings for the project. All discrepancies between drawings must be brought to the attention of the architect prior to proceeding with the work.
3. All dimensions are to finish face of exterior wall on exterior or face of stud on interior unless noted otherwise.
4. Firestop and seal all penetrations to maintain scheduled fire resistance rating of assemblies.
5. Provide acoustical caulking to close gaps between service outlets (switches, receptacles, data, coax) and gypsum wallboard.
6. All interior walls are type G unless noted otherwise.
7. All apartment unit interior doors are set 4" from adjacent partition corner unless noted otherwise.
8. Provide and install blocking for millwork, cabinets, grab bars, handrails, racks, and mounted toilet accessories.



www.LivingCityArch.com
 The Services and the accompanying documents are provided as a guide only. They do not constitute a contract. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. The contractor shall be responsible for verifying the accuracy of all information provided. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. The contractor shall be responsible for verifying the accuracy of all information provided. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. The contractor shall be responsible for verifying the accuracy of all information provided.

Beywatch Property Management LLC
 Renovation & Addition
 4126-28 Parkside Avenue
 Philadelphia, PA 19104

Stamps
 Architect
 LC Architecture LLC
 Mr. Lee Ebbey, AIA
 501 W. Centre Center Dr
 Suite 400
 Fort Washington, PA
 19004
 t: 484.641.0057
 e: arch@lcc-cc.com

Civil Engineer	
Structural Engineer	
MEP Engineer	

No.	Description	Date
1	Historic Review	6/6/2024

Building Plans
 Project number 202212-02
 Date 6/6/2024
A100
 Scale 1/4" = 1'-0"

File Name:
The Services and the accompanying documents and any electronic files are the property of Living City Architecture, LLC. Any reproduction, distribution, or modification of these documents without the written consent of Living City Architecture, LLC is strictly prohibited. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

Beywatch Property Management LLC
Renovation & Addition
4126-28 Parkside Avenue
Philadelphia, PA 19104

Stamps

Architect
LC Architecture LLC
Mr. Leo Ebbay, AIA
500 W. Centre City Dr.
Suite 600
Fort Washington, PA 19004
t: 484.641.0657
e: arch@lcc-cc.com

Civil Engineer	
Structural Engineer	
MEP Engineer	

No.	Description	Date
3	Historic Review	6/6/2024

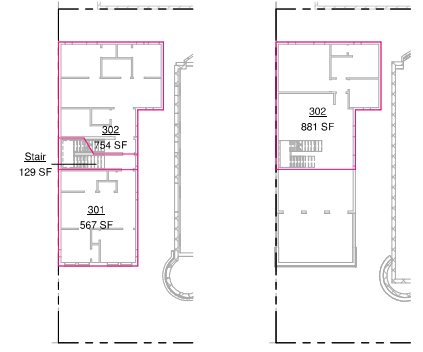
Building Plans
Project number: 202212-02
Date: 6/6/2024
Scale: As indicated

A102

Approval Stamp Area

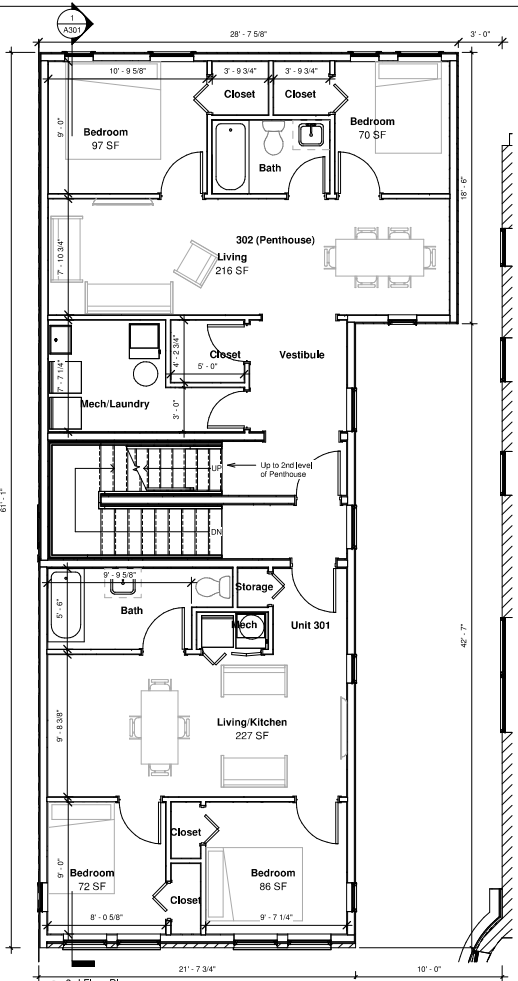
General Notes - Floor Plans

1. The contractor shall not consider floor plan notes to be all inclusive. It is the contractor's responsibility to inspect and assess each area and to fill the room of the work indicated by all the contract documents.
2. Architectural drawings must be read in conjunction with all other drawings for the project. All discrepancies between drawings must be brought to the attention of the architect prior to proceeding with the work.
3. All dimensions are to finish face of exterior wall on exterior or face of stud on interior unless noted otherwise.
4. Firestop and seal all penetrations to maintain scheduled fire resistance rating of assemblies.
5. Provide acoustical caulking to close gaps between service outlets (switches, receptacles, data, coax) and gypsum wallboard.
6. All interior walls are type G unless noted otherwise.
7. All apartment unit interior doors are set 4" from adjacent partition corner unless noted otherwise.
8. Provide and install blocking for millwork, cabinets, grab bars, handrails, racks, and mounted toilet accessories.

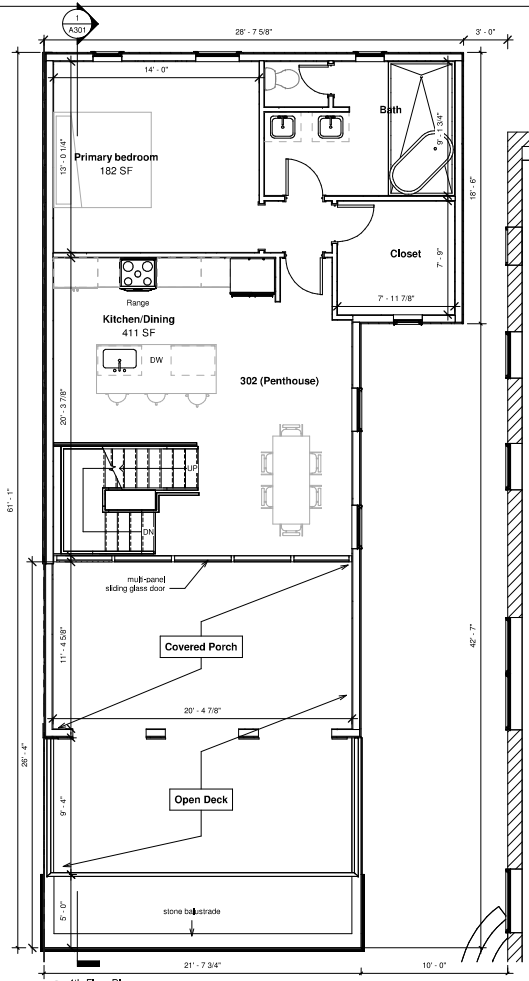


③ 3rd Floor Rentable Area Plan
1/16" = 1'-0"

④ 4th Floor Rentable Area Plan
1/16" = 1'-0"



③ 3rd Floor Plan
1/4" = 1'-0"



④ 4th Floor Plan
1/4" = 1'-0"

Door Schedule (Plan Sheet)

Type Mark	Count	Call Size	Door Type	Construction Type	Rough Dimensions Rough Width Rough Height	Frame Dimensions Width Height	Fire Rating
E1	6	3068	Ext Res Solid Door	Masonry	2'-2 1/4" 6'-8 3/4"	3'-0" 6'-8"	2
O1	1	3068	Int Res Opening	Wood Framing	3'-2 1/2" 8'-9 1/2"	3'-0" 8'-8"	
O2	3	3068	Int Res Opening	Wood Framing	5'-1 1/2" 8'-9 1/2"	5'-0" 8'-8"	
P	17	3068	Int Res Type B Route Door	Wood Framing	3'-0 1/2" 6'-9 1/2"	2'-10" 6'-8"	
P1	7	3068	Int Res Door (typ)	Wood Framing	2'-8 1/2" 6'-9 1/2"	2'-8" 6'-8"	
P5	1	3068	Int Res Door	Wood Framing	2'-4 1/2" 6'-9 1/2"	2'-4" 6'-8"	
P6	12	3068	Int Res BiFold Door	Wood Framing	2'-8 1/2" 6'-9 1/2"	2'-8" 6'-8"	
P10	4	3068	Int Res BiFold Door	Wood Framing	2'-4 1/2" 6'-9 1/2"	2'-2" 6'-8"	
P18	1	3068	Int Res Door	Wood Framing	2'-4 1/2" 6'-9 1/2"	2'-0" 6'-8"	
P29	1	3068	Ext Res Glazed Door	Wood Framing	2'-2 1/4" 6'-8 3/4"	3'-0" 6'-8"	
P34	1	3070	Gen Glazed Door	Wood Framing	3'-0 1/2" 7'-1 1/2"	2'-10" 7'-0"	
P54	1	3068	Int Res Opening	Wood Framing	2'-0 1/2" 6'-9 1/2"	2'-0" 6'-8"	
P55	4	3068	Int Res Sliding	Wood Framing	4'-0" 6'-8"	4'-0" 6'-8"	

Wall Schedule

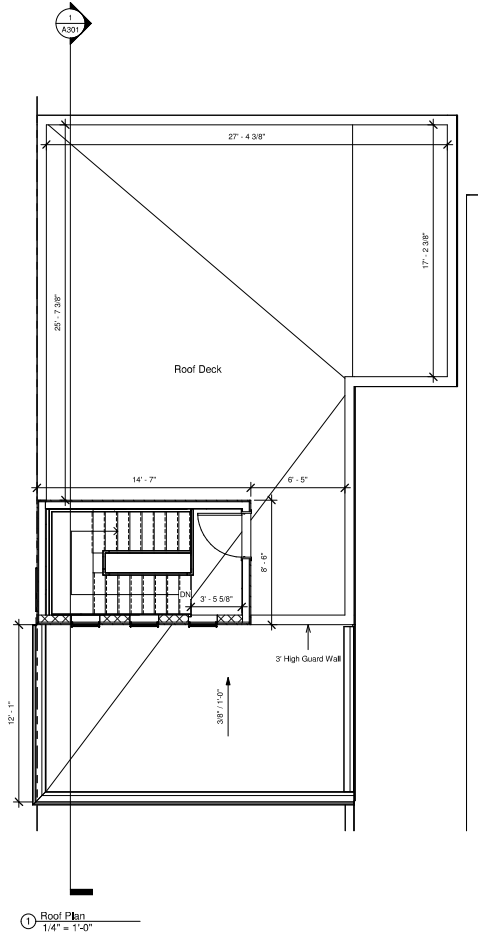
Type Mark	Description	Stud Width	Width	UL Assembly	Fire Rating	STC
ETB	Ext Rated Wall (both sides), Brick Veneer Finish		cvaries-			
ETV	Ext Rated Wall (both sides), Vinyl Finish		cvaries-			
ETW	Ext Rated Wall, Vinyl Finish		cvaries-			
FTD	Foundation 10" Concrete		cvaries-			
G	General Partition Wall	0" 4 1/2"				45 min.
G2	General Rated Partition Wall	0" 4 1/2"				
PTV	Ext Rated Partition (both sides), Vinyl Finish	0" 8 1/2"				
PTFC	Ext Rated Partition, Floor Cement Finish	0" 8"				

Glazing Schedule (Plan Sheet)

Type Mark	Count	Call Size	Window Type	Construction Type	Rough Dimensions Rough Width Rough Height	Frame Dimensions Sill Height Width Height Area	Egress	Unit #
74	7		Double Hung	Wood Framing	3'-0" 5'-0"	3'-0" 2'-11 1/2" 4'-11 1/2" 15 SF	Yes	4124
76	7		Double Hung	Wood Framing	2'-0" 5'-0"	3'-0" 1'-11 1/2" 4'-11 1/2" 10 SF	No	4124
82	12		Double Hung	Wood Framing	3'-0" 6'-0"	2'-0" 2'-11 1/2" 5'-11 1/2" 18 SF	Yes	4124

Area Schedule (Rentable)

Name	Area	Unit Bed Count	Unit Bath Count	Unit #	Affordability
Star Common	504 SF				
101	567 SF	2	1	1	50%
102	402 SF	1	1	1	
103	368 SF	1	1	1	
201	567 SF	2	1	1	
202	567 SF	2	1	1	
301	567 SF	2	1	1	
302	1,536 SF	3	2	2	
Rentable	4,803 SF				
Grand total	5,307 SF				



1 Roof Plan
1/4" = 1'-0"

Approval Stamp Area



www.LivingCityArch.com
 Disclaim: The drawings and all accompanying documents are the architect's design and are not to be construed as a contract. The contractor shall be responsible for obtaining all necessary permits and for the accuracy of all dimensions, materials, and workmanship. The architect shall not be responsible for the accuracy of any information provided by the contractor. The architect shall not be responsible for the accuracy of any information provided by the contractor. The architect shall not be responsible for the accuracy of any information provided by the contractor. The architect shall not be responsible for the accuracy of any information provided by the contractor.

Beywatch Property Management LLC
 Renovation & Addition

4126-28 Parkside Avenue
 Philadelphia, PA 19104

Stamps

Architect LC Architecture LLC Mr. Lee Esbey, AIA 500 W. Centre Center Dr Suite 600 Fort Washington, PA 19004 t: 484.641.0057 e: arch@lcc-cc.com	
Civil Engineer	
Structural Engineer	
MEP Engineer	

General Notes - Floor Plans

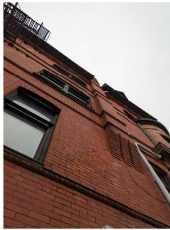
- The contractor shall not consider floor plan notes to be all inclusive. It is the contractor's responsibility to inspect and assess each area and to fill the intent of the work indicated by all the contract documents.
- Architectural drawings must be read in conjunction with all other drawings for the project. All discrepancies between drawings must be brought to the attention of the architect prior to proceeding with the work.
- All dimensions are to finish face of exterior wall on exterior or face of stud on interior unless noted otherwise.
- Firestop and seal all penetrations to maintain scheduled fire resistance rating of assemblies.
- Provide acoustical caulking to close gaps between service outlets (switches, receptacles, data, coax) and gypsum wallboard.
- All interior walls are type G unless noted otherwise.
- All apartment unit interior doors are set 4" from adjacent partition corner unless noted otherwise.
- Provide and install blocking for millwork, cabinets, grab bars, handrails, racks, and mounted toilet accessories.

No.	Description	Date
1	Historic Review	6/6/2024

Building Plans	
Project number	202212-02
Date	6/6/2024
A103	
Scale	1/4" = 1'-0"



Existing Buildings at 4126-28 Parkside Ave



Brick & Window Materials



Stucco Base Materials

Approval Stamp Area



www.LivingCityArch.com

Disclaimer:
 The Services and the accompanying documents are provided solely for the use of the Client and are not intended to be used by any other party. The Client shall be responsible for obtaining all necessary permits and approvals from the appropriate governmental agencies. The Architect shall not be responsible for any delays or cost overruns due to the Client's failure to obtain the necessary permits and approvals. The Architect shall not be responsible for any damage to the property or any other loss resulting from the use of the Services. The Architect shall not be responsible for any environmental or safety issues. The Architect shall not be responsible for any other matters that may arise from the use of the Services. The Architect shall not be responsible for any other matters that may arise from the use of the Services.

Beywatch Property Management LLC
Renovation & Addition

4126-28 Parkside Avenue
 Philadelphia, PA 19104

Stamps

Architect LC Architecture LLC Mr. Leo Esbey, AIA 500 W. Citicore Center Dr Suite 600 Fort Washington, PA 19074 t: 484.641.0057 e: arch@lccoc.com	Civil Engineer
Structural Engineer	MEP Engineer

No.	Description	Date
1	Historic Review	6/6/2024

Building Elevations

Project number	202212-02
Date	6/6/2024
A201	
Scale	1/4" = 1'-0"



① Front Elevation (South Parkside Ave)
 1/4" = 1'-0"

6/26/2024 3:16:52 AM

Beywatch Property Management LLC
Renovation & Addition

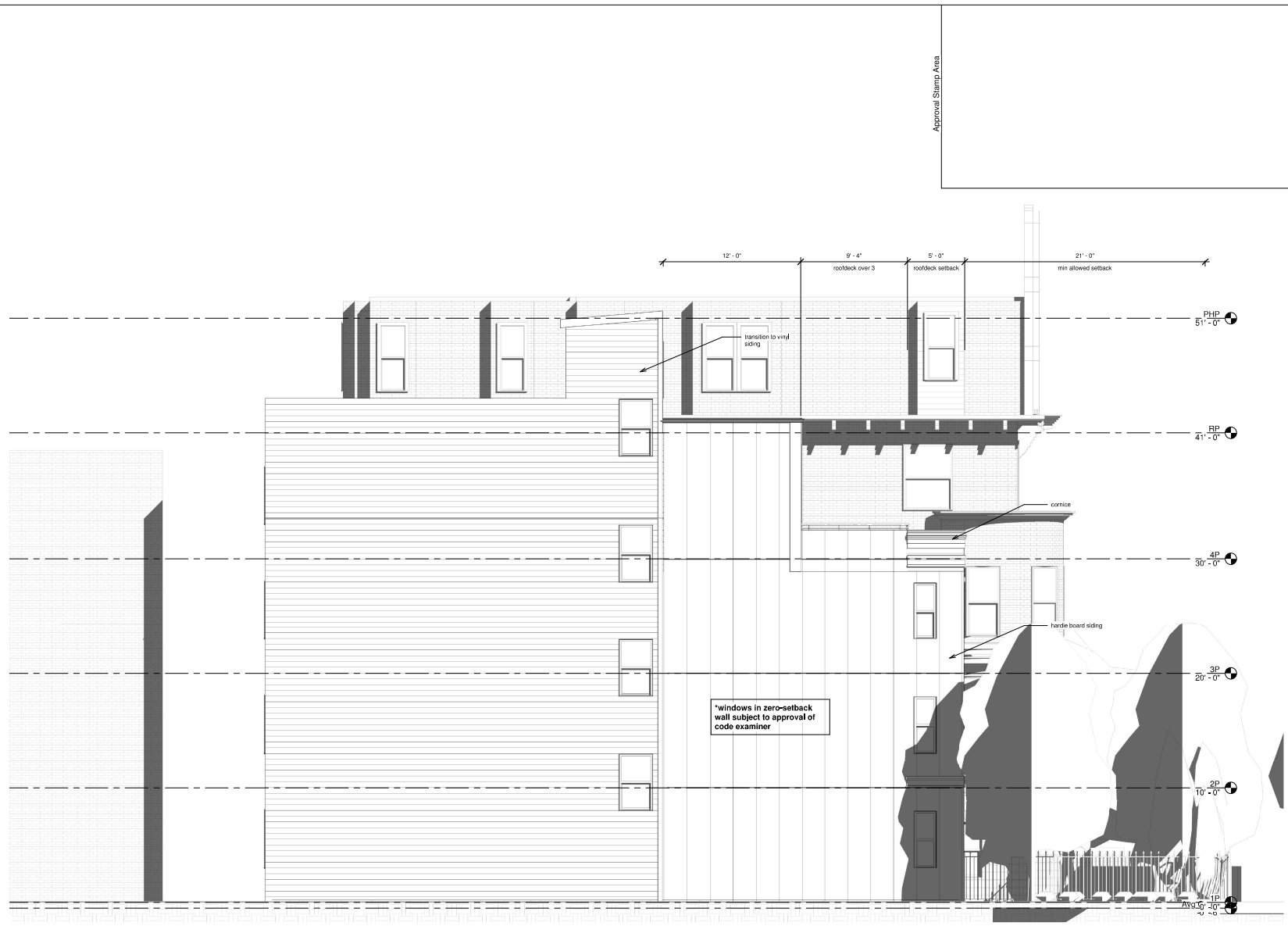
4126-28 Parkside Avenue
Philadelphia, PA 19104

Stamps		
Architect	Living City Architecture, LLC Mr. Leo Esbey, AIA 501 W. Citicore Center Dr Suite 600 Fort Washington, PA 19024 t: 484.641.0057 e: arch@lcc-cc.com	Date
Civil Engineer		Date
Structural Engineer		Date
MEP Engineer		Date

No.	Description	Date
1	Historic Review	6/6/2024

Building Elevations
Project number: 202212-02
Date: 6/6/2024

A203
Scale: 1/4" = 1'-0"



Left Elevation (West)
1/4" = 1'-0"













