

March 1, 2024

Jordan World of Flight
Updated Narrative and Delta A – Revision log

To: Philadelphia Historical Commission
1515 Arch St.
13th Floor
Philadelphia, PA 19102

Re: Nike Jordan World of Flight
1617 Walnut St.
Philadelphia, PA 19103
permit# CP-2024-000151

To the Historical Commission:

The design concept for Jordan's World of Flight Philadelphia is inspired by the intersection of Philadelphia Historical Architecture and Jordan Brand.

The aim is to maintain the original character of the façade with slight updates to the design details, as well as upgrades around functionality. The design references the historical through the details, such as the central entrance arch. The portal, which is one of the design elements of World of Flight, has been modified to complement the existing architectural language and highlights the proportions of the original arched form.

The 2nd level exterior windows and window framing will be updated to have the security in locking hardware and safety to Nike/Jordan requirements. Additionally, the existing doors and frames are in a state of disrepair with gaps and openings that are not weather tight. The updated windows are to have wood framing and mullion pattern maintained as per original design to maintain the overall look and feel. We are looking to re-purpose and utilize the old 2nd floor windows and framing for some interior details and art/sculpture creations to expand the story of the historical aspects of the building.

The illuminated Jumpman signage has been removed from the windows and replaced with a non-illuminated Jumpman on the pediment. Additionally, the blade signage and the plaque signage have been removed to draw focus towards the other branding elements.

In addition, the interiors reference the architectural style of the exterior through details such as the column details, the use of venetian plaster, and the wall paneling. This is to ensure that the design language of the exterior and interior are cohesive throughout.

We feel that through these improvements and changes, Philadelphia's World of Flight will deliver a timeless, thoughtfully designed store that can contribute to the neighborhood and character of the streetscape. The clean design language paired with the materiality and details used throughout achieves a look/feel that will convey a sense of history and permanence.

The following is the Revision Summary for Delta 'A' which explains changes based on Architectural Committee comments.

Sheet A-002

1. Design Strategy Narrative was added to the sheet.

Sheet A-003

1. Updated renderings showing signage revisions, security gate color, and revised scope at second floor windows.

Sheet A-100

2. Removed flag sign at façade and modified keynote #6.

Sheet A-200

1. Replaced keynote #18 with keynote #5 for existing doors and transom windows to be replaced with new fixed windows.
2. Removed "Jumpman" sign at Second floor center window.
3. Added "Jumpman" sign at building pediment and revised keynote.
4. Added Led strip light at top of façade and main entrance with keynote #18.
5. Removed flag sign and associated keynotes and dimensions.
6. Removed Stainless Steel plate with brand information and associated keynotes and dimensions.
7. Removed flag sign details.

Sheet A-210

1. Clarified Illuminated "Jumpman" sign at exterior side wall of entrance portal shown in plan and new detail 6 elevation, added keynote #10 for sign.
2. Added stainless steel base at exterior side of entrance portal.
3. Revised section for extents of panel above opening at main entrance.
4. Revised text note for "Jumpman" sign above entrance from illuminated to non-illuminated.
5. Added detail 6 for portal side wall "Jumpman" illuminated sign.

Sheet A-211

1. Replaced detail #6 with Riot glass fixing detail at storefront window.

Please let me know if you have any questions.

Thank you,
Michael Kouvaris / MBH Architects
Phone: (510) 814-3507
michaelk@mbharch.com



JORDAN WORLD OF FLIGHT

Philadelphia



NIKE INC.
ONE BOWERMAN DRIVE
BEAVERTON, OR 97005



960 Atlantic Ave
Alameda, CA 94501
Tel 510 865 8663
Fax 510 865 1611

MBH PROJECT: 56407

BUILDING TENANT
NIKE INC.
ONE BOWERMAN DRIVE
NORTH AMERICAN RETAIL-MM-1
BEAVERTON, OR 97005
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STRUCTURAL
RLG INC.
12001 N. CENTRAL EXPRESSWAY
SUITE 300
DALLAS, TX 75243
CONTACT: COURTNEY OVERTON
TEL: (214) 739-8100
EMAIL: COVERTON@RLGINC.COM

THIS PROJECT CONSISTS OF BUT IS NOT LIMITED TO FACADE ALTERATIONS OF THE BUILDING LOCATED AT 1617 WALNUT STREET.

ALL NEW WORK SHALL BE INSTALLED PER LOCAL BUILDING CODES DEFINED WITHIN DOCUMENTATION AND WITH ADHERENCE TO THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.

THE RECONFIGURATION OF THE SPACE WILL NOT CAUSE A CHANGE TO THE OCCUPANCY TYPE. ACCESSIBILITY REQUIREMENTS WILL BE IN COMPLIANCE WITH ALL LOCAL CODES.

THIS PROJECT WILL BE SUBMITTED FOR LEED CERTIFICATION UPON COMPLETION OF CONSTRUCTION AND APPLICABLE COMMISSIONING BY JORDAN CONSTRUCTION PROJECT MANAGER.

NUMBER	NAME
ARCHITECTURAL	
A-001	TITLE SHEET
A-002	HISTORICAL INFORMATION
A-003	PROPOSED RENDERINGS
A-100	FLOOR PLAN AND DEMOLITION PLAN - FIRST FLOOR
A-101	FLOOR PLAN - SECOND FLOOR AND SECOND FLOOR MEZZANINE
A-150	ROOF PLAN
A-200	EXTERIOR ELEVATIONS
A-201	REAR EXTERIOR ELEVATION
A-210	ENLARGED PLANS & SECTIONS - ENTRANCE PORTAL
A-211	FACADE DETAILS
STRUCTURAL	
S0.1	GENERAL NOTES AND SPECIAL INSPECTIONS
S1.0	STRUCTURAL PLANS

REV NO	DESCRIPTION	DATE
	EXTERIOR PERMIT SET	01-05-2024
A	EXTERIOR REVISIONS 1	03-01-2024

SCOPE OF WORK

GENERAL CONTRACTOR SHALL COORDINATE ALL DRAWINGS, SPECIFICATIONS AND CALCULATIONS FOR SEPARATE SUBMITTALS AS IN ACCORDANCE WITH THE LOCAL JURISDICTION. GC SHALL SUBMIT SEPARATE SUBMITTALS FOR REVIEW BY THE ARCHITECT FOR CONFORMANCE WITH THE DESIGN INTENT. THE ARCHITECT WILL RETURN COPIES OF THE DOCUMENT TO THE GENERAL CONTRACTOR FOR SUBMITTAL. THE GENERAL CONTRACTOR SHALL SUBMIT ALL SEPARATE SUBMITTALS TO THE APPROPRIATE MUNICIPAL AGENCIES FOR REVIEW AND APPROVAL. THE GENERAL CONTRACTOR SHALL ACQUIRE THE SEPARATE PERMITS AS REQUIRED WITHOUT DELAY TO CONSTRUCTION.

- INTERIOR TENANT IMPROVEMENT
- SIGNAGE

NOTE:
• COMPLETE PLANS, SPECIFICATION, MATERIAL DATA AND/OR CALCULATIONS FOR THE SEPARATE SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER BUT NOT LESS THAN 30 BUSINESS DAYS PRIOR TO INSTALLATION FOR CITY REVIEW AND APPROVAL.
• THE REGISTERED AND RESPONSIBLE DESIGN PROFESSIONAL SHALL REVIEW THE SEPARATE SUBMITTAL DOCUMENTS AND SUBMIT THEM TO THE BUILDING OFFICIAL WITH ANNOTATION INDICATING THAT THE SEPARATE SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING.
• THE SEPARATE SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

PROJECT DIRECTORY

PROJECT DATA:
NAME OF PROJECT: JORDAN WORLD OF FLIGHT
ADDRESS: 1617 WALNUT STREET
PHILADELPHIA, PA 19103
BUILDING DATA:
CONSTRUCTION TYPE: VB
SPRINKLERS: YES
NOTE: REVISIONS TO THE CURRENT SPRINKLER SYSTEM ARE UNDER SEPARATE PERMIT TO BE SUBMITTED BY SPRINKLER CONTRACTOR.
BUILDING OCCUPANCY TYPE:
OCCUPANCY CLASSIFICATIONS: M - MERCANTILE
SQUARE FOOTAGE: 5,980 SF

APPLICABLE CODES:
CODE ENFORCEMENT JURISDICTION:
CITY: PHILADELPHIA
BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE
PLUMBING CODE: 2018 INTERNATIONAL PLUMBING CODE
MECHANICAL CODE: 2018 INTERNATIONAL MECHANICAL CODE
ELECTRICAL CODE: 2017 NATIONAL ELECTRICAL CODE
FIRE SAFETY CODE: 2018 INTERNATIONAL FIRE CODE
ACCESSIBILITY CODE: 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
ENERGY CODE: 2018 INTERNATIONAL ENERGY CONSERVATION CODE

SEPARATE SUBMITTALS

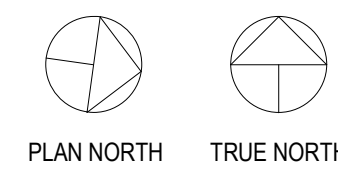
ABV	ABOVE	LAV	LAVATORY
AFF	ABOVE FINISHED FLOOR	LB	LOAD
A.C.T.	ACOUSTICAL CEILING TILE	LD	LANDLORD
A.D.A.	AMERICANS WITH DISABILITIES ACT	LT	LIGHT
ARCH	ARCHITECT(URAL)	LOD	LEASE OUTLINE DRAWING
BLDG	BUILDING	MAX	MAXIMUM
BD	BOARD	MFD	MANUFACTURED
BLKG	BLOCKING	MFR	MANUFACTURER
B.O.	BOTTOM OF	MECH	MECHANICAL
B.O.H.	BACK OF HOUSE	MIN	MINIMUM
CPT	CARPET	MISC	MISCELLANEOUS
CLG	CEILING	MTD	MOUNTED
CLR	CLEAR	MTL	METAL
CONC	CONCRETE	N.I.C.	NOT IN CONTRACT
CONSR	CONSTRUCTION	NO	NUMBER
CONT	CONTINUOUS / CONTINUATION	N.T.S.	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	N	NEW
CPM	CONSTRUCTION PROJECT MANAGER	NO	NUMBER
DEPT	DEPARTMENT	O.V.	OVER
DET	DETAIL	O.C.	ON CENTER
DIA	DIAMETER	O.F.C.I.	OWNER FURNISHED
DIFF	DIFFUSER	CONTRACTOR INSTALLED	
DIM	DIMENSION	OH	OPPOSITE HAND
DISP	DISPENSER	O.T.S.	OPEN TO STRUCTURE
DIV	DIVISION	OVHD	OVERHEAD
DN	DOWN	PNL	PANEL
DR	DOOR	PREFAB	PREFABRICATED
DISCON	DISCONNECT	PL	PLASTIC LAMINATE
EA	EACH	PM	PROJECT MANAGER
ELEC	ELECTRICAL	REF	REFERENCE
EMBED	EMBEDDED / EMBEDMENT	REFR	REFRIGERATOR / REFRIGERATED
ENG	ENGINEER(ED)	REQD	REQUIRED
EQ	EQUAL	REINF	REINFORCE / REINFORCED
EQUIP	EQUIPMENT	RH	ROOM
EXP JT	EXPANSION JOINT	R.O.	ROUGH OPENING
EXT	EXTERIOR	S.F	SQUARE FEET
EX	EXISTING	SHORG	HORING
FB	FABRICATION	SM	SIMILAR
FD	FLOOR DRAIN	STL	STEEL
FE	FIRE EXTINGUISHER	ST STL	STAINLESS STEEL
FEAC	FIRE EXTINGUISHER & CABINET	STRUCT	STRUCTURE
F.F.	FINISH FLOOR	SUF	SURFACE
FHC	FIRE HOSE CABINET	SUSP	SUSPENDED
FRT	FIRE RETARDANT TREATED	SYS	SYSTEM(S)
F.O.	FRONT OF	T.B.D.	TO BE DETERMINED
FURN	FURNITURE	TEMP	TEMPORARY
GA	GAUGE	THK	THICK
GFRP	GLASS FIBER REINFORCED	TRTD	TREATED
GL	GLASS	TSTAT	THERMOSTAT
GYP	GYPSUM	TYP	TYPICAL UNDERLAY UNDERLAYMENT
GWB	GYPSUM WALL BOARD	UTL	UTILITY
HD	HEAD	U.N.C.	UNLESS NOTED OTHERWISE
H.M.	HOLLOW METAL	V.C.T.	VINYL COMPOSITE TILE
HORIZ	HORIZONTAL	VERT	VERTICAL
HVAC	HEATING, VENTILATION, & AIR CONDITIONING	V.I.F.	VERIFY IN FIELD
HT	HEIGHT	W	WITH
INFO	INFORMATION	W.C.	WOOD
INSUL	INSULATION	WIND	WINDOW
INT	INTERIOR	WO	WITHOUT
JAN	JANITOR	WP	WATERPROOFING
JDI	JUST DO IT		

CODE INFORMATION

- DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN.
- ARCHITECTURAL DRAWINGS TAKE PRECEDENCE OVER OTHER DRAWINGS FOR LAYOUT DIMENSIONS AND NUMBER OF ITEMS PROVIDED. UPON DISCOVERY OF DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS AND ENGINEERING DRAWINGS, OWNER'S REPRESENTATIVE SHALL BE IMMEDIATELY NOTIFIED IN WRITING.
- THE CONTRACT DOCUMENTS ARE COMPLIMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
- VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK.
- DURING ALL PHASES OF WORK DO NOT DISTURB THE DELIVERIES AND FUNCTIONS OF ADJACENT AND NEIGHBORING TENANTS.
- ALL CONTRACTORS, SUBCONTRACTORS, VENDORS AND MATERIAL SUPPLIERS SHALL BE RESPONSIBLE FOR REVIEWING THE COMPLETE SET OF DOCUMENTS AS SHOWN IN THE SHEET INDEX. FAILURE TO REVIEW ALL CONSTRUCTION DOCUMENTS WILL NOT RELIEVE ANY CONTRACTORS, SUBCONTRACTORS, VENDORS OR MATERIAL SUPPLIERS FROM PERFORMING WORK OR PROVIDING MATERIALS REQUIRED FOR THE COMPLETION OF THIS PROJECT AS DEFINED WITHIN THE DOCUMENTS AT TIME OF BID.
- THE CONTRACTOR IS RESPONSIBLE FOR THE SCHEDULING AND COORDINATION OF CONSTRUCTION PHASES WITH ALL TRADES, VENDORS AND SUBCONTRACTORS.

- WORK FROM ALL DISCIPLINES SHALL BE COORDINATED AS A WHOLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING AND RESOLVING ANY CONFLICTS WITHOUT IMPACT TO THE PROJECT COST OR SCHEDULE.
- ALL WORK SHALL BE IN ACCORDANCE WITH ALL GOVERNING CODES, REGULATIONS AND THE AMERICANS WITH DISABILITIES ACT.
- UPON SUBSTANTIAL COMPLETION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR OWNER'S REPRESENTATIVE AND ARCHITECT WHO WILL COMPILER A PUNCH LIST OF CORRECTIONS, REVISIONS AND WORK TO BE PERFORMED AS REQUIRED FOR THE FINAL COMPLETION OF THE PROJECT.

NOTE TO G.C. & VENDORS:
FOR ADDITIONAL LANDLORD INFORMATION, EXISTING AS-BUILT DRAWINGS, AND SITE PHOTOS, PLEASE REFERENCE THIS PROJECT'S FOLDER ON PLANGRID.



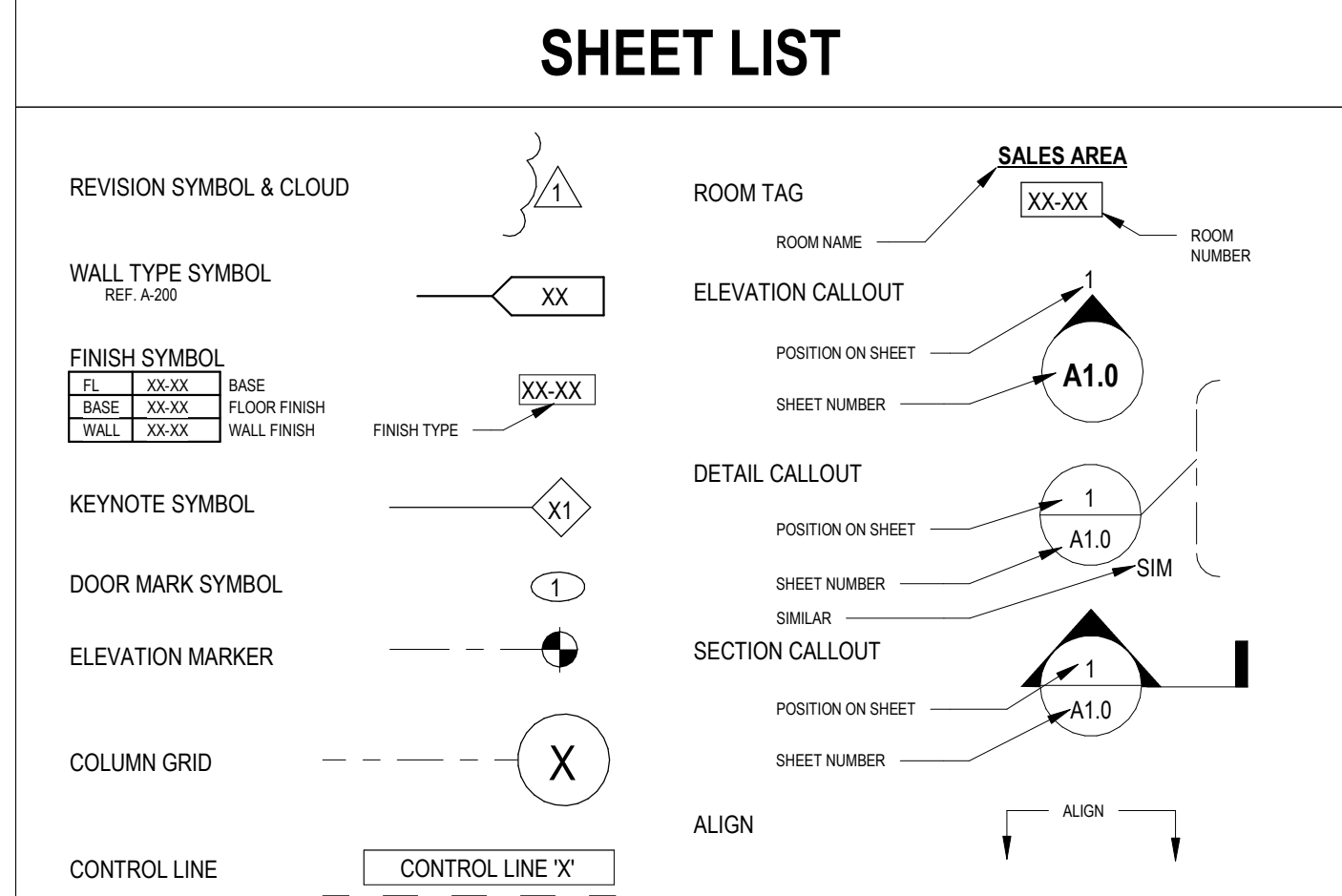
AREA MAP



GENERAL NOTES

ABBREVIATIONS

SYMBOLS LEGEND



1617 WALNUT STREET
1617 WALNUT STREET
PHILADELPHIA, PA 19103

Project Number
Drawn By MV
Checked By GK/MK

TITLE SHEET

A-001



NIKE INC.
ONE BOWERMAN DRIVE
BEAVERTON, OR 97005



960 Atlantic Ave
Alameda, CA 94501
Tel 510 865 8663
Fax 510 865 1611

MBH PROJECT: 56407

REV NO	DESCRIPTION	DATE
	EXTERIOR PERMIT SET	01-05-2024
A	EXTERIOR REVISIONS 1	03-01-2024

DESIGN STRATEGY NARRATIVE

The design concept for Jordan's World of Flight Philadelphia is inspired by the intersection of Philadelphia Historical Architecture and Jordan Brand.

The aim is to maintain the original character of the façade with slight updates to the design details, as well as upgrades around functionality. The design references the historical through the details, such as the central entrance arch. The portal, which is one of the design elements of World of Flight, has been modified to complement the existing architectural language and highlights the proportions of the original arched form.

The 2nd level exterior windows and window framing will be updated to have the security in locking hardware and safety to Nike/Jordan requirements. Additionally, the existing doors and frames are in a state of disrepair with gaps and openings that are not weather tight. The updated windows are to have wood framing and mullion pattern maintained as per original design to maintain the overall look and feel.

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We feel that through these improvements and changes, Philadelphia's World of Flight will deliver a timeless, thoughtful designed stores that can contribute to the neighborhood and character of the streetscape. The clean design language paired with the materiality and details used throughout achieves a look/feel that will convey a sense of history and permanence.

ABOUT THE SITE SOUTH ELEVATION

The Walnut Street façade is clad largely in limestone with carved elements at each of the two elongated stories. The three-bay façade sits atop a modest black granite base. Substantial paneled pilasters extend the full height of the building at the east and west ends. At the ground story, the limestone appears to be coated in a textured paint or light stucco.

Two large display windows flank a central doorway, and each opening contains a spandrel panel with a round-arched transom above. Fluted pilasters with Ionic capitals separate the three openings. The ground story is topped by a projecting cornice with a carved Vitruvian scroll pattern.

The height and fenestration pattern of the ground story is replicated at the second story, though with more decoration. Three identical openings contain pairs of French doors that open onto Juliette balconies with decorative iron railings. Pairs of casement windows add height above the doors. Like the ground story, the second-story openings contain the same round-arched transoms. Fluted pilasters with Ionic capitals again separate the openings. At the second story, however, roundels with patera have been added between the arches of the transoms.

A dentilated pediment, which functions as a parapet, caps the façade. Decorative urns stand on acroteria above the party walls at either end. Below, the corners of the architrave contain carved floral elements.

The façade communicates a sense of grandeur and presence through its design and verticality, despite its much taller neighbors to the east and west.

SITE HISTORY – HISTORIC CLASS D

Building is designated a Historic class D

D designation: "Embodies distinguishing characteristics of an architectural style"

Requires Historic review before permit submissions

No alterations to existing storefront/facade that does not meet the D designation

Signage flags may be allowed with review

Signage may be located within the interior behind glass

May be able to get alteration variance if we propose design that meets the spirit of the D designation

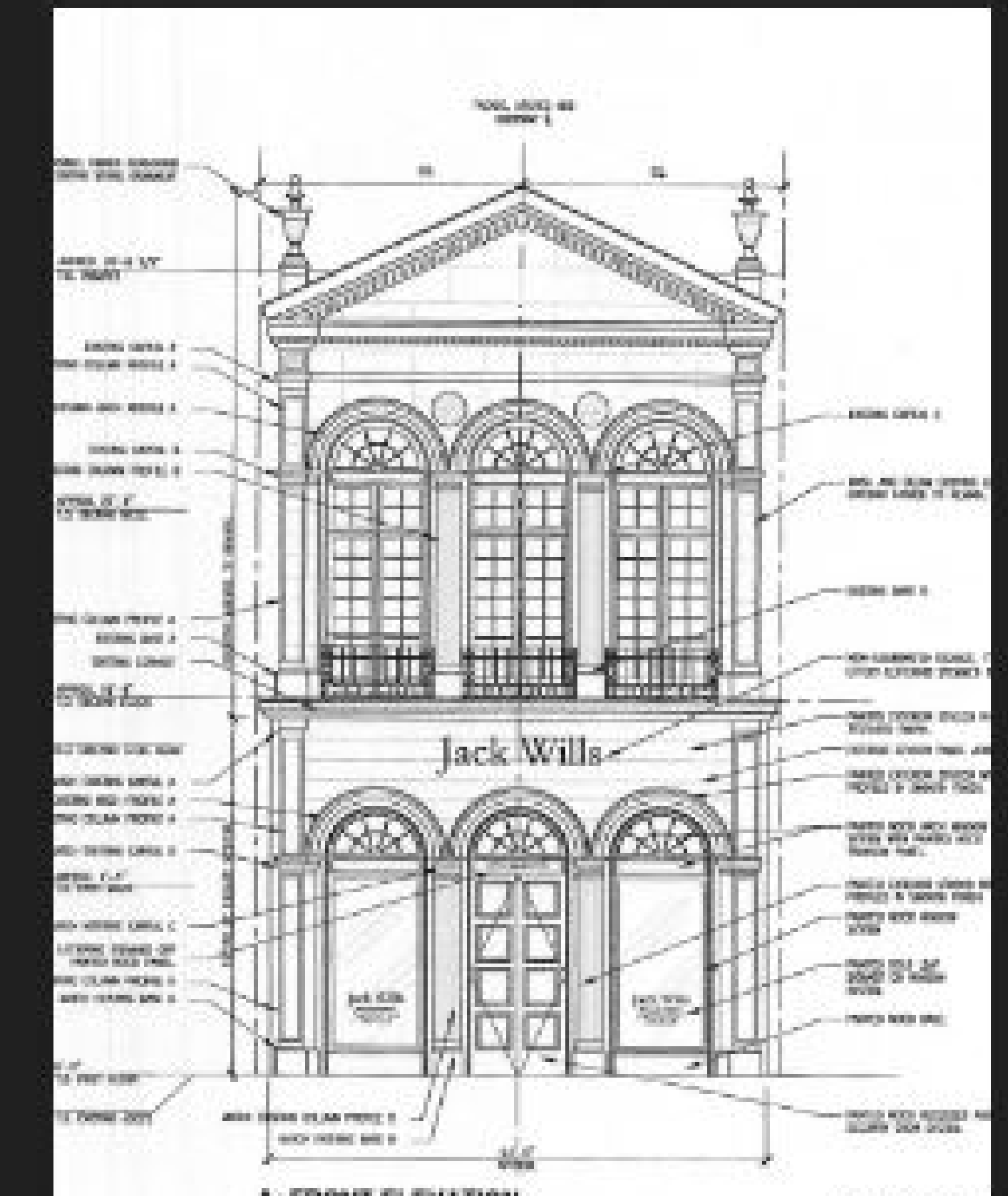
ORIGINAL FACADE



PREVIOUS TENANT FACADE RENOVATION



PREVIOUS TENANT FACADE RENOVATION 2009



1617 WALNUT STREET

1617 WALNUT STREET
PHILADELPHIA, PA 19103

Project Number

Drawn By

SY

Checked By

GK/MK

HISTORICAL INFORMATION

A-002



NIKE INC.
ONE BOWERMAN DRIVE
BEAVERTON, OR 97005



960 Atlantic Ave
Alameda, CA 94501
Tel 510 865 8663
Fax 510 865 1611

MBH PROJECT: 56407

REV NO	DESCRIPTION	DATE
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A	EXTERIOR REVISIONS 1	03-01-2024



PROPOSED FRONT ELEVATION RENDERING
SEE SHEET A-200 FOR MORE INFORMATION



PROPOSED FRONT ELEVATION RENDERING
SEE SHEET A-200 FOR MORE INFORMATION



PROPOSED FRONT ELEVATION RENDERING
SEE SHEET A-200 FOR MORE INFORMATION



PROPOSED FRONT ELEVATION RENDERING
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PROPOSED FRONT ELEVATION RENDERING
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PROPOSED FRONT ELEVATION RENDERING
SEE SHEET A-200 FOR MORE INFORMATION



EXISTING FRONT ELEVATION

1617 WALNUT STREET

1617 WALNUT STREET
PHILADELPHIA, PA 19103

Project Number

Drawn By SY

Checked By GK/MK

PROPOSED RENDERINGS

A-003

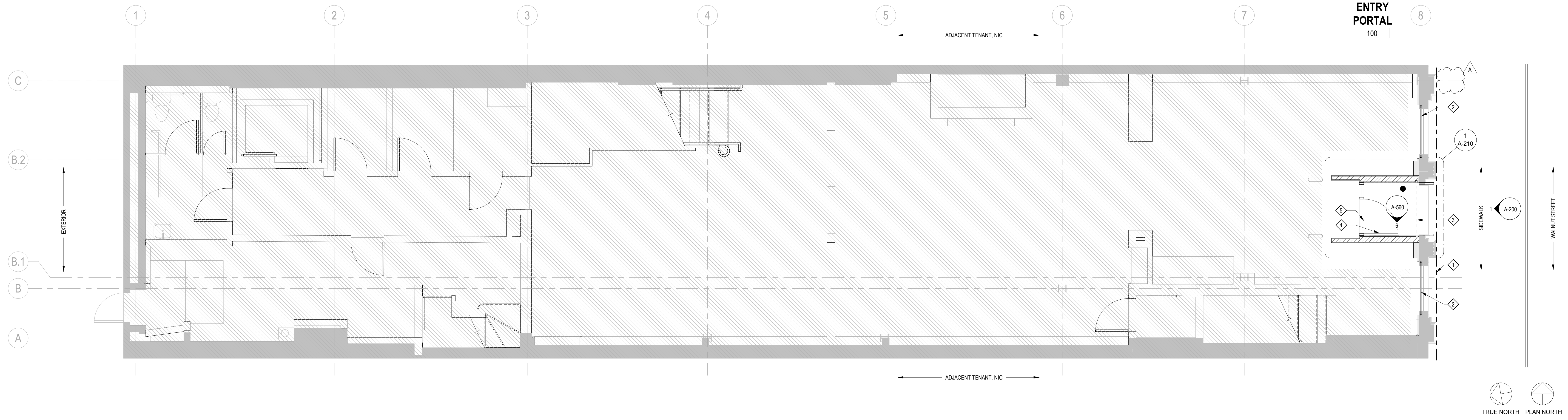


NIKE INC.
ONE BOWERMAN DRIVE
BEAVERTON, OR 97005



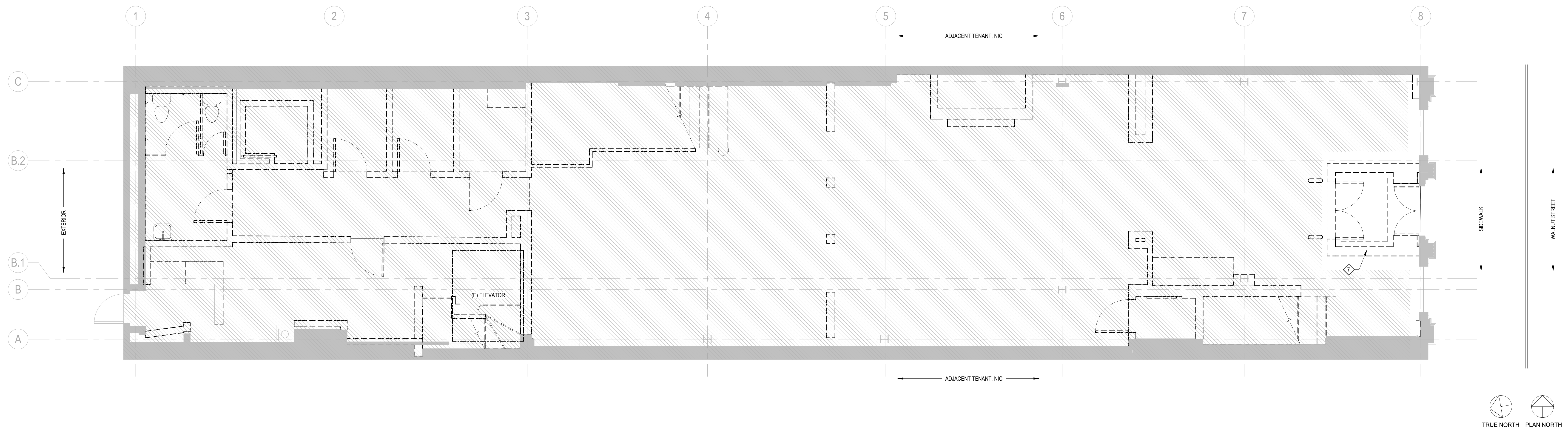
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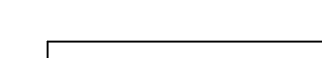

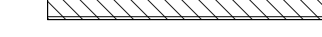
CONSTRUCTION PLAN - FIRST FLOOR








SCALE
1/4" = 1'-0" **2**



DEMOLITION PLAN - FIRST FLOOR

SCALE
1/4" = 1'-0" **1**

-  - HATCHED AREA INDICATES AREA OF BUILDING NOT IN SCOPE
-  - EXISTING PARTITION WALL
-  - EXISTING WALL
-  - NEW PARTITION WALL

-  PROPERTY LINE.
-  (E) WINDOW FRAME AND GLASS TO REMAIN. NEW CLEAR "RIOT" GLASS TO BE INSTALLED ON INTERIOR SIDE OF (E) GLASS WITHIN EXISTING FRAME.
-  NEW ROLL-DOWN SECURITY DOOR FOR USE WHEN STORE IS CLOSED. SEE ELEVATIONS FOR MORE INFORMATION.
-  NEW ENTRY DOOR AND SIDE GLASS
-  5'X 5' ADA DOOR CLEARANCE.
-  NOT USED
-  (E) VESTIBULE AND DOORS TO BE DEMOLISHED

LEGEND

KEYNOTES

1617 WALNUT STREET

1617 WALNUT STREET
PHILADELPHIA, PA 19103

Project Number

Drawn By MV

Checked By GK/MK

FLOOR PLAN AND
DEMOLITION PLAN -
FIRST FLOOR

A-100

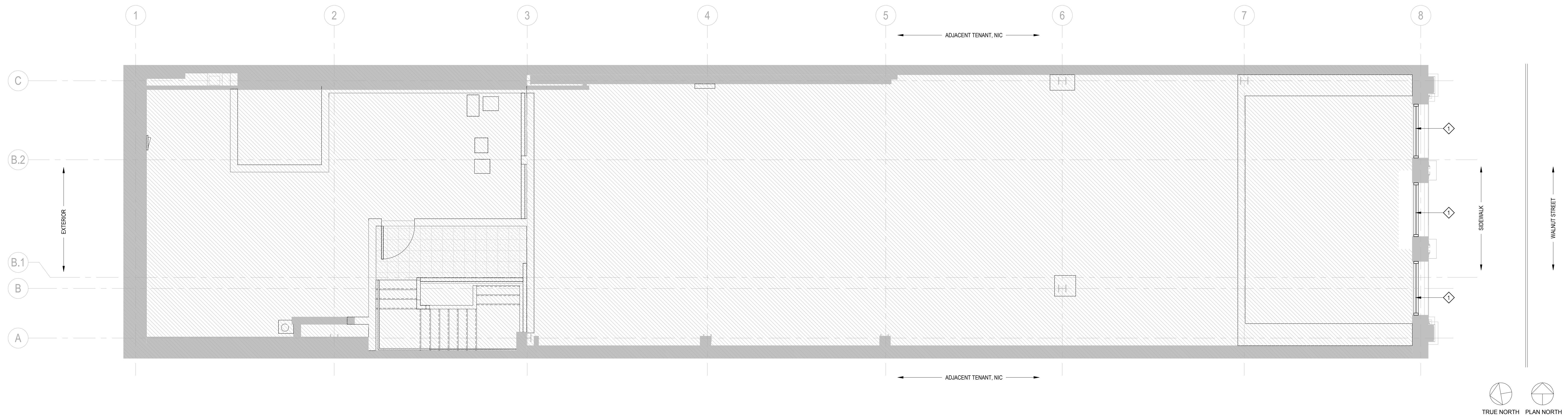


NIKE INC.
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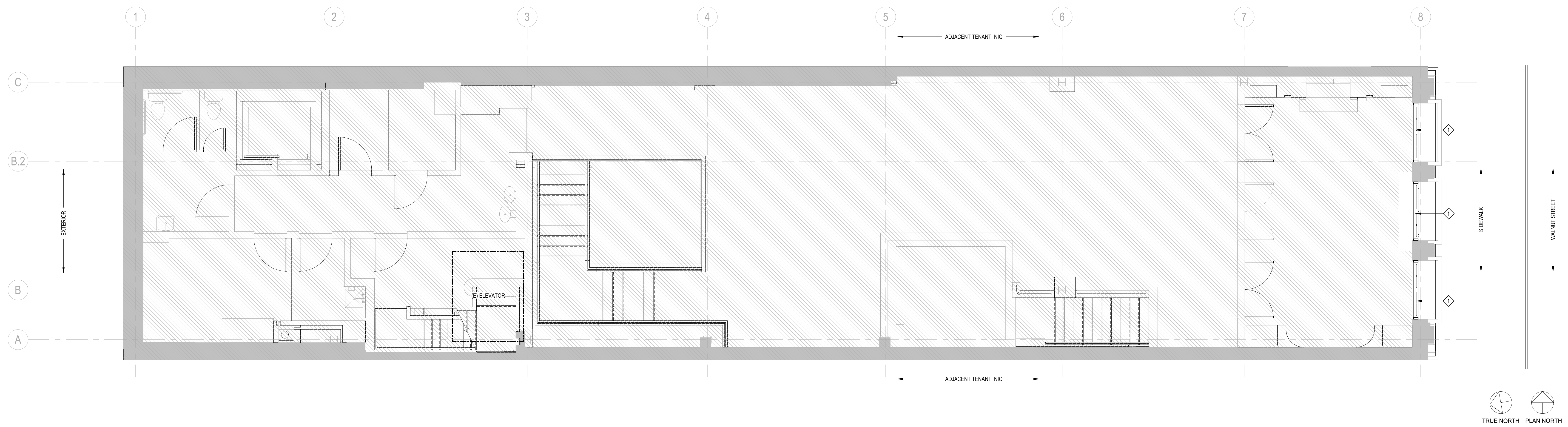
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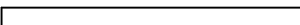


FLOOR PLAN - SECOND FLOOR MEZZANINE


SCALE
1/4" = 1'-0" **2**



FLOOR PLAN - SECOND FLOOR

SCALE
1/4" = 1'-0" **1**

-  - HATCHED AREA INDICATES AREA OF BUILDING NOT IN SCOPE
-  - EXISTING PARTITION WALL
-  - EXISTING WALL
-  - NEW PARTITION WALL

 NEW WINDOW IN EXISTING OPENING. SEE EXTERIOR ELEVATIONS FOR WINDOW CONFIGURATION.

LEGEND

KEYNOTES

REV NO	DESCRIPTION	DATE
	EXTERIOR PERMIT SET	01-05-2024

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PHILADELPHIA, PA 19103

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FLOOR PLAN - SECOND FLOOR AND SECOND FLOOR MEZZANINE

A-101

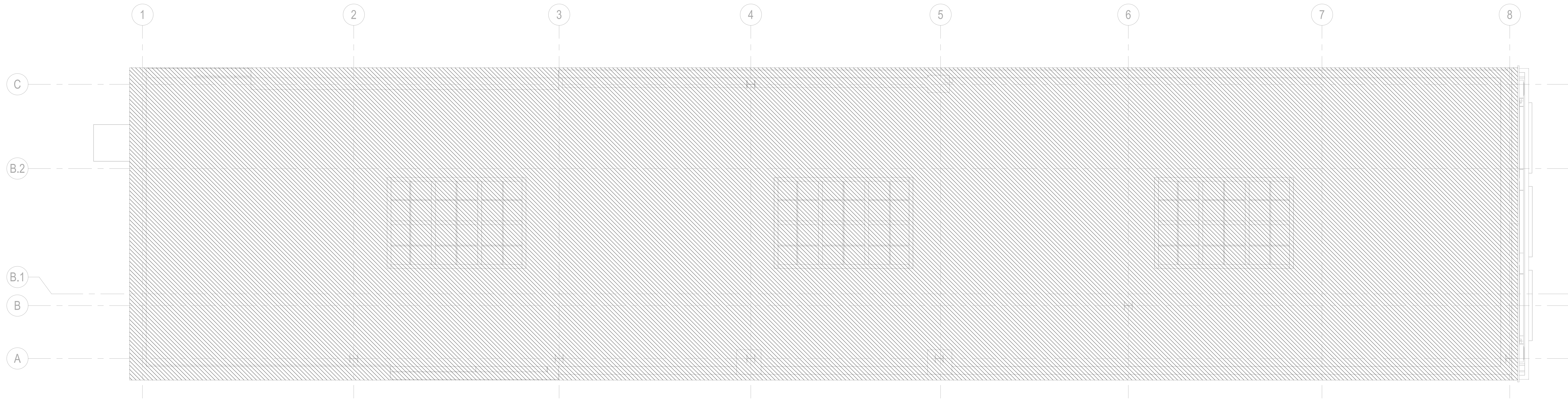


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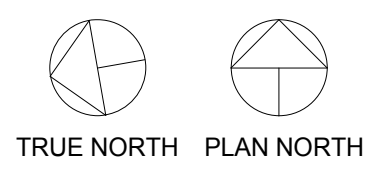


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MBH PROJECT: 56407


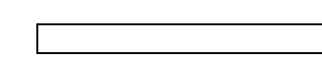

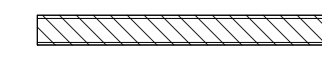


REV NO	DESCRIPTION	DATE
	EXTERIOR PERMIT SET	01-05-2024



SCALE
1/4" = 1'-0" 1

ROOF PLAN - FOR REFERENCE ONLY

-  - HATCHED AREA INDICATES AREA OF BUILDING NOT IN SCOPE
-  - EXISTING PARTITION WALL
-  - EXISTING WALL
-  - NEW PARTITION WALL

LEGEND

KEYNOTES

1617 WALNUT STREET

1617 WALNUT STREET
PHILADELPHIA, PA 19103

Project Number

Drawn By MV

Checked By GK/MK

ROOF PLAN

A-150



NIKE INC.
ONE BOWERMAN DRIVE
BEAVERTON, OR 97005



960 Atlantic Ave
Alameda, CA 94501
Tel 510 865 8663
Fax 510 865 1611

MBH PROJECT: 56407

REV NO	DESCRIPTION	DATE
	EXTERIOR PERMIT SET	01-05-2024
A	EXTERIOR REVISIONS 1	03-01-2024

1617 WALNUT STREET

1617 WALNUT STREET
PHILADELPHIA, PA 19103

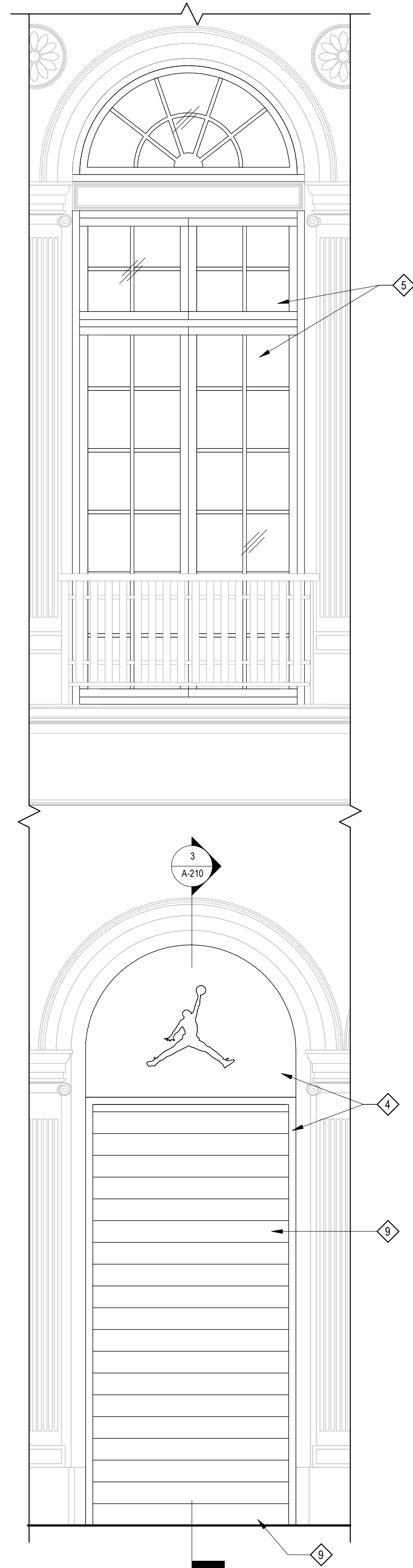
EXTERIOR ELEVATIONS

A-200

Project Number

Drawn By MV

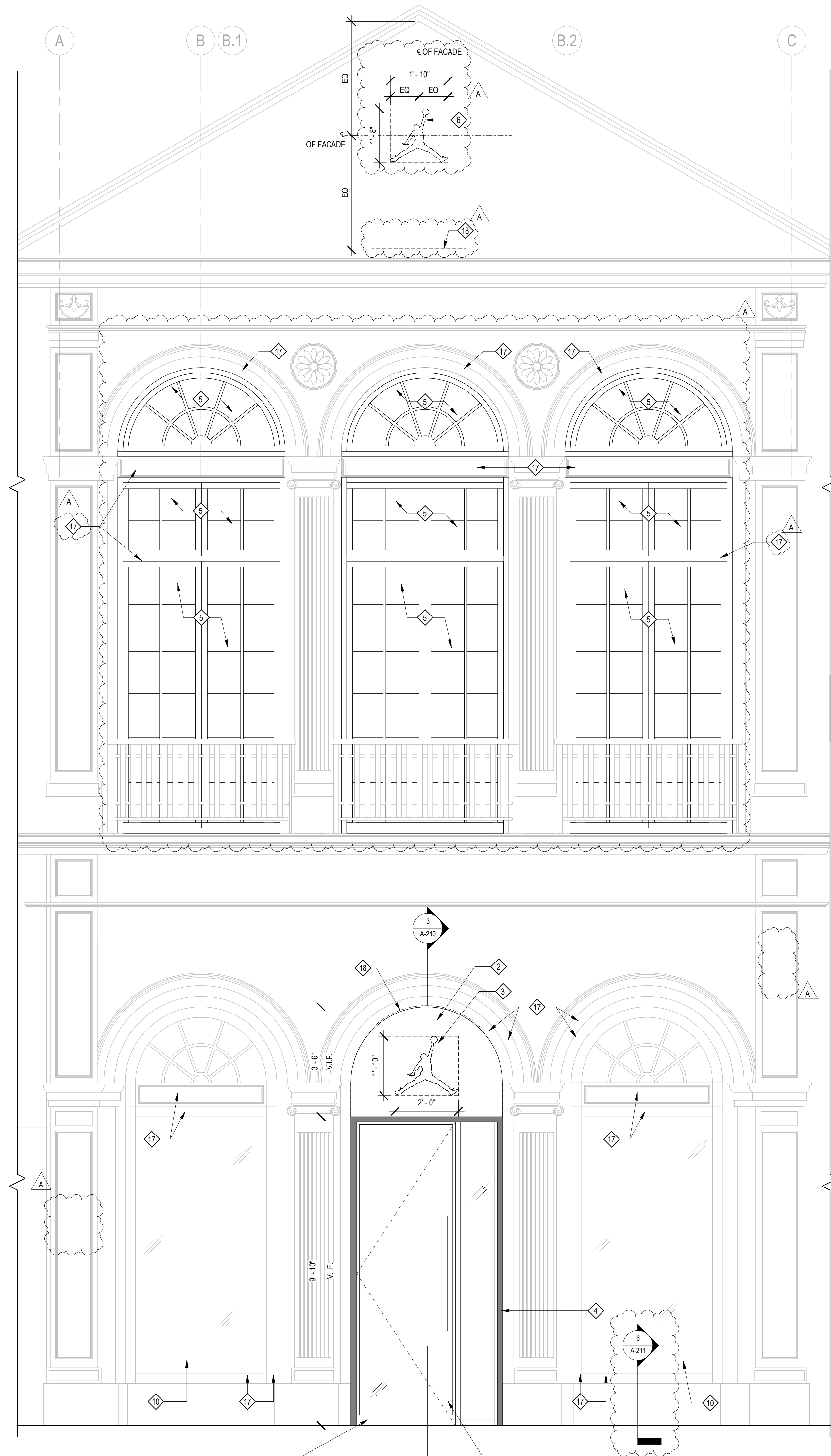
Checked By GK/MK



ENTRY ELEV. WITH SECURITY DOOR CLOSED

SCALE
1/2" = 1'-0"

3

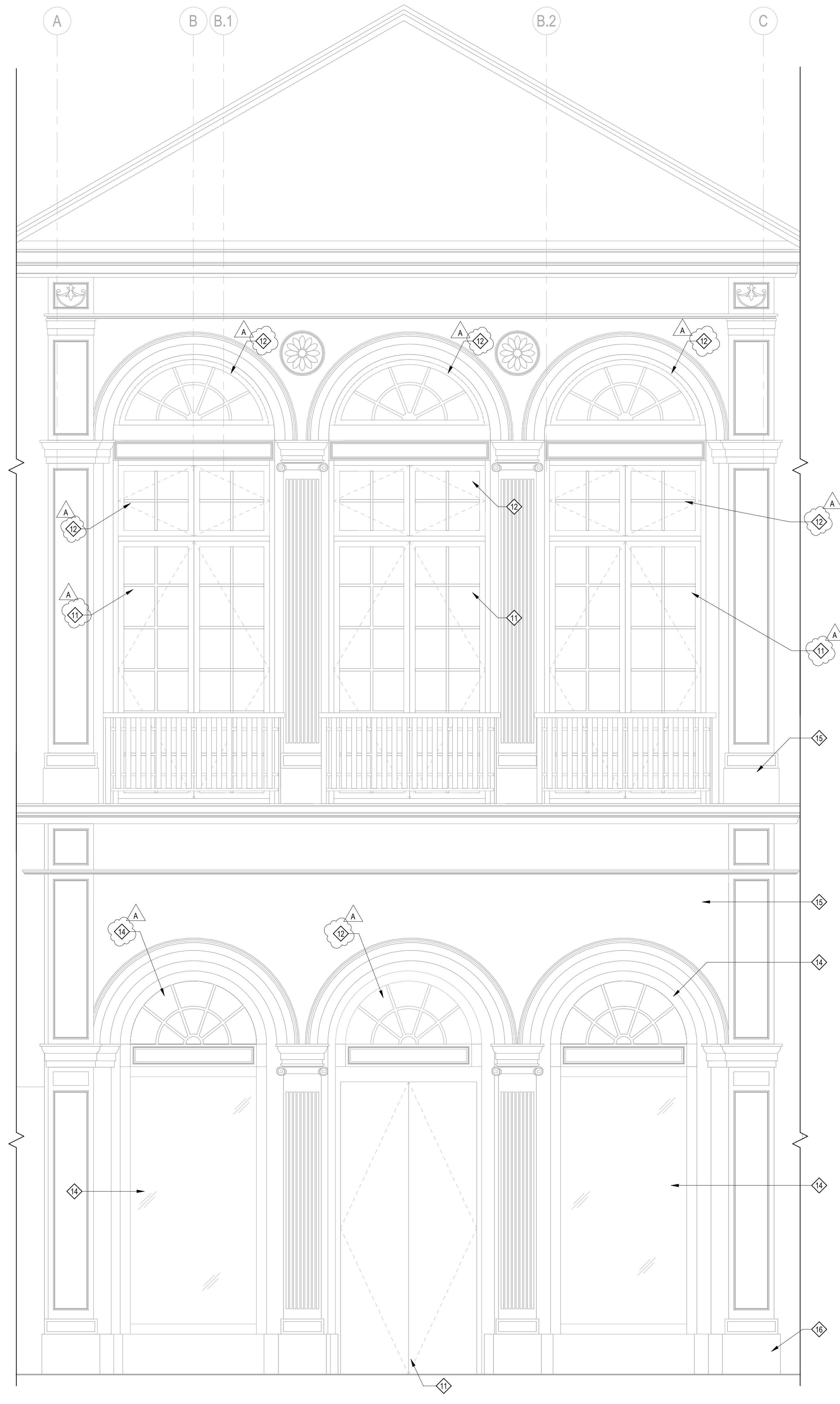


ROLL DOWN SECURITY GRILL IN OPEN POSITION
WOULD NOT BE VISIBLE DURING BUSINESS HOURS

PROPOSED EXTERIOR FRONT ELEVATION

SCALE
1/2" = 1'-0"

2



EXISTING EXTERIOR FRONT ELEVATION

SCALE
1/2" = 1'-0"

1



- 1 NEW GLASS ENTRY DOOR AND WINDOW RECESSED FROM FACADE PLANE. SEE PLAN.
- 2 TRANSOM WINDOW TO BE COVERED WITH STAINLESS STEEL PANEL.
- 3 NEW NON-ILLUMINATED "JUMPMAN" SIGN.
- 4 NEW STAINLESS STEEL "PORTAL" FRAME IN EXISTING OPENING, PROTRUDING TO ALIGN WITH FACE OF PILASTERS.
- 5 NEW NON-OPERABLE WOOD WINDOW IN EXISTING OPENING. MULLION PATTERN AND COLOR TO MATCH EXISTING.
- 6 NEW NON-ILLUMINATED "JUMPMAN" SIGN.
- 7 NOT USED.
- 8 NOT USED.
- 9 NEW ROLL-DOWN SECURITY DOOR IN BLACK FINISH. DESIGNED TO NOT BE VISIBLE DURING BUSINESS HOURS.
- 10 EXISTING GLASS TO REMAIN. INSTALL CLEAR "PRIO" GLASS TO INSIDE OF WINDOW FRAME.

- 11 (E) DOORS TO BE REMOVED.
- 12 (E) WINDOW TO BE REMOVED.
- 13 NOT USED.
- 14 (E) WINDOWS TO REMAIN.
- 15 (E) STUCCO FINISH TO REMAIN.
- 16 (E) GRANITE BASE TO REMAIN.
- 17 (E) BLACK TRIM TO REMAIN. PATCH AND REPAIR AS NEEDED.
- 18 NEW HIDDEN STRIP LIGHT.

KEYNOTES



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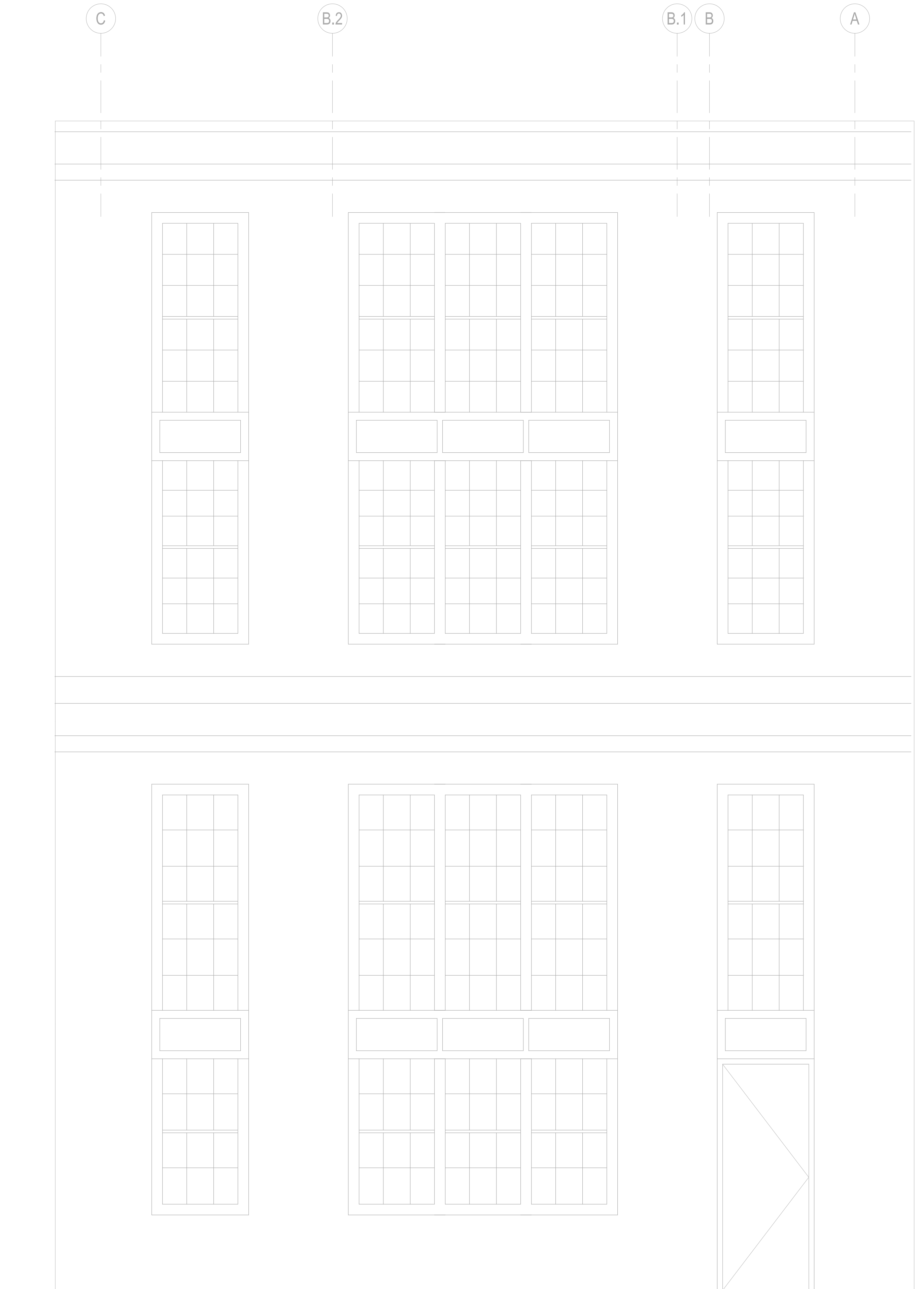
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Checked By GK/MK

REAR EXTERIOR
ELEVATION

A-201



NO SCOPE AT REAR ELEVATION

EXTERIOR REAR ELEVATION - FOR REFERENCE ONLY

SCALE
1/2" = 1'-0"

1



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Project Number

Drawn By

MV

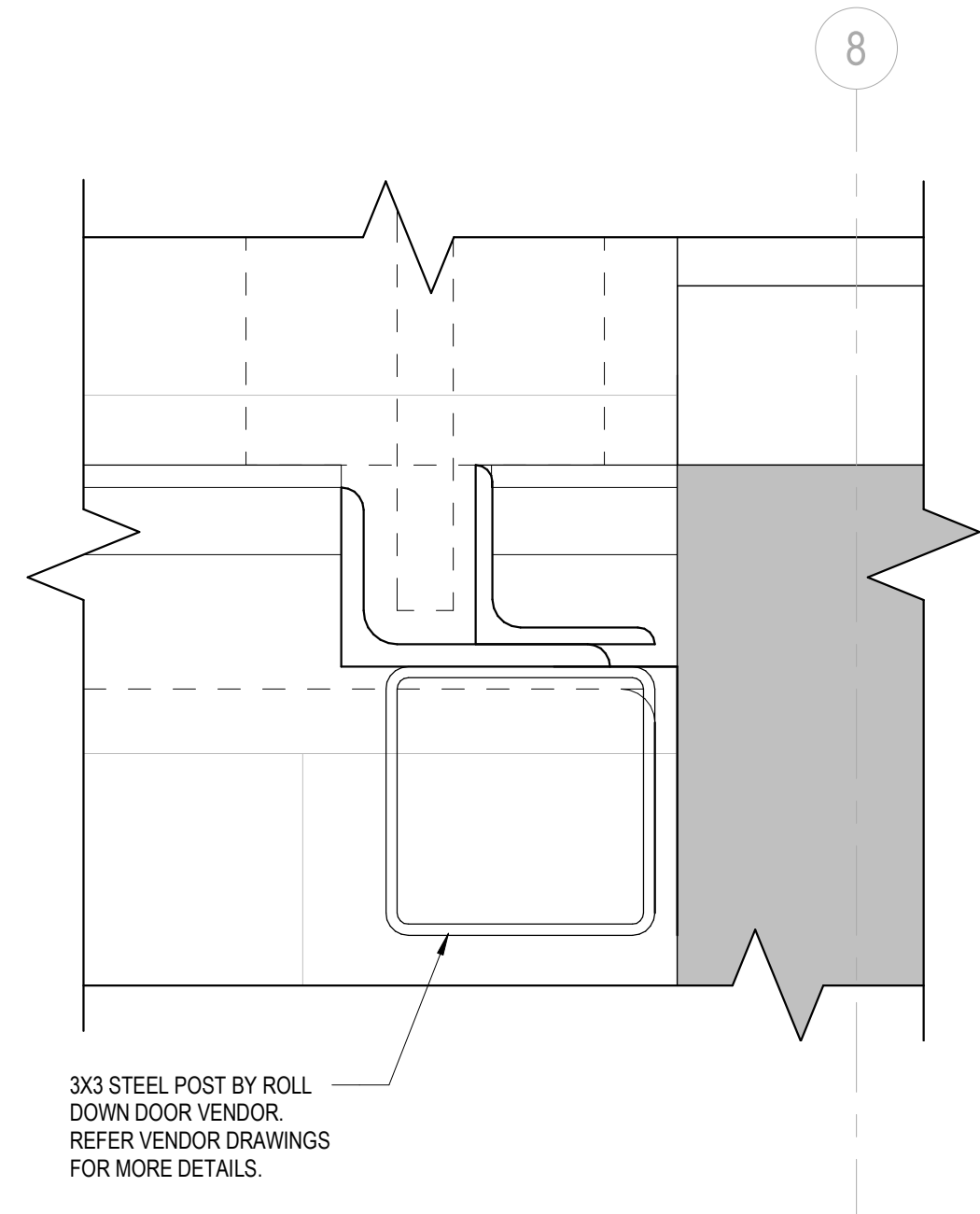
Checked By

GK/MK

ENLARGED PLANS &
SECTIONS - ENTRANCE
PORTAL

A-210

3/1/2024 3:33:53 PM

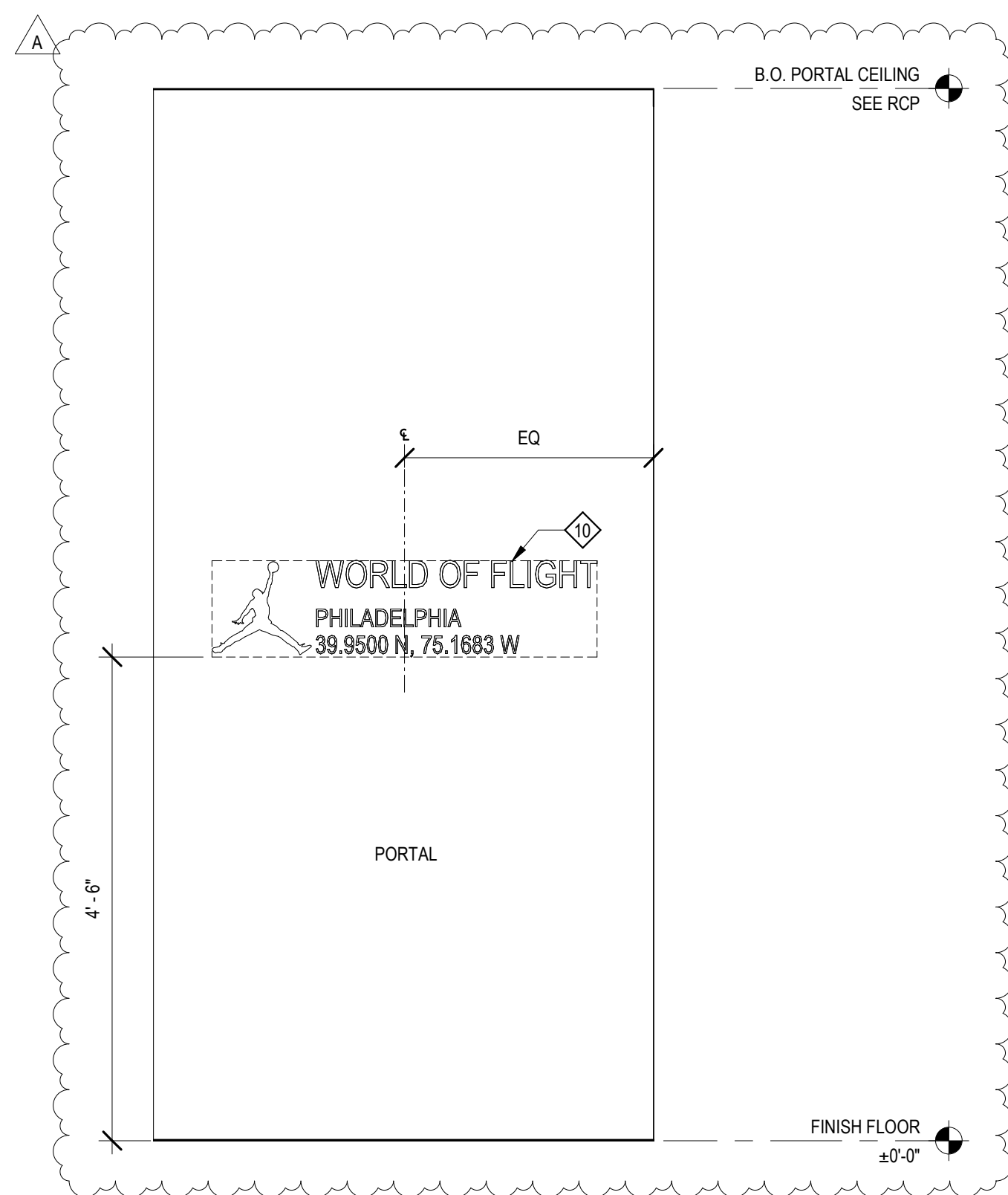


ENLARGED PLAN - ENTRANCE PORTAL

SCALE
6" = 1'-0"

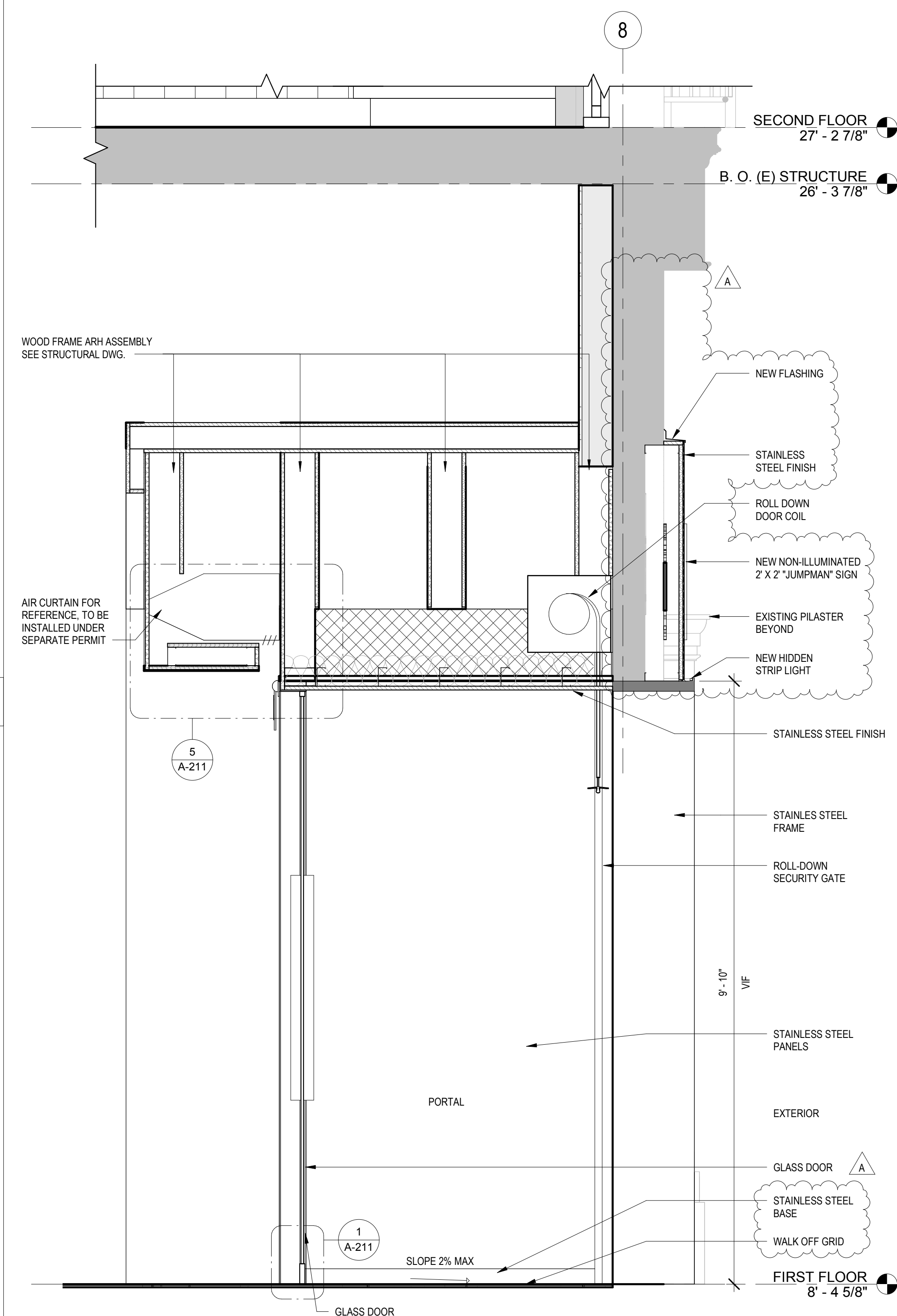
ENLARGED CEILING PLAN - ENTRANCE PORTAL

SCALE
1" = 1'-0"



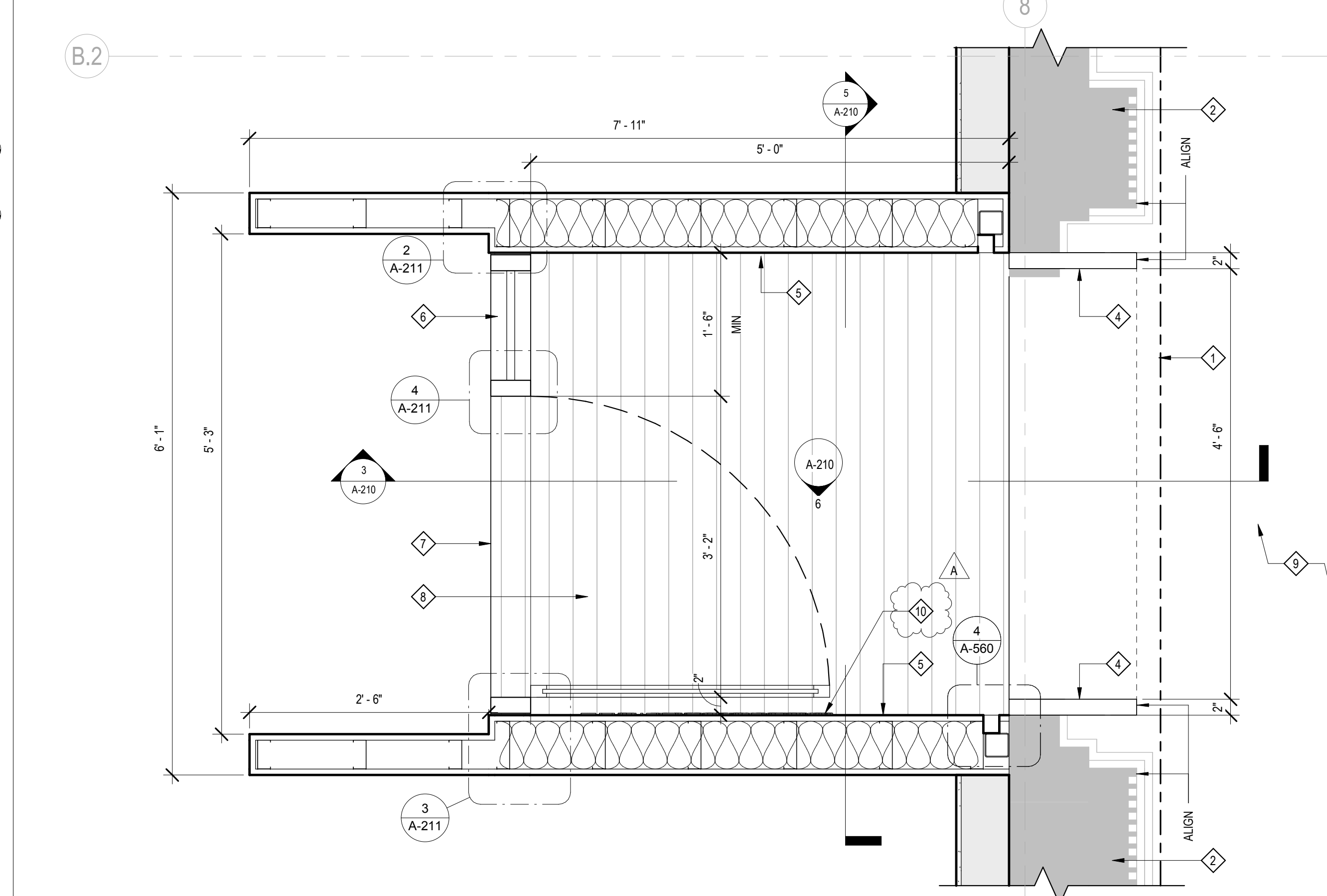
DETAIL - JUMPMAN SIGN @PORTAL

SCALE
3/4" = 1'-0"



SECTION THROUGH PROPOSED ENTRANCE PORTAL

SCALE
3/4" = 1'-0"



ENLARGED PLAN - ENTRANCE PORTAL

SCALE
1" = 1'-0"

- 1 PROPERTY LINE
- 2 (E) EXTERIOR WALL TO REMAIN.
- 3 NEW ROLL-DOWN SECURITY GATE
- 4 NEW STAINLESS STEEL "PORTAL" FRAME, PROTRUDING TO ALIGN WITH FACE OF PILASTERS.
- 5 NEW WALL WITH STAINLESS STEEL PANEL
- 6 (N) GLASS DOOR AND SIDE WINDOW
- 7 (N) STAINLESS STEEL THRESHOLD
- 8 WALK OFF GRID
- 9 (E) SIDEWALK CONCRETE PAVEMENT
- 10 NEW ILLUMINATED "JUMPMAN" SIGN, SEE DTL 6/A210

KEYNOTES

SECTION AT PORTAL ENTRY

SCALE
3/4" = 1'-0"

SECTION THROUGH PROPOSED ENTRANCE PORTAL

SCALE
3/4" = 1'-0"

KEYNOTES



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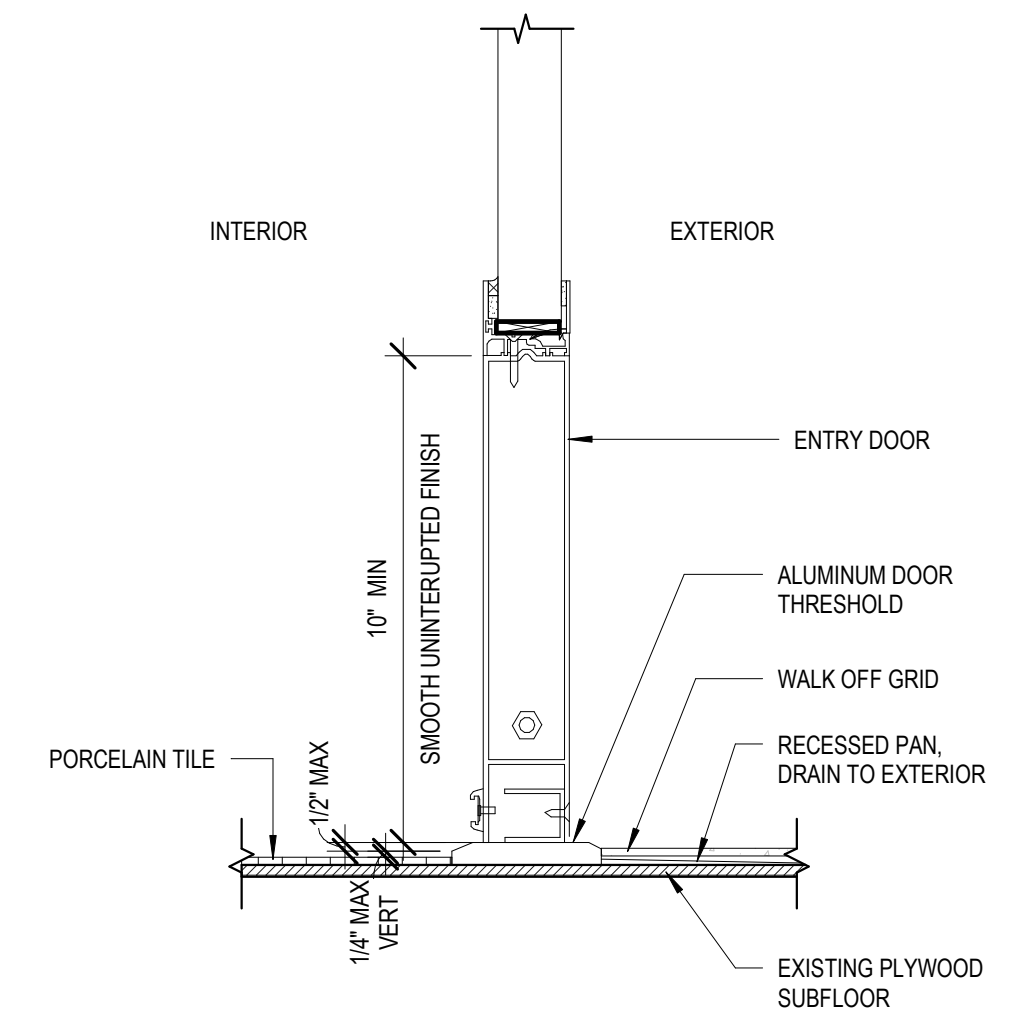
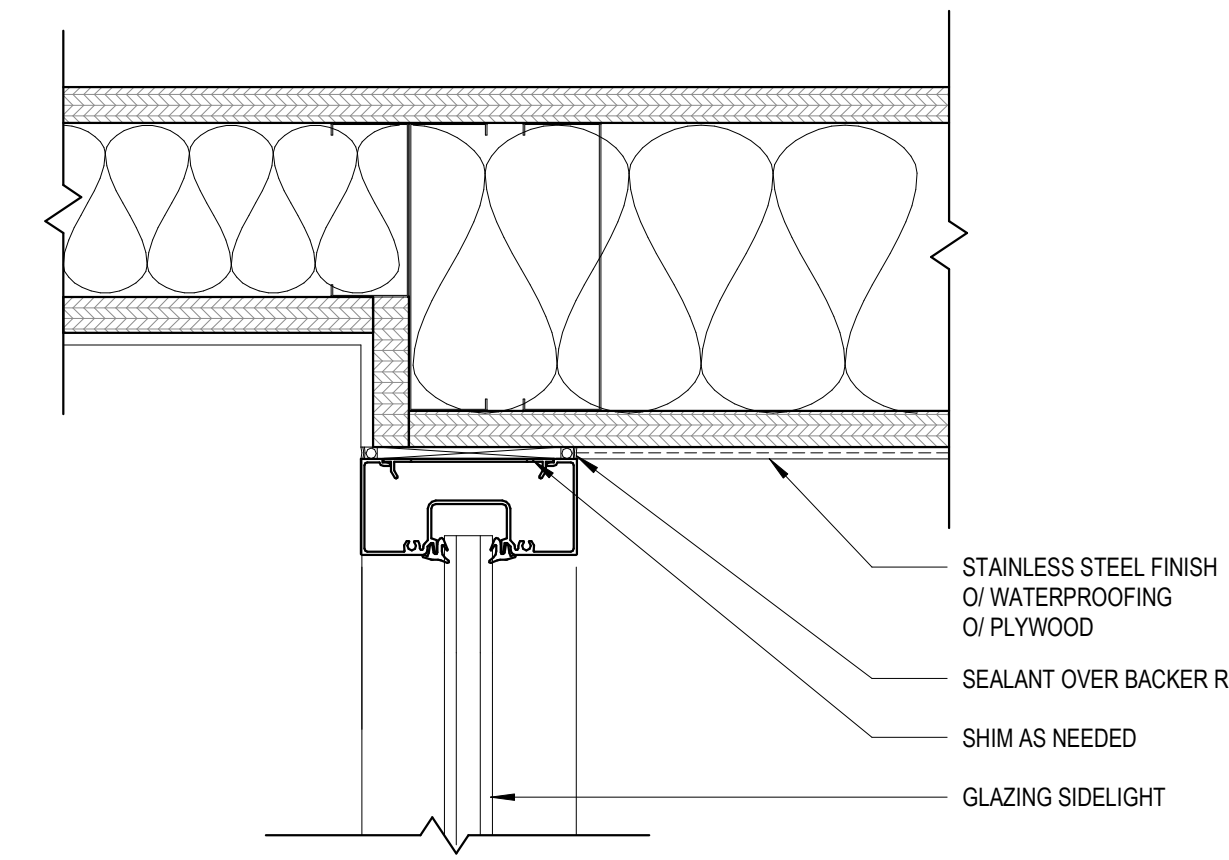
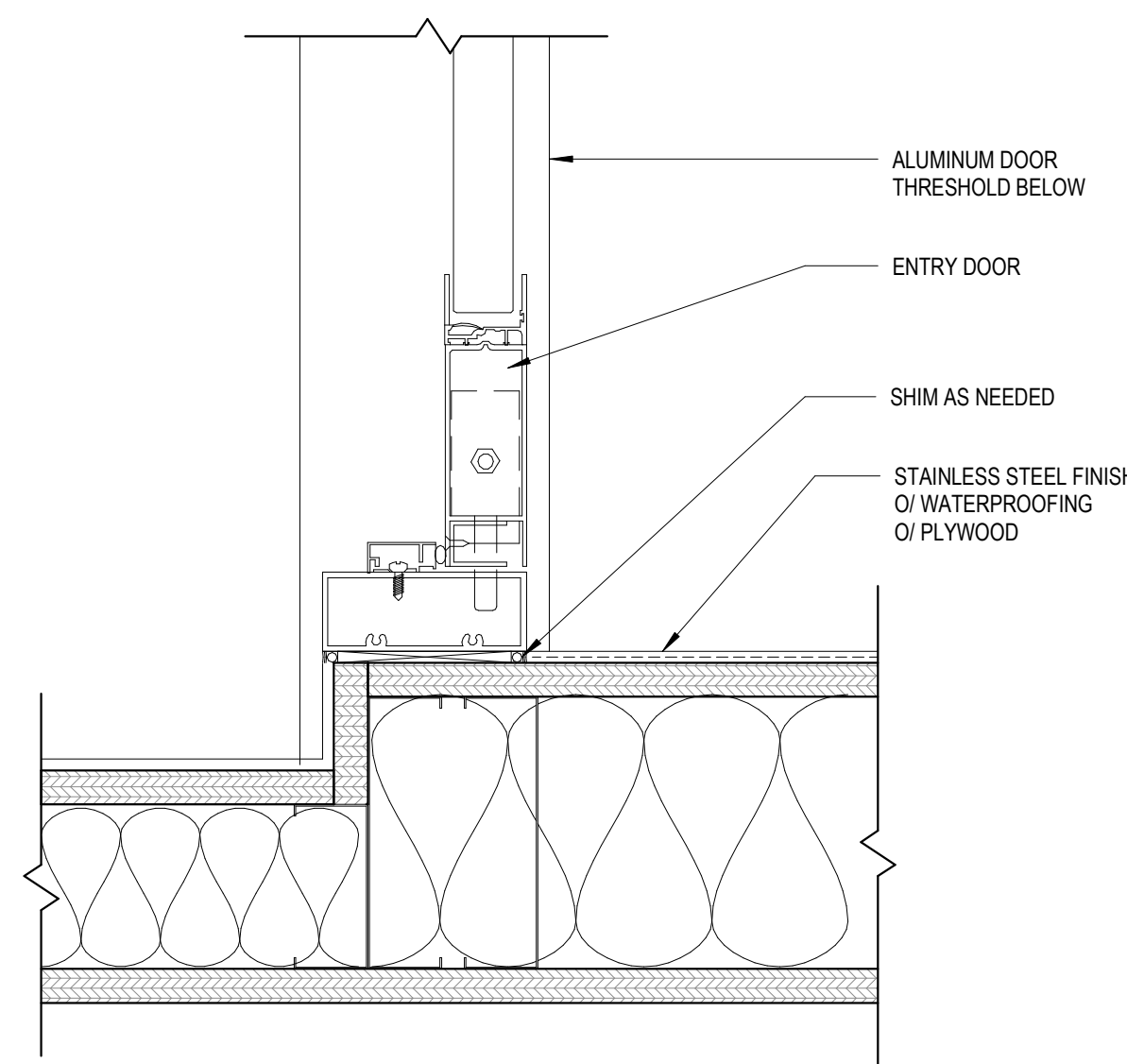
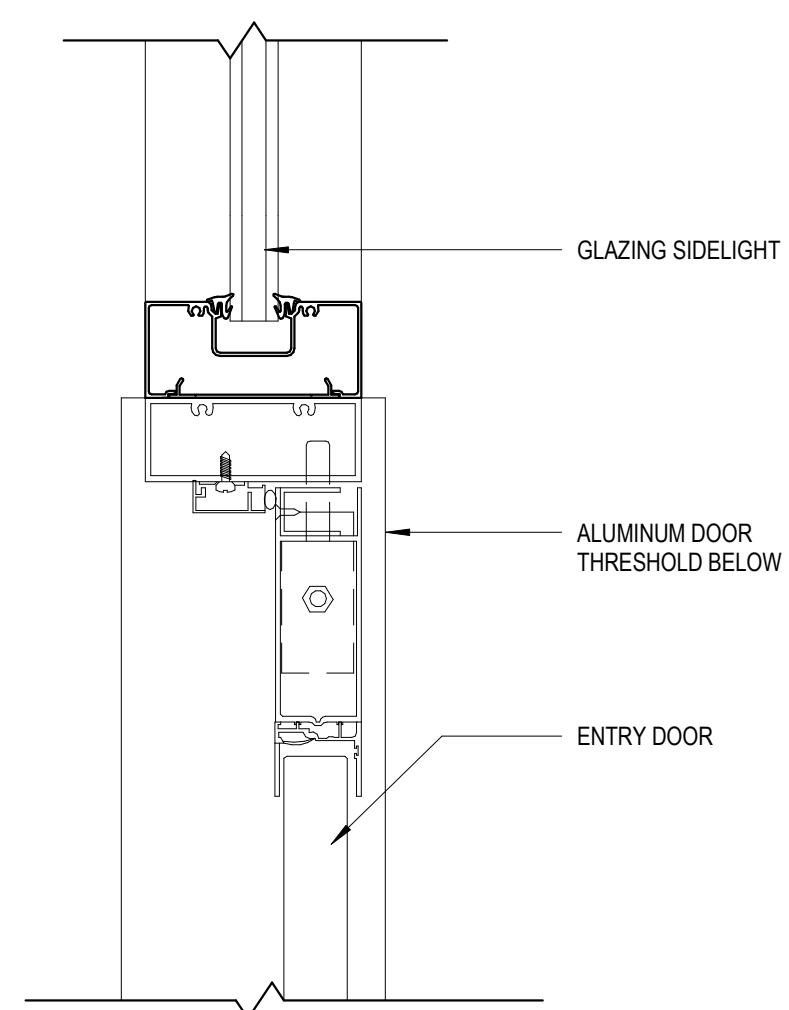
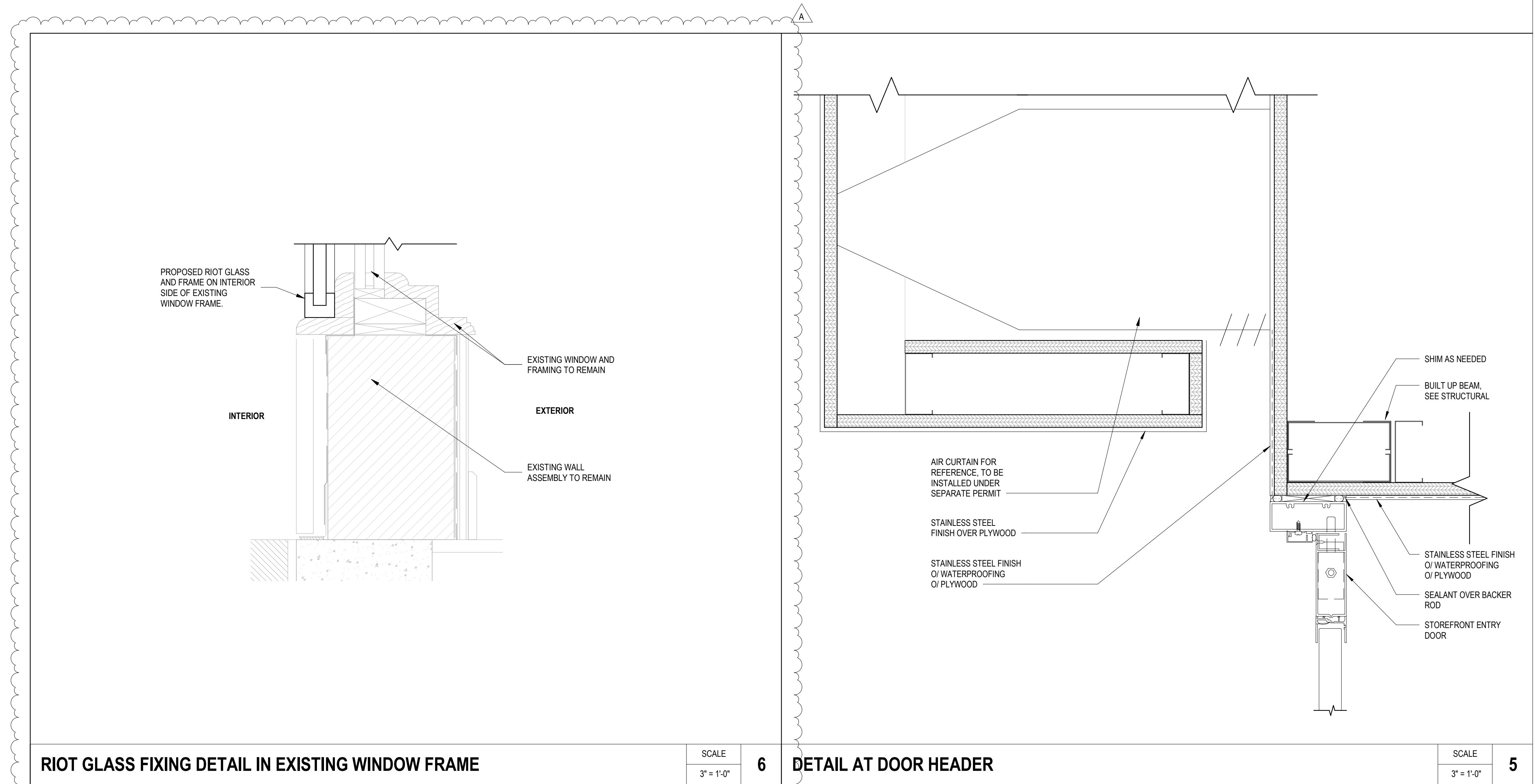
Project Number

Drawn By SY

Checked By GK/MK

FACADE DETAILS

A-211



DOOR JAMB AT GLAZING

DOOR JAMB AT WALL

WINDOW JAMB AT WALL

DETAIL AT DOOR SILL