

ADDRESS: 2033 CHESTNUT ST

Proposal: Construct four-story building on rear of parcel

Review Requested: Final Approval

Owner: George and Tassia Tahopoulos

Applicant: John Hayes, Blackney Hayes Architects

History: 1915

Individual Designation: None

District Designation: Rittenhouse Fidler Historic District, Contributing, 2/8/1995

Staff Contact: Dan Shachar-Krasnoff, daniel.shachar-krasnoff@phila.gov

OVERVIEW: This application seeks final approval for the construction of a four-story multi-unit building at the rear of 2033 Chestnut Street in the Rittenhouse Fidler Historic District. No work is proposed to the existing building at 2033 Chestnut Street that fronts on Chestnut Street. The new building will face Ranstead Street at the rear, which is the edge of the historic district boundary. The building will not be visible from Chestnut Street, but will be visible from S. 21st Street to the west. The building's design is contemporary and technically lacks compatibility with the historic district; however, the location of the proposed building is limited in terms of immediate surrounding historic context, therefore its highly differentiated design will not impact the character of the Rittenhouse Fidler Historic District. The majority of this block of Ranstead Street is not located within the historic district boundary, and the overall context of the block is three- and four-story red brick buildings.

SCOPE OF WORK:

- Construct four-story building on rear of parcel.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
 - The proposed new construction generally lacks compatibility with the historic district. However, it will not be visible from Chestnut Street. The lack of historic context on Ranstead Street, much of which is not within the district, means that the design will not have an adverse impact. The proposed application meets Standard 9.
- *Standard 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment will be unimpaired.*
 - The proposed new construction on Ranstead Street is not attached to the contributing building at 2033 Chestnut Street; therefore, the proposal meets Standard 10.

STAFF RECOMMENDATION: Approval, with the staff to review details, pursuant to Standards 9 and 10.

IMAGES:

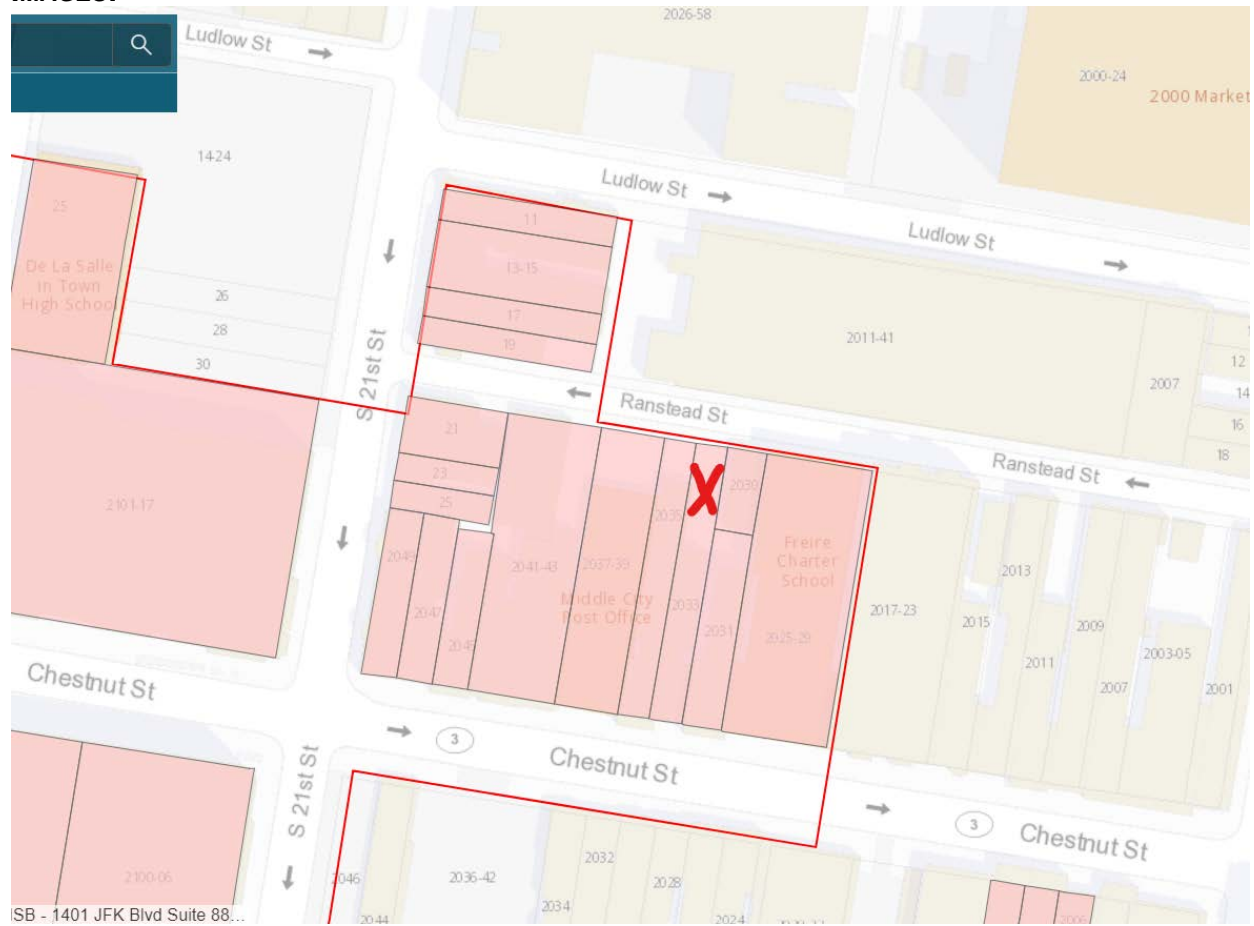


Figure 1. Location of subject property at the northern edge of Rittenhouse Fittler Historic District boundary.



Figure 2. Location of proposed building on Ranstead Street.



Figure 3. Ranstead Street immediately east of proposed building.



Figure 4. Ranstead Street west of proposed building.

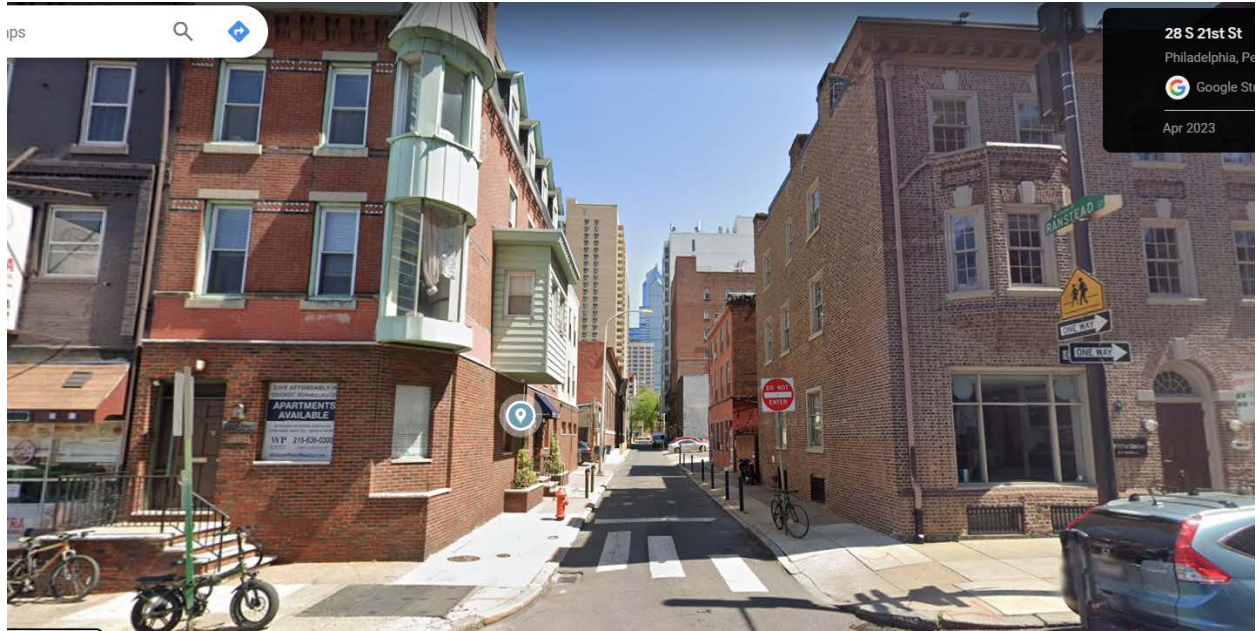


Figure 5. Looking east from S. 21st Street onto Ranstead Street. The proposed building will be half-way down this block on the right.



600 Chestnut Street
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MEMORANDUM | 02

Multifamily Building
2033 Chestnut Street, Philadelphia, PA 19103
BHA Job No. 22-127
Building Permit Application No. CP-2023-003995
Zoning Permit No. ZP-2023-000765

DATE OF ISSUANCE: August 15, 2023

TO: Philadelphia Historical Commission
City of Philadelphia

John Hayes, FAIA
Kevin Blackney, AIA, LEED AP
Jennifer Crawford, AIA
Michele Barnett, AAHID
Merixsa Garcia-Johnson
Megan Hayes Barton, NCIDQ
Troy C. Hill, AIA, ALEP
Darin Jellison, AIA
Chris Stigler, AIA, LEED AP

ASSOCIATES

Carmen Bushong, AIA
Tyler Cooney, AIA, LEED AP
Patrick Gallagher, RA, CSI, CDT
Traci Luckenbill, AIA
John Townsend, NCIDQ

On behalf of our client, Mr. Thom Tahopoulos, we request that the Commission review our application for the proposed new construction of a three-story multifamily building to the rear of the existing multifamily mixed-use building at 2033 Chestnut Street. Please note that we are proposing no work to the existing building at 2033 Chestnut Street that fronts on Chestnut Street; the proposed new construction is detached from and structurally independent of the existing building.

Our proposed new construction on this block of Ranstead Street would contrast notably with the block's utilitarian present appearance. Today the neighboring residential structure at 2030 Ranstead is outnumbered by the unadorned facades, rear parking and loading docks up and down the block. We believe our proposal is neutral to Chestnut Street while enhancing the quality of this block of Ranstead Street in step with the Commission's directive.

In support of the building permit application, we have prepared the following on 11x17 pages:

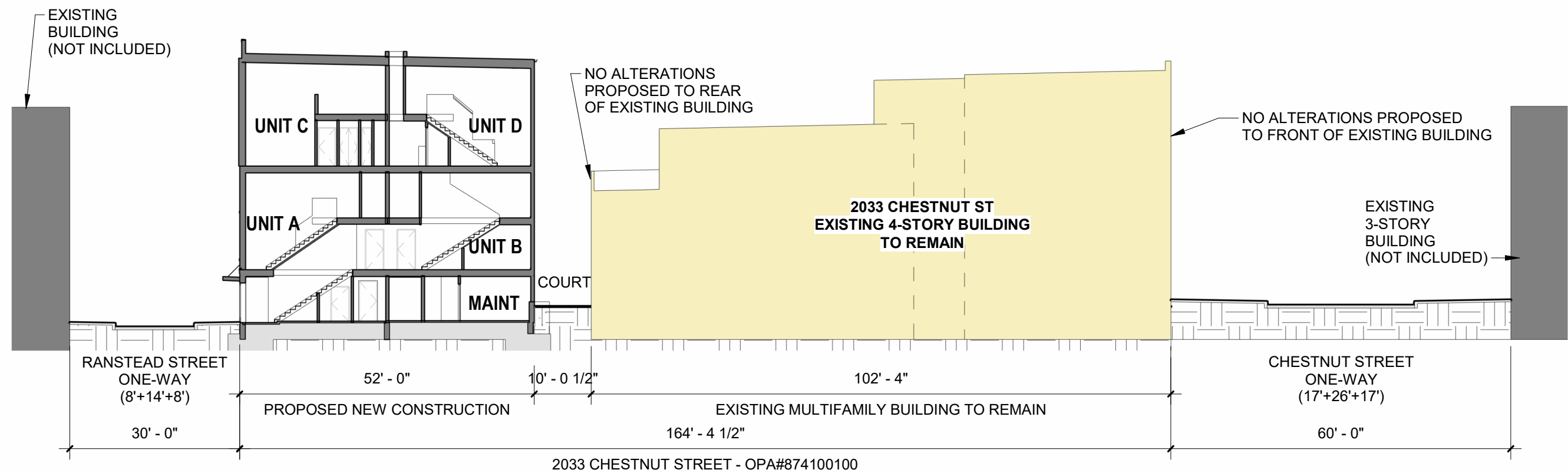
1. Site and building section of the proposed and existing buildings
2. Photographs of the existing conditions along Ranstead Street
3. Photographs of the existing conditions along Chestnut Street

Sincerely,

Chris Stigler
Principal

Joe Ulaky
Acting Project Architect

Copies to: [Owner, File]



SITE SECTION - STREET TO STREET

1" = 20'-0"

Site Section

2033 Chestnut Street Multifamily Building

prepared for:
Thom Tahopoulos

08.15.2023



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2030 RANSTEAD STREET



REAR OF 2033 CHESTNUT STREET



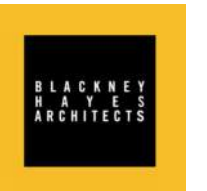
REAR OF 2035 CHESTNUT STREET

RANSTEAD STREET PHOTOS

2033 Chestnut Street Multifamily Building

prepared for:
Thom Tahopoulos

08.15.2023



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RANSTEAD STREET LOOKING SOUTHEAST THROUGH SITE



VIEW LOOKING EAST DOWN RANSTEAD STREET FROM WEST OF SITE

RANSTEAD STREET PHOTOS

2033 Chestnut Street Multifamily Building

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08.15.2023



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CHESTNUT STREET LOOKING NORTHEAST AT SITE



EXISTING BUILDING AT
2033 CHESTNUT STREET



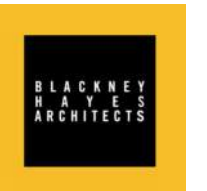
CHESTNUT STREET LOOKING NORTHWEST AT SITE

CHESTNUT STREET PHOTOS

2033 Chestnut Street Multifamily Building

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08.15.2023



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2033 CHESTNUT STREET SQUARE ON



2033 CHESTNUT STREET LOOKING NORTHWEST

CHESTNUT STREET PHOTOS

2033 Chestnut Street Multifamily Building

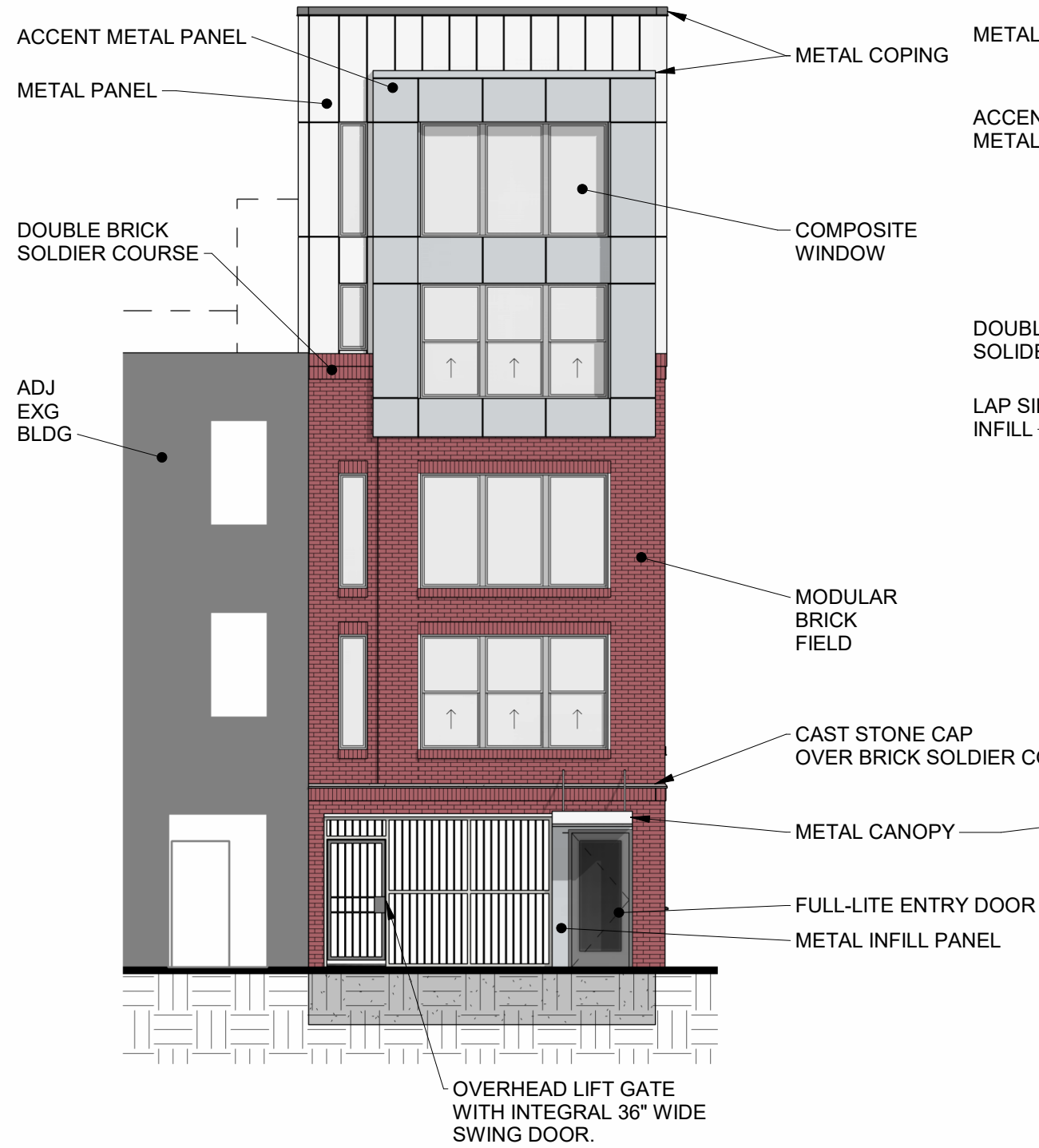
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Thom Tahopoulos

08.15.2023



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REVISED/SUPPLEMENTED



REVISED RANSTAD ST ELEVATION (NORTH)
1/8" = 1'-0"



REVISED WEST SIDE ELEVATION
1/8" = 1'-0"

Elevations

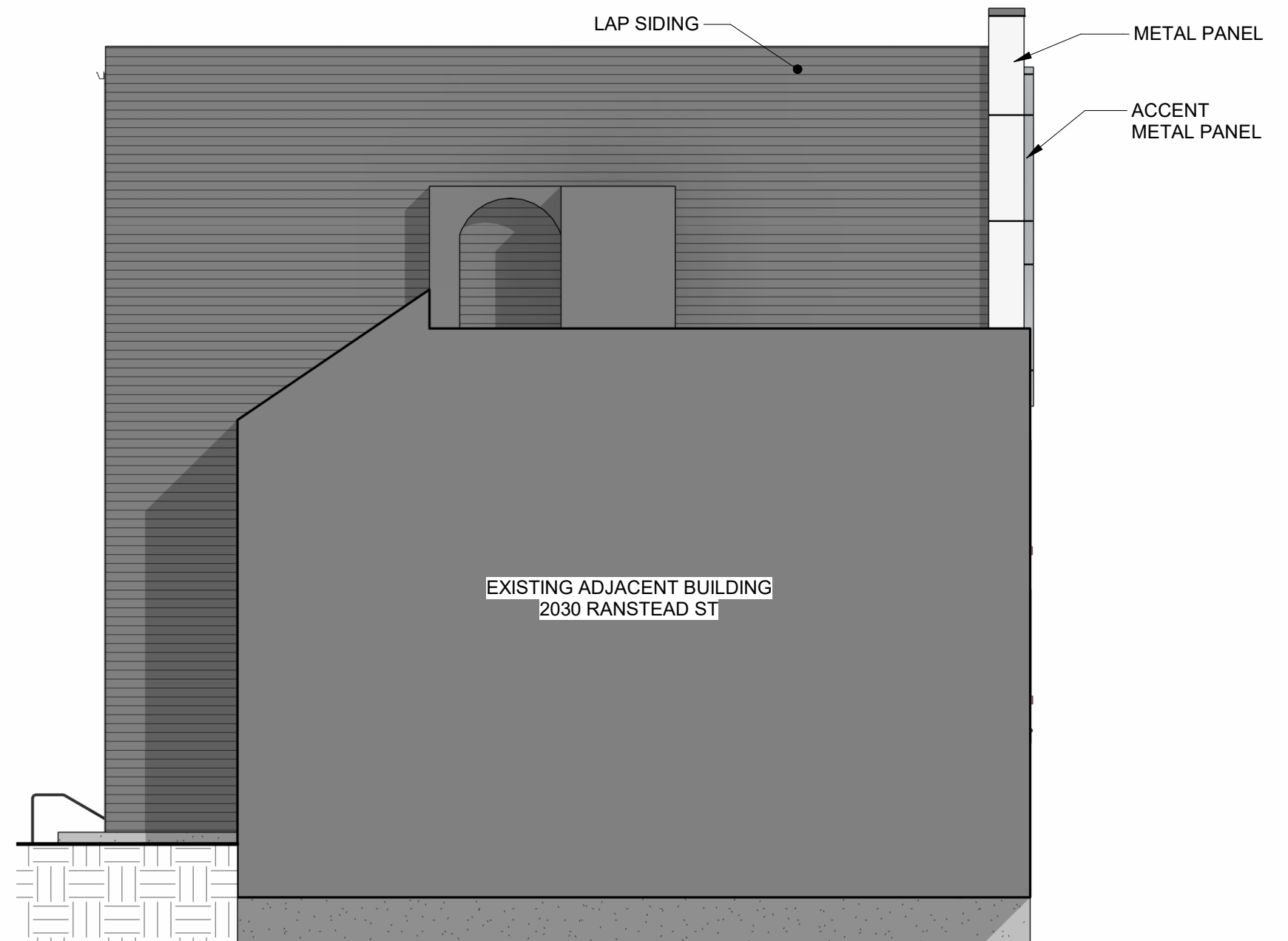
2033 Chestnut Street Multifamily Building

prepared for:
Thom Tahopoulos

08.31.23



SUPPLEMENTED



REVISED EAST SIDE ELEVATION
1/8" = 1'-0"

Elevations

2033 Chestnut Street Multifamily Building

prepared for:
Thom Tahopoulos

08.31.23



2033 Chestnut Street Multifamily Building

2033 Chestnut St
Philadelphia, PA 19103



FRONT (NORTH) ELEVATION ON RANSTEAD STREET

7/21/2023 3:58:50 PM

ISSUE INFORMATION

COORDINATION SET	02.22.2023
REVISION 1	06.16.2023

CIVIL

Stantec
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CONTACT PERSON: Greg Gress

STRUCTURAL

DCH+Macintosh Engineers
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phone: 484.475.2190
CONTACT PERSON: Steve Krumenacker

OWNER

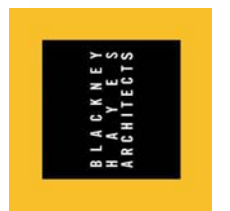
Thom Tahopoulos
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ARCHITECT

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2033 Chestnut Street
Multifamily Building
2033 Chestnut St
Philadelphia, PA 19103



Revision 2 07.21.2023

BHA Job Number: 22-127

FLOOR PLAN GENERAL NOTES

- 1. DO NOT SCALE DRAWINGS.
2. CONTRACTOR TO VERIFY ALL FIELD DIMENSIONS AND INFORM ARCHITECT OF ALL DISCREPANCIES PRIOR TO COMMENCEMENT OF ALL WORK.
3. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS IN THE LOCATION(S) OF NEW CONSTRUCTION...
4. ALL WORK WILL CONFORM TO ALL APPLICABLE BUILDING REGULATIONS (STATE AND LOCAL). IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE A THOROUGH WORKING KNOWLEDGE OF ALL CODE ISSUES.
5. CONTRACTOR SHALL VISIT THE PREMISES TO BECOME FAMILIAR WITH EXISTING CONDITIONS, VERIFY THE SCOPE OF WORK AND EVALUATE POTENTIAL PROBLEMS ATTENDANT TO ITS EXECUTION.
6. THE SUBMISSION OF PRICING BY THE CONTRACTOR SHALL BE EVIDENCE THAT THE CONTRACTOR HAS FULLY EVALUATED POTENTIAL PROBLEMS. LATER ADDITIONAL COST CLAIMS FOR LABOR, EQUIPMENT, MATERIAL, AND HARDSHIP (EXCEPT FOR CONDITIONS CONCEALED) WILL NOT BE CONSIDERED.
7. FOR INTERIOR DIMENSIONS: ALL DIMENSIONS ARE TO THE FINISHED FACE OF PARTITIONS, CENTERLINE OF COLUMNS, AND THE CENTERLINE OF MULLIONS, U.O.N.
8. FOR EXTERIOR DIMENSIONS: ALL DIMENSIONS ARE TO THE EXTERIOR FACE OF STUDS, CENTERLINE OF COLUMNS, AND THE CENTERLINE OF MULLIONS, U.O.N.
9. DIMENSIONS MARKED +/- MEAN A TOLERANCE OF NOT GREATER THAN 2 INCHES FROM INDICATED DIMENSION, UNLESS NOTED OTHERWISE.
10. SET FINISH DOOR OPENINGS AT 6" FROM ADJACENT PERPENDICULAR PARTITION U.O.N.
11. NEW CONSTRUCTION SHOWN ALIGNED WITH EXISTING CONSTRUCTION SHALL BE INSTALLED FLUSH AND SMOOTH
12. [NOT USED / RESERVED]
13. PROVIDE CONCEALED BLOCKING IN ALL PARTITIONS WHEN MOUNTING HANDRAILS, GRAB BARS, CABINETS, SHELVING, COAT RACKS AND SHELVES, COUNTERTOPS AS WELL AS DOOR FRAMES AND HEADERS.
14. FIRE-STOPPING IS REQUIRED AT ALL THRU-WALL/FLOOR PENETRATIONS. FIRE-RATING TO MATCH RESPECTIVE WALL/FLOOR.
15. ALL EXPOSED STEEL SURFACES TO BE PAINTED, U.O.N.
16. UNLESS OTHERWISE NOTED, ALL FIRE EXTINGUISHERS TO BE CENTERED ON WALL LENGTH OR 18" FROM NEAREST ADJACENT CORNER OR DOOR AS SHOWN. PROVIDE FIRE EXTINGUISHERS IN QUANTITY REQUIRED BY CODE. PROVIDE APARTMENT UNITS WITH FIRE EXTINGUISHER(S) ON EACH LEVEL.

REFLECTED CEILING PLAN GENERAL NOTES

- 1. THE CONTRACTOR SHALL DESIGN AND PROVIDE A FIRE SPRINKLER SYSTEM FROM THE EXISTING MAIN. THE WORK SHALL FULLY COMPLY WITH ALL APPLICABLE REQUIREMENTS OF NFPA13, LOCAL AUTHORITIES, LIFE SAFETY CODE 101 AND THE OWNER'S INSURANCE UNDERWRITER.
2. COORDINATE SPRINKLER HEAD LOCATIONS WITH THE REFLECTED CEILING PLAN AND DUCT DISTRIBUTION SYSTEM ABOVE. IN G/WB CEILING, LOCATE HEADS ON CENTERLINES OF LIGHT FIXTURES AND EQUIDISTANT BETWEEN LIGHTS, DIFFUSERS OR GRILLES. IN ACOUSTIC TILE CEILINGS, LOCATE HEADS IN THE CENTER OF TILES. ALL PIPING & HEAD AESTHETICS TO BE SATISFACTORY TO THE ARCHITECT.
3. CONTRACTOR WILL BE RESPONSIBLE FOR FOLLOWING ALL CONTRACT DOCUMENTS (ARCHITECTURAL & ENGINEERING) NO VARIANCE WILL BE ALLOWED, UNLESS DIRECTED & APPROVED BY OWNER. ANY CHANGES TO THE DOCUMENTED SCOPE OF WORK WILL REQUIRE THE GENERAL CONTRACTOR TO PAY FOR ALL CORRECTIONS TO CONFORM WITH THESE DRAWINGS. COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO INSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEM, ETC., NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED ON ARCHITECTS DRAWINGS. VERIFY IN FIELD.
4. EXISTING CEILING GRID & TILE TO REMAIN THROUGHOUT EXCEPT WHERE AS NOTED ON PLAN. CONTRACTOR TO REPLACE AND/OR PATCH ANY GRID AS REQUIRED BY DEMOLITION AND NEW CONSTRUCTION.
5. CONTRACTOR TO RELOCATE HVAC AS REQUIRED TO ACCOMMODATE THE NEW LIGHTING LAYOUT. LIGHT FIXTURES, EXIT SIGNS, AND OTHER CEILING ELEMENTS SHALL BE LOCATED IN CENTER OF CEILING TILE OR ROOM U.O.N.
6. CONTRACTOR TO INSPECT AND ENSURE THAT ALL EXISTING SYSTEMS ARE OPERATIONAL. UPON COMPLETION OF WORK, RETURNS AND DIFFUSERS ARE SHOWN IN EXISTING LOCATION, CONTRACTOR TO RELOCATE DEVICES AS REQUIRED PER NEW LAYOUT TO ENSURE ADEQUATE DISTRIBUTION. CONTRACTOR TO RE-BALANCE SYSTEM.
7. CONTRACTOR TO RELOCATE AND/OR PROVIDE NEW LIGHT SWITCHES PER NEW LAYOUT. RE-CIRCUIT EXISTING LIGHT FIXTURES AS SHOWN PER PLAN. WHERE EXISTING LIGHTS SWITCHES ARE TO BE REMOVED, CONTRACTOR TO PATCH DRYWALL, LIGHT SWITCH & FACEPLATE TO MATCH COLOR OF EXISTING SWITCHES.
8. CONTRACTOR TO PROVIDE FIRE PROOFING/FIRE STOPPING (AT RATED AREAS ONLY) AT ALL PENETRATIONS WITHIN EXISTING AND NEW SHAFT WALLS, FLOOR SLAB AND EXTERIOR WALLS. PENETRATIONS TO INCLUDE BUT NOT LIMITED TO DUCTWORK, PIPEWAYS, CONDUIT RUNS.
9. DIMENSIONS ARE TO THE CENTERLINE OF A FIXTURE U.O.N. ALL FIXTURES TO BE CENTERED IN THE DIMENSIONS OF A.C.T. UNLESS NOTED OTHERWISE.
10. PERIMETER CEILING ANGLE, WHERE OCCURS, SHALL BE INSTALLED TIGHT TO VERTICAL SURFACES, FREE FROM CURVES, BREAKS, OR OTHER IRREGULARITIES AND PAINTED TO MATCH CEILING FINISH. CEILING GRIDS SHALL BE LEVEL & TRUE. WITH PROPER EDGE MOLDING AND DETAILS AS RECOMMENDED BY THE MANUFACTURER. GAPS BETWEEN CEILING ANGLE AND EXISTING VERTICAL SURFACES ARE TO BE HELD AT NO LARGER THAN 1/2" AND INFILLED WITH CALK. CALK TO MATCH SAME COLOR AS GRID. CEILING SUSPENSION SYSTEM TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS WITH A LEVEL TOLERANCE OF 1/8" IN 12'.
11. EXISTING LIGHT FIXTURES TO REMAIN. CONTRACTOR TO REPLACE AND DAMAGED AND NON OPERATIONAL LIGHTS WITH NEW, PROVIDE NEW LIGHT FIXTURES WHERE NOTED ON PLAN. NEW FIXTURES TO MATCH EXISTING MANUF. STYLE, FINISH AND INSTALL UNDERWRITERS LABORATORIES INC. (UL) LABELED DEVICES THROUGHOUT.
12. WHERE DEVICES WERE REMOVED FROM WALL, CONTRACTOR TO PROVIDE DRYWALL PATCH AT AREA WHERE DEVICE WAS REMOVED. NO BLANK PLATES WILL BE PERMITTED.
13. PROVIDE HANGERS & SUPPORTS IN ACCORDANCE WITH MFR. RECOMMENDATIONS, APPLICABLE CODES & ORDINANCES. PROVIDE SEISMIC BRACING AS REQUIRED.
14. INSTALL ACOUSTICAL PANELS WITH UNDAMAGED EDGES AND FIT ACCURATELY INTO SUSPENSION SYSTEM RUNNERS AND EDGE MOLDINGS. SCRIBE AND CUT PANELS AT BORDERS AND PENETRATIONS TO PROVIDE A NEAT, PRECISE FIT. PAINT CUT EDGES OF PANEL REMAINING EXPOSED AFTER INSTALLATION. MATCH COLOR OF EXPOSED PANEL SURFACES USING COATING RECOMMENDED BY ACOUSTICAL PANEL PROVIDER.
15. CLEAN EXPOSED SURFACES OF ACOUSTICAL PANEL CEILINGS, INCLUDING TRIM, EDGE MOLDINGS AND SUSPENSION MEMBERS. COMPLY WITH MANUFACTURER'S INSTRUCTIONS FOR CLEANING AND TOUCHUP OF MINOR FINISH DAMAGE.
16. RECEPTACLE AND LIGHT SWITCH INSTALLATION SHALL CONFORM TO REQUIREMENTS SET FORTH BY ICC/ANSI 117.1, 2009.
17. RECEPTACLE FACE PLATES & PLUGS TO BE TO MATCH COLOR OF EXISTING DEVICES. ALL WALL MOUNTED RECEPTACLES SHALL BE MOUNTED 18" ON CENTER A.F.F. UNLESS NOTED OTHERWISE ON PLANS. HEIGHTS SHALL BE DETERMINED FROM FINISHED FLOOR TO THE CENTERLINE OF COVERPLATE. INSTALLED VERTICALLY, GROUNDING POLE AT BOTTOM, U.O.N. OUTLETS NOTED AS HORIZONTALLY MOUNTED SHALL HAVE GROUNDING POLE AT LEFT, U.O.N. OUTLETS LOCATED ABOVE COUNTER TOPS TO BE INSTALLED AT 48" TO TOP OF FACEPLATE.
18. UNLESS OTHERWISE NOTED, TENANT IS RESPONSIBLE FOR ALL TELEPHONE/DATA WIRING. CONTRACTOR TO COORDINATE WITH TENANT'S TELE/DATA VENDOR OR SCHEDULING AND LOCATION. CONTRACTOR TO PROVIDE BACK BOX AND PULL RING/STRING ONLY.
19. EXISTING LIFE SAFETY SYSTEMS SHOWN ARE EXISTING AND ARE INTENDED TO REMAIN, WHERE POSSIBLE. RELOCATED IF NEW LAYOUT INTERFERES WITH CURRENT LOCATION. ELECTRICAL CONTRACTOR TO ENSURE THAT EXISTING FIXTURES ARE FUNCTIONING AND IN PROPER WORKING ORDER. ELECTRICAL CONTRACTOR TO REVIEW PLACEMENT OF EXISTING LIFE SAFETY DEVICES TO ENSURE THAT EXISTING LAYOUT MEETS CURRENT CODE. CONTRACTOR TO ADD DEVICES WHERE REQUIRED.
20. CONTRACTOR TO CONFIRM LOCATION OF ALL WALL AND/OR CEILING MOUNTED EQUIPMENT WITH TENANT PRIOR TO FRAMING. PROVIDE BLOCKING AS REQUIRED TO SUPPORT ALL TENANT SUPPLIED EQUIPMENT. CONFIRM SPECIFICATIONS OF EQUIPMENT WITH TENANT PRIOR TO CLOSING FRAMING.

ABBREVIATIONS

Table with 2 columns: Abbreviation and Full Name. Includes terms like A/C, ACT, MFR, ALUM, ANOD, APPROX, AP, ARCH, BD, BITUM, BULK, BO, CAB, CFCC, CG, CJ, CLG, C, CMU, COL, CONC, CONT, CPT, CT, CW, DBL, DF, DIA, DM, DN, DS, DTL, DWG, EJ, EL, ELEC, ELV, EPS, EO, EWIC, EXP, EXT, FEC, FHC, FLR, FRP, FP, FT, FIP, GA, GALV, GC, GFCR, GFRG, GWB, HC, HM, HORIZ, HP, HT, HVAC, INSUL, INV, INT, JAN, LAV, LP, MAX, MECH, MFR, MIN, MISC, MM, MO, MTL, NIC, NO, NOM, NTS, OC, O, OHD, OFOI, OFCI, OPP, OTS, PLAM, PLBG, PNT, PT, PTD, PLWD, PVC, R, RD, REF, RECD, REV, RM, RO, RTU, RWC, SAB, SCHED, SFRM, SIM, SPEC, STL, STOR, SST, TEMP, TL, TO, TOP, TOW, TYP, UL, UON, VB, VCT, VERT, VIF, VWC, W, WC, WD, WO, WP, XPS.

APPLICABLE CODES

Table listing applicable codes and sections: Building Subcode, Residential Subcode, Electrical Subcode, Energy Subcode, Mechanical Subcode, Fuel Gas Code, Performance Subcode, Barrier Free, Installation of Sprinkler Systems, Fire Alarm Code, etc.

BUILDING SUMMARY

Table summarizing building details: Use Group (R-2), Construction Type (V-B), Fire Protection System (NFPA 13R), Fire Alarm System (N), High-Rise-Building (N), Allowable Building Height (60' / 3 Stories), Actual Building Height (50' / 3 Stories), Maximum Building Area Per Floor (7,000 SF), etc.

FIRE RESISTANCE RATING REQUIREMENTS

Table detailing fire resistance ratings: Primary Structural Frame (0 HR), Bearing Walls (0 HR), Non-Bearing Walls & Partitions (0 HR), Floor Construction & Secondary Members (0 HR), Roof Construction & Secondary Members (0 HR), Elevator Hostways & Shafts (NONE PROPOSED), Corridors (0 HR), Exit Stairs & Ramps (1 HR), Fire Wall (N/A), Dwelling Unit Separations (1 HR), etc.

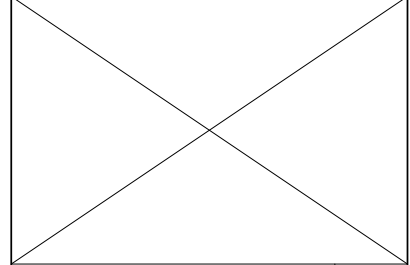
INTERIOR WALL & CEILING FINISH REQUIREMENTS

Table detailing interior wall and ceiling finishes: Exit Stairways, Ramps and Passageways (B), Corridors and Enclosures for Exit Access Stairways, Ramps, Rooms and Enclosed Spaces (C).

OCCUPANCY LOAD

Table detailing occupancy load: First Floor (7), Second Floor (9), Third Floor (9), Total (25).

Table detailing egress requirements: Required Egress Width (1005.3), Provided Egress Width (36' MN), Minimum Number of Exits Required (1), Exit Access Travel Distance (Table 1017.2), Common Path of Egress Travel (Table 1006.2.1).



ACCESSIBILITY

Table detailing accessibility requirements: Total Parking Spaces (1), Accessible Spaces Provided (None), Accessible Van Spaces (None), Total Number of Units Provided (4), Minimum Units W/ Roll In Showers (None), etc.

SOUND TRANSMISSION

Table detailing sound transmission: 1207.

Table detailing sound requirements: Air-Borne Sound (STC 50 Min), Structure-Borne Sound (IIC 50 Min).

SPECIAL INSPECTIONS

Table detailing special inspections: Type (Required), Steel Construction (1705.2), Concrete Construction (1705.3), Masonry Construction (1705.5), Wood Construction (1705.6), etc.

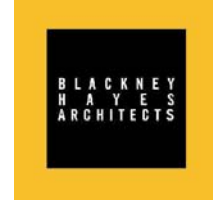
PORTABLE FIRE EXTINGUISHERS

Table detailing portable fire extinguishers: Ref - International Building Code (Section 906), Ref - International Fire Code (Table 901.8.1), Ref - NFPA 10 (Table 5.2.1), etc.

PA One Call: 611

SHEET LIST

Table listing sheets: SHEET NO., SHEET NAME, and details for sheets G0.00 through A9.30.



phone: 215 629 0922 x154
CONTACT PERSON: Chris Stigler

OWNER
Thomas Talpoullos
phone: 610/909.0204

STRUCTURAL
DCH/Macintosh Engineers
phone: 484-475-2160
CONTACT PERSON: Steve Krumenacker

CIVIL
Stanbec
phone: 215.665.7000
CONTACT PERSON: Greg Gress

Project:
2033 Chestnut Street
Multifamily Building

Project Address:
2033 Chestnut St
Philadelphia, PA 19103

Sheet Title:
SHEET LIST, GENERAL
NOTES, PROJECT
SUMMARY, CODE
SUMMARY



IMPORTANT NOTICE TO THE CONTRACTOR
YOU ARE ADVISED THAT IT IS YOUR RESPONSIBILITY TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DRAWING...
WARRANTY: Actual conditions may vary from conditions shown on this drawing. Confirm all information in the field before proceeding with any work and notify the Architect in writing if a variation is discovered.

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Release table with columns: Date, Comments, and a triangle symbol.

BHA Job Number: 22-127
Scale: As indicated

Drawn By: JU
Checked By: CS
Approved By: JH

Sheet No.

GO.00

Seal



DUTY TO INSPECT CONTRACT DOCUMENTS PRIOR TO STARTING WORK:

Any party who relies in part or whole on the content of these Construction Documents shall, before beginning any work, be responsible for fully inspecting the complete set of Contract Documents, including all Drawings, Specifications, and Addenda, for completeness, conflicts, scope of work, and suitability for constructing the building. All parties relying on these documents acknowledge that they have expertise in the area of their responsibility and are knowledgeable regarding industry standards, product requirements and code requirements and therefore are qualified to fully evaluate and interpret the contract documents. All parties relying on these documents must, prior to beginning work, submit all requests for clarification and additional information to the Architect in writing. All parties who begin work hereby certify that the documents are suitable for their intended purposes unless noted in specific written exception hereinafter.

Warning: Actual conditions may vary from conditions shown on this drawing. Confirm all information in the field before proceeding with any work and notify the Architect in writing if a variation is discovered.

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Release

Date	Comments	Δ

BHA Job Number: 22-127

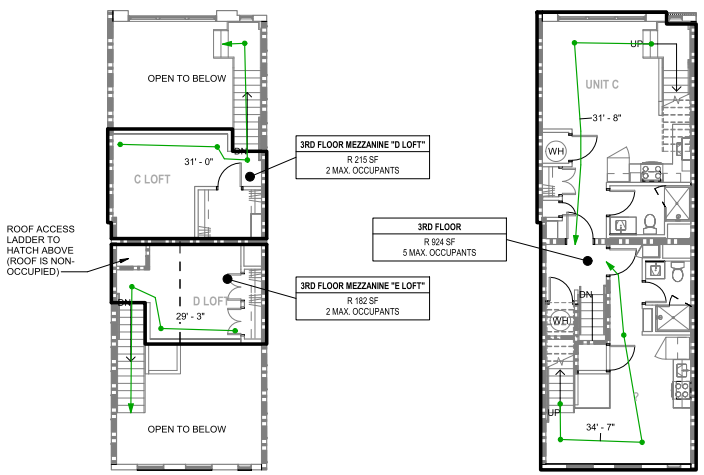
Scale: As indicated

Drawn By: JU

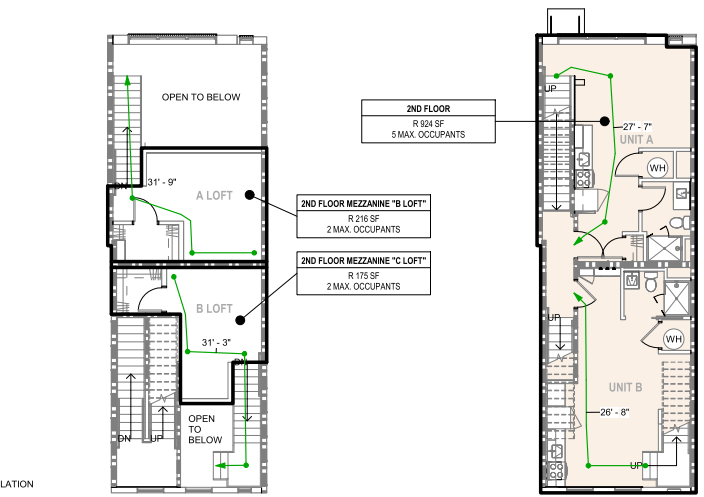
Checked By: CS

Approved By: JH

Sheet No.



③ 3RD LOFT (MEZZANINE) LIFE SAFETY PLAN
1/8" = 1'-0"



② 2ND LOFT (MEZZANINE) LIFE SAFETY PLAN
1/8" = 1'-0"

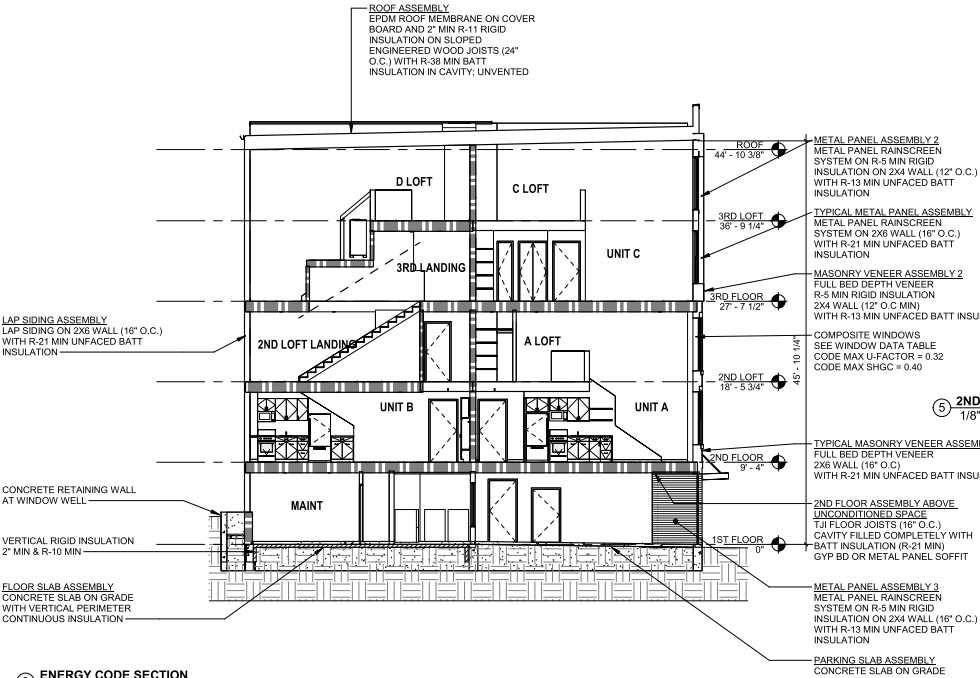
OCCUPANCY LEGEND

- ACCESSORY STORAGE
- RESIDENTIAL

CODE PLAN LEGEND

- 1 HOUR RATED PARTITION
- EGRESS PATH
- ACCESSIBLE ROUTE
- FIRE EXTINGUISHER
- EXIT SIGN
- RATED DOOR TAG (MINUTES)
- EGRESS TAGS
- ELEMENT WIDTH IN INCHES
- POSTED LOAD
- ALLOWABLE LOAD

① 1ST FLOOR LIFE SAFETY PLAN
1/8" = 1'-0"



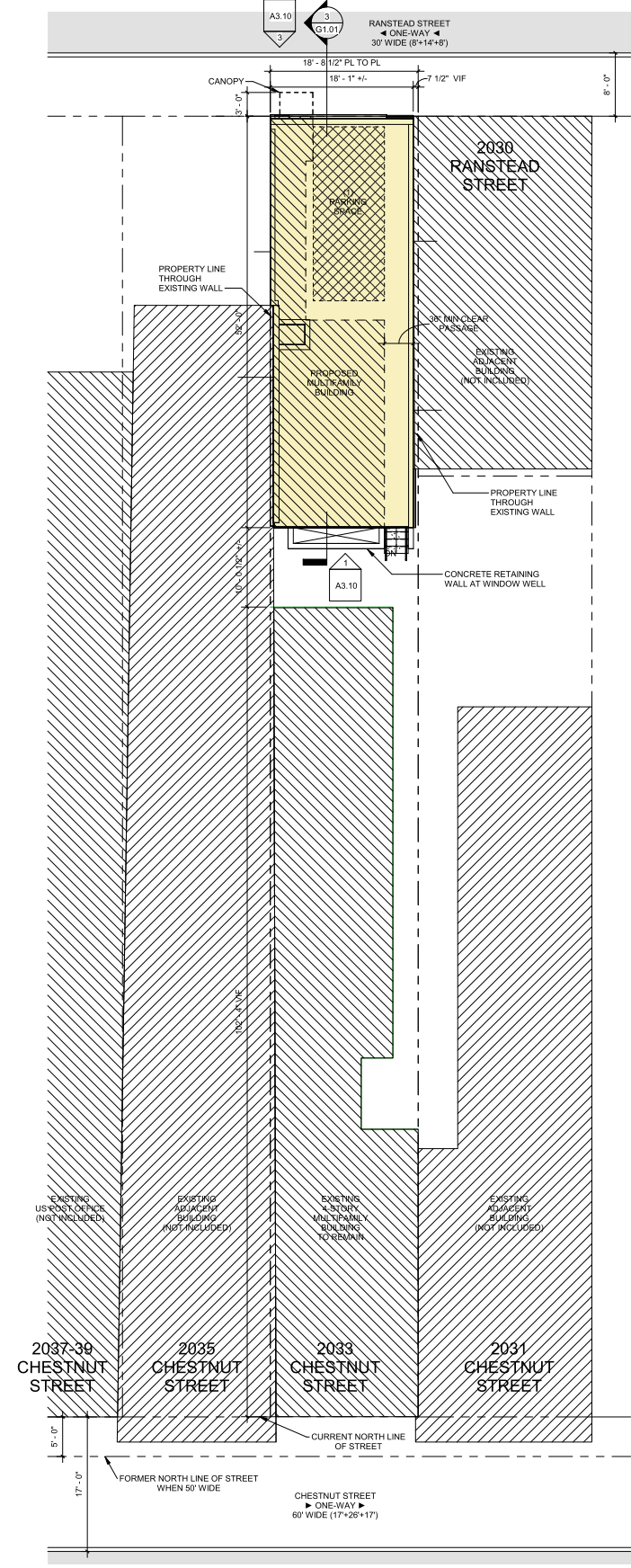
WINDOW DATA TABLE

MARK	OPERATION	QTY	HEIGHT	WIDTH	SG FT EACH	SG FT TOTAL
A	SINGLE HUNG	2	6'-0"	9'-9 1/2"	58.75	117.5
B	FIXED	2	6'-0"	9'-9 1/2"	58.75	117.5
C	CASEMENT	1	3'-0"	1'-6"	4.5	4.5
D	DOUBLE HUNG	8	6'-0"	3'-0"	18	144
E	FIXED	2	3'-0"	3'-0"	9	18
F	FIXED	5	6'-0"	1'-6"	9	45
G	FIXED	1	3'-0"	1'-6"	4.5	4.5
H	FIXED	1	5'-0"	3'-0"	15	15
J	FIXED	1	5'-0"	1'-6"	7.5	7.5

REQUIRED OCCUPANCY

FUNCTION OF SPACE (PER 2018 IBC 1004.5)	KEY	NAME	AREA	LOAD FACTOR	OCCUPANT LOAD
1ST FLOOR					
ACCESSORY STORAGE	AS	OPEN-AIR PARKING & ACCESSORY SPACES	809 SF	300 SF	5
RESIDENTIAL	R	1ST FLOOR	120 SF	200 SF	2
1ST FLOOR					
2ND FLOOR					
RESIDENTIAL	R	2ND FLOOR	924 SF	200 SF	5
2ND FLOOR					
2ND LOFT					
RESIDENTIAL	R	2ND FLOOR MEZZANINE "B" LOFT	216 SF	200 SF	2
RESIDENTIAL	R	2ND FLOOR MEZZANINE "C" LOFT	175 SF	200 SF	2
2ND LOFT					
RESIDENTIAL	R	3RD FLOOR	924 SF	200 SF	5
3RD FLOOR					
RESIDENTIAL	R	3RD FLOOR MEZZANINE "D" LOFT	215 SF	200 SF	2
RESIDENTIAL	R	3RD FLOOR MEZZANINE "E" LOFT	182 SF	200 SF	2
3RD LOFT					
RESIDENTIAL	R	3RD LOFT	4		
TOTAL BUILDING:					25

NOTE: OCCUPANT LOAD IS INCREASED FROM TABLE 1004.5 AMOUNT FOR SOME AREAS PER 1004.5.1.



⑦ ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

FDR ALL WINDOWS:
MAX U-FACTOR = 0.32
MAX SHGC = 0.40

GRAND TOTAL
473.5 SQ FT

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phone: 215 829 0922 x154
CONTACT PERSON: Chris Stigler

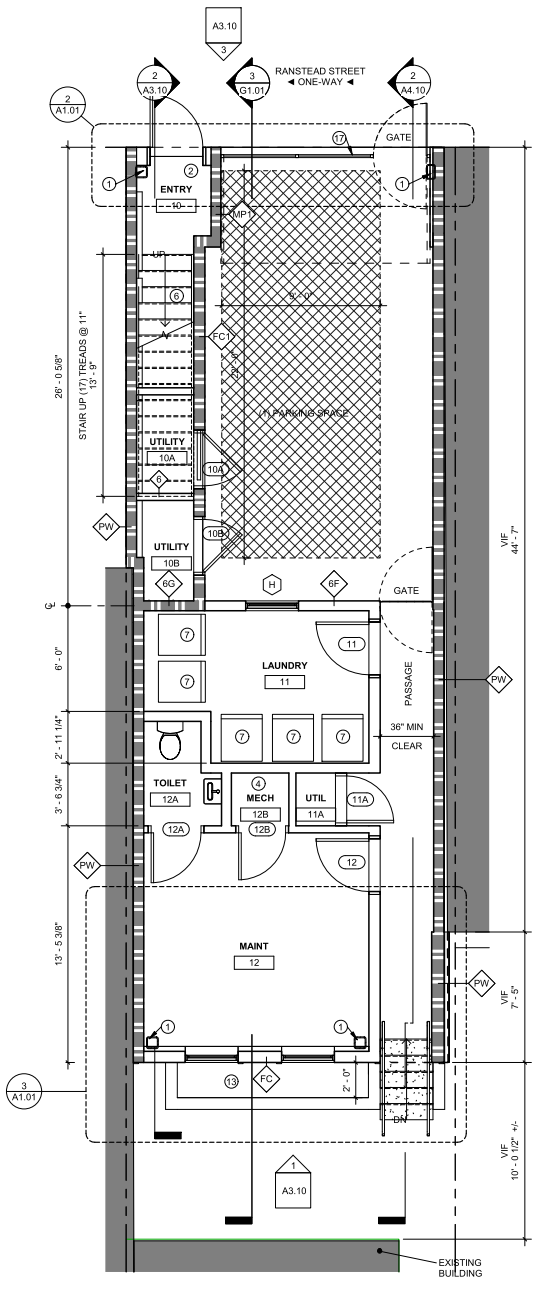
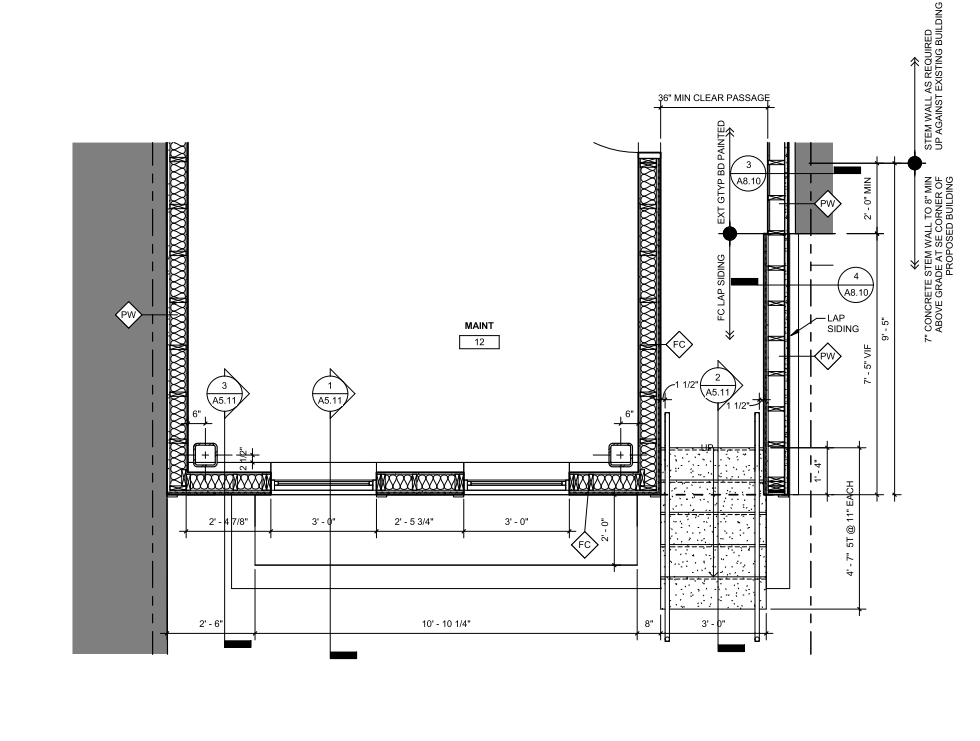
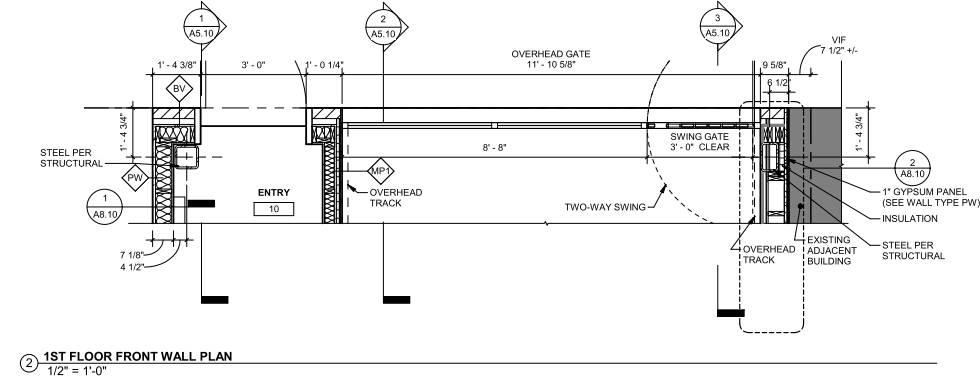
OWNER
Thom Tsheopoulos
phone: 610 909 0204

STRUCTURAL
DC/Macintosh Engineers
phone: 484 475 2160
CONTACT PERSON: Steve Krumenacker

CIVIL
Stantec
phone: 215 665 7000
CONTACT PERSON: Greg Gress

FLOOR PLAN LEGEND	
	EXISTING WALL TO REMAIN
	NEW WALL, SEE PARTITION SCHED. & WALL DETAILS
	EXISTING DOOR TO REMAIN
	NEW DOOR, SEE SCHED.
	NEW MILLWORK
	AREA NOT IN SCOPE

- FLOOR PLAN GENERAL NOTES**
- DO NOT SCALE DRAWINGS.
 - CONTRACTOR TO VERIFY ALL FIELD DIMENSIONS AND INFORM ARCHITECT OF ALL DISCREPANCIES PRIOR TO COMMENCEMENT OF ALL WORK.
 - NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS IN THE LOCATION(S) OF NEW CONSTRUCTION. UPON COMPLETION OF PARTITION LAYOUT, NOTIFY THE ARCHITECT FOR VERIFICATION OF THE LAYOUT PRIOR TO PARTITION INSTALLATION.
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 - FOR EXTERIOR DIMENSIONS: ALL DIMENSIONS ARE TO THE EXTERIOR FACE OF STUDS, CENTERLINE OF COLUMNS, AND THE CENTERLINE OF MULLIONS, U.O.N.
 - DIMENSIONS MARKED +/- MEAN A TOLERANCE OF NOT GREATER THAN 2 INCHES FROM INDICATED DIMENSION, UNLESS NOTED OTHERWISE.
 - SET FINISH DOOR OPENINGS AT 6" FROM ADJACENT PERPENDICULAR PARTITION U.O.N.
 - NEW CONSTRUCTION SHOWN ALIGNED WITH EXISTING CONSTRUCTION SHALL BE INSTALLED FLUSH AND SMOOTH.
 - [NOT USED / RESERVED]
 - PROVIDE CONCEALED BLOCKING IN ALL PARTITIONS WHEN MOUNTING HANDRAILS, GRAB BARS, CABINETRY, SHELVING, COAT RODS AND SHELVES, COUNTERS AS WELL AS DOOR FRAMES AND HEADERS.
 - FIRE STOPPING IS REQUIRED AT ALL THRU-WALL/FLOOR PENETRATIONS. FIRE-RATING TO MATCH RESPECTIVE WALL/FLOOR.
 - ALL EXPOSED STEEL SURFACES TO BE PAINTED, U.O.N.
 - UNLESS OTHERWISE NOTED, ALL FIRE EXTINGUISHERS TO BE CENTERED ON WALL LENGTH OR 18" FROM NEAREST ADJACENT CORNER OR DOOR AS SHOWN. PROVIDE FIRE EXTINGUISHERS IN QUANTITY REQUIRED BY CODE. PROVIDE APARTMENT UNITS WITH FIRE EXTINGUISHER(S) ON EACH LEVEL.



- FLOOR PLAN KEYED NOTES**
- STEEL FRAME FOR WALL BRACING. SEE STRUCTURAL.
 - CLUSTER ELECTRICAL METERS IN THIS NICHE WITH PECO APPROVAL OR PROVIDE MAILBOXES (USPS APPROVED).
 - PLUMBING CHASE.
 - CLOSET FOR WATER HEATER AND HVAC UNIT.
 - BOX WOOD STAIR WITH 1-HOUR RATING ASSEMBLY BELOW. SEE SECTIONS FOR EXTENTS OF RATING.
 - BOX WOOD STAIR UNKATED BELOW. SEE SECTIONS.
 - DRYER STACKED ABOVE WASHER.
 - PROVIDE HOOKUPS FOR FUTURE WASHER & DRYER.
 - SHOWER - 48x36 NOMINAL.
 - PROVIDE CARD READER AT THIS DOOR. COORDINATE WITH ALL TRADES. OWNER TO SELECT SYSTEM.
 - CLOSET - PROVIDE FREE-SLIDE COATED WIRE SHELVING.
 - BUILT-IN SHELVING.
 - WINDOW WELL - DEPTH COORDINATED WITH SILL HEIGHT AND FOUNDATION DESIGN.
 - NICHE WITH SEATING BENCH, WALL HOOKS, UPPER CABINETS.
 - DIVIDING LINE BETWEEN RATED AND UNRATED FLOOR ASSEMBLIES. PROVIDE CONTINUOUS SUBFLOOR AND UNDERLAYMENTS ON BOTH SIDES OF LINE. ENSURE FINISHED FLOOR IS LEVEL.
 - BUILD UP FLOOR FOR STAIR LANDING.
 - OVERHEAD LIFT GATE WITH INTEGRAL 36" WIDE SWING DOOR.
 - [NOT USED / RESERVED]
 - [NOT USED / RESERVED]
 - 36" WIDE COUNTER DEPTH REFRIGERATOR.

Project:
2033 Chestnut Street Multifamily Building

Project Address:
2033 Chestnut St
Philadelphia, PA 19103

Sheet Title:
1st FLOOR PLAN



DUTY TO INSPECT CONTRACT DOCUMENTS PRIOR TO STARTING WORK:
Any party who relies in part or whole on the content of these Construction Documents shall, before beginning any work, be responsible for fully inspecting the complete set of Contract Documents, including all Drawings, Specifications, and Addenda, for completeness, conflicts, scope of work, and suitability for constructing the building. All parties relying on these documents represent that they have expertise in the area of their responsibility and are knowledgeable regarding industry standards, product requirements and code requirements and therefore are qualified to fully evaluate and interpret the contract documents. All parties relying on these documents must, prior to beginning work, submit all requests for clarification and additional information to the Architect in writing. All parties who begin work hereby certify that the documents are suitable for their intended purposes unless noted in specific written exception hereinafter.

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Release

Date	Comments	Δ

BHA Job Number: 22-127
Scale: As indicated
Drawn By: JU
Checked By: CS
Approved By: JH
Sheet No.:

A1.01

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phone: 215.629.0922 x154
CONTACT PERSON: Chris Stigler

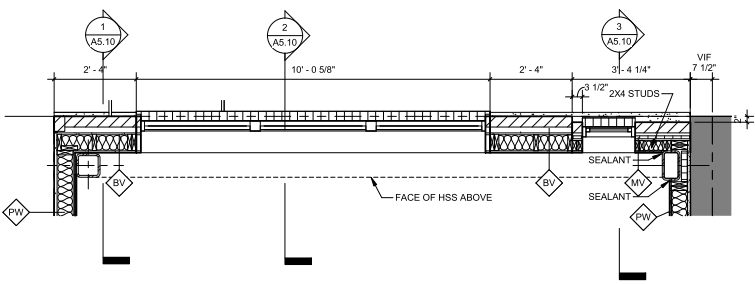
OWNER
Thom Tzengopoulos
phone: 610.909.0204

STRUCTURAL
DCI/Macintosh Engineers
phone: 484.475.2160
CONTACT PERSON: Steve Krumenacker

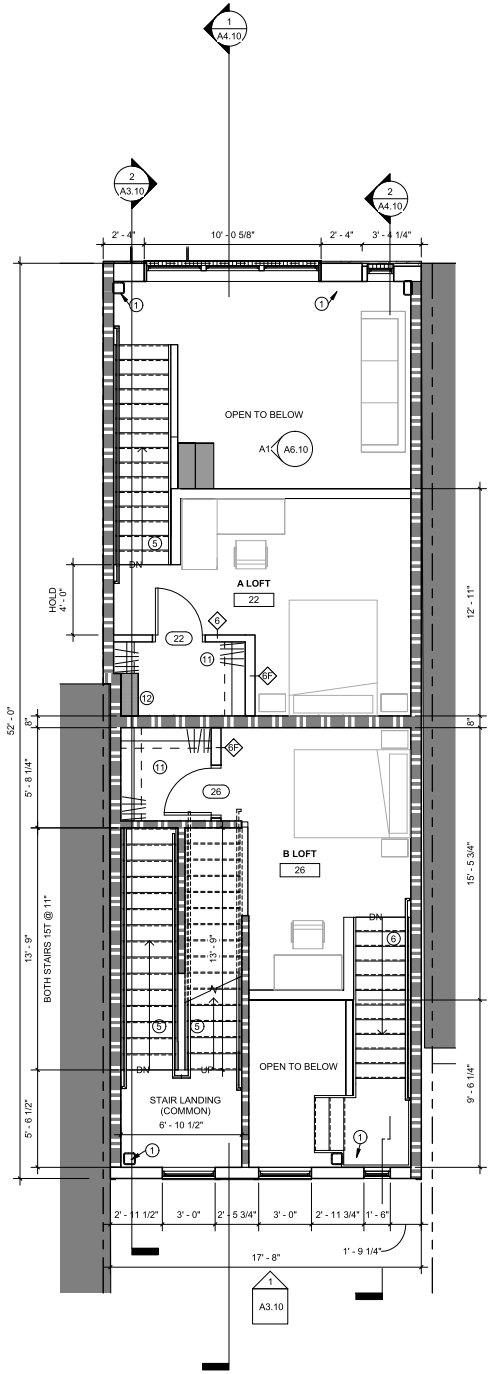
CIVIL
Stantec
phone: 215.665.7000
CONTACT PERSON: Greg Gress

FLOOR PLAN LEGEND	
	EXISTING WALL TO REMAIN
	NEW WALL, SEE PARTITION SCHED. & WALL DETAILS
	EXISTING DOOR TO REMAIN
	NEW DOOR, SEE SCHED.
	NEW MILLWORK
	AREA NOT IN SCOPE

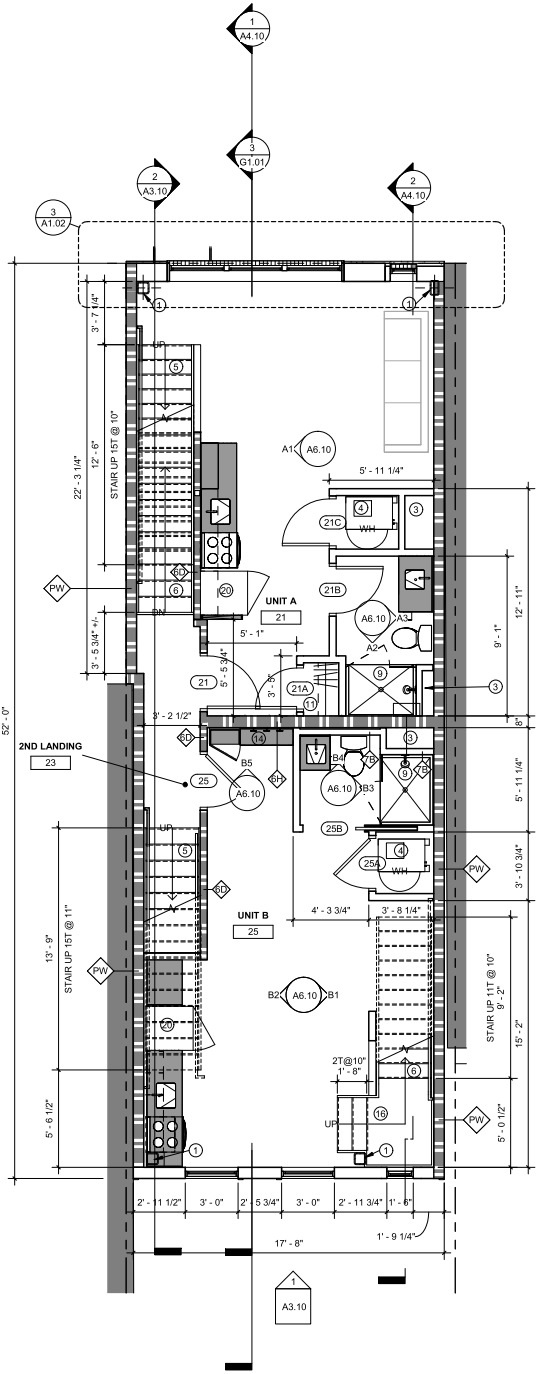
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3 2ND FLOOR FRONT WALL PLAN
1/2" = 1'-0"



2 2ND FLOOR LOFT
1/4" = 1'-0"



1 2ND FLOOR
1/4" = 1'-0"

- ### FLOOR PLAN KEYED NOTES
- STEEL FRAME FOR WALL BRACING. SEE STRUCTURAL.
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 - CLOSET FOR WATER HEATER AND HVAC UNIT.
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 - BOX WOOD STAIR UNRATED BELOW. SEE SECTIONS.
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 - BUILD UP FLOOR FOR STAIR LANDING.
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 - [NOT USED / RESERVED]
 - [NOT USED / RESERVED]
 - 36" WIDE COUNTER DEPTH REFRIGERATOR.

Project:
**2033 Chestnut Street
Multifamily Building**

Project Address:
2033 Chestnut St
Philadelphia, PA 19103

Sheet Title:
2ND FLOOR PLANS

Seal



DUTY TO INSPECT CONTRACT DOCUMENTS PRIOR TO STARTING WORK:
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Date	Comments	Δ

BHA Job Number: 22-127
Scale: As indicated
Drawn By: JU
Checked By: CS
Approved By: JH
Sheet No.

A1.02

7/21/2023 3:55:55 PM



phone: 215.629.0922 x154
CONTACT PERSON: Chris Stigler

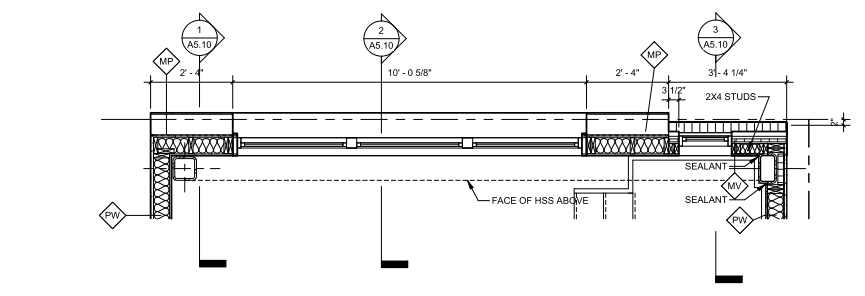
OWNER
Thom Taboropoulos
phone: 610.909.0204

STRUCTURAL
DCM Macintosh Engineers
phone: 484.475.2160
CONTACT PERSON: Steve Krumenacker

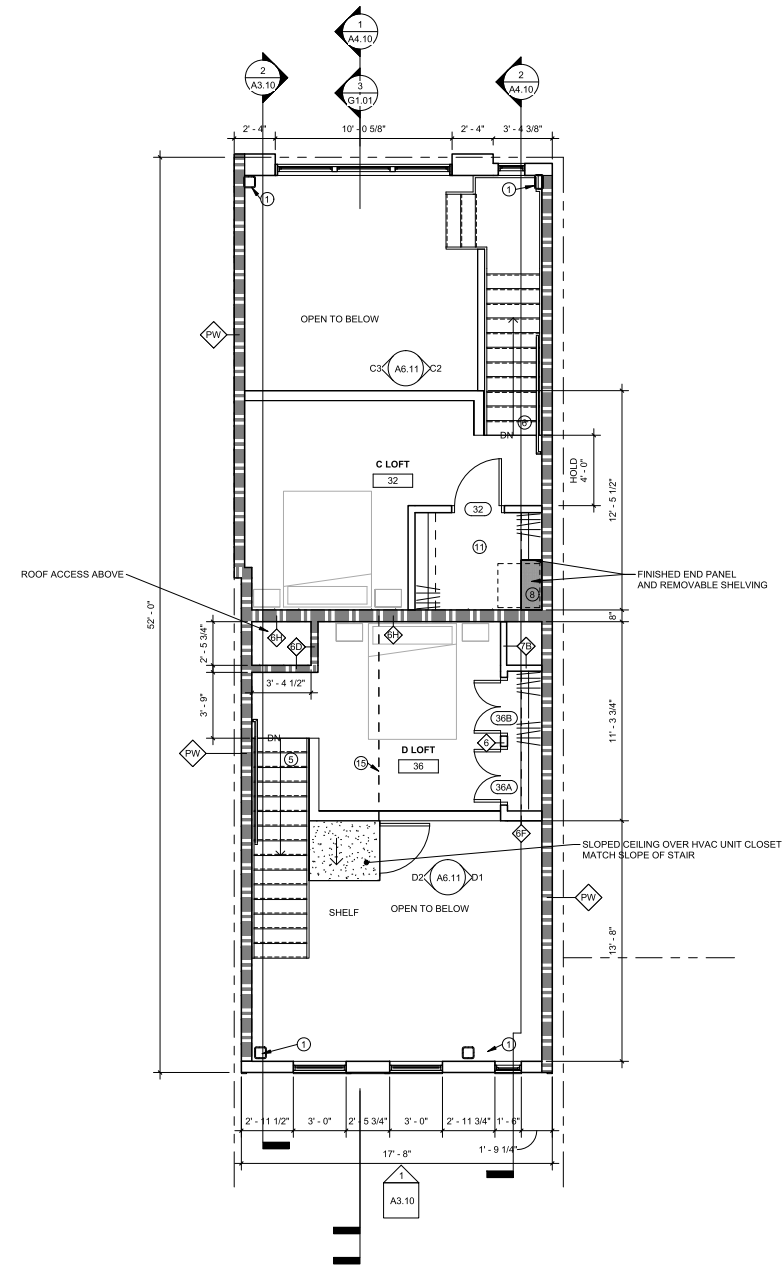
CIVIL
Stantec
phone: 215.665.7000
CONTACT PERSON: Greg Gress

FLOOR PLAN LEGEND	
	EXISTING WALL TO REMAIN
	NEW WALL, SEE PARTITION SCHED. & WALL DETAILS
	EXISTING DOOR TO REMAIN
	NEW DOOR, SEE SCHED.
	NEW MILLWORK
	AREA NOT IN SCOPE

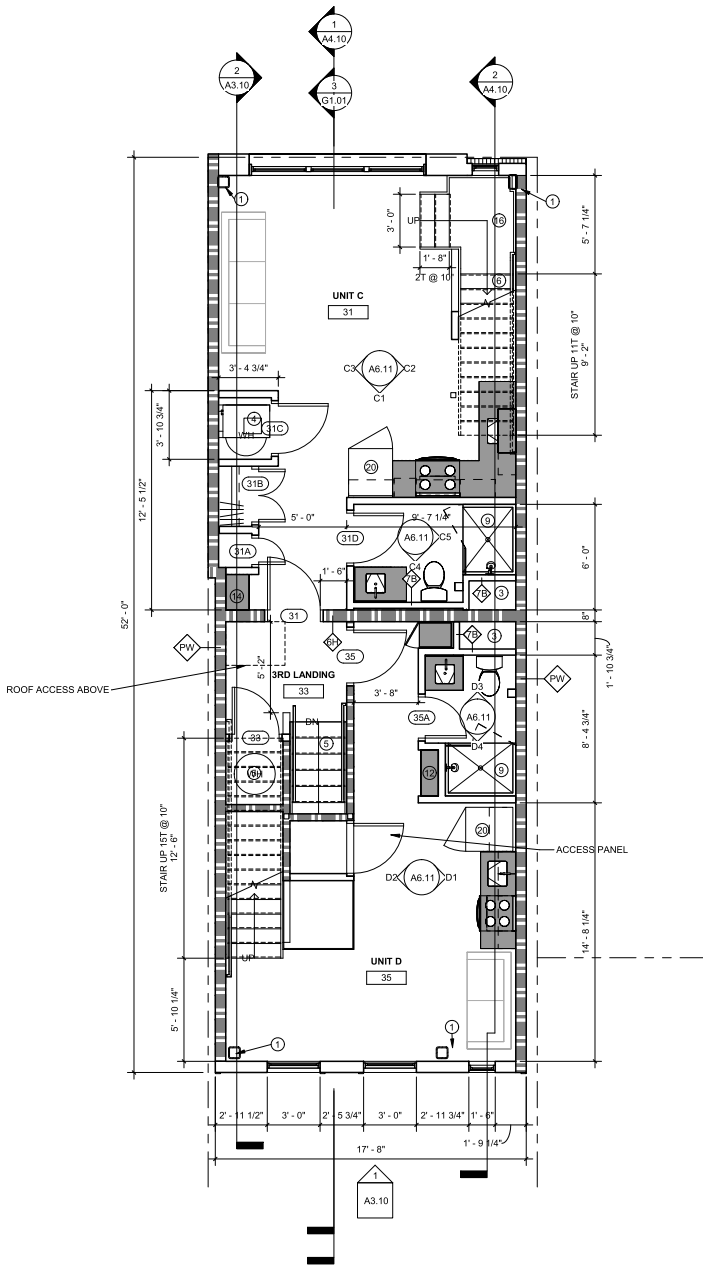
- ### FLOOR PLAN GENERAL NOTES
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3 3RD FLOOR FRONT FLOOR PLAN
1/2" = 1'-0"



2 3RD LOFT
1/4" = 1'-0"



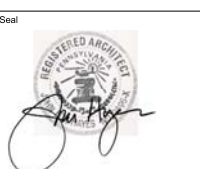
1 3RD FLOOR
1/4" = 1'-0"

- ### FLOOR PLAN KEYED NOTES
- STEEL FRAME FOR WALL BRACING. SEE STRUCTURAL.
 - CLUSTER ELECTRICAL METERS IN THIS NICHE WITH PECO APPROVAL OR PROVIDE MAILBOXES (USPS APPROVED).
 - PLUMBING CHASE.
 - CLOSET FOR WATER HEATER AND HVAC UNIT.
 - BOX WOOD STAIR WITH 1-HOUR RATING ASSEMBLY BELOW. SEE SECTIONS FOR EXTENTS OF RATING.
 - BOX WOOD STAIR UNRATED BELOW. SEE SECTIONS.
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 - PROVIDE HOOKUPS FOR FUTURE WASHER & DRYER.
 - SHOWER - 48x36 NOMINAL.
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 - [NOT USED / RESERVED]
 - [NOT USED / RESERVED]
 - 36" WIDE COUNTER DEPTH REFRIGERATOR.

Project:
2033 Chestnut Street
Multifamily Building

Project Address:
2033 Chestnut St
Philadelphia, PA 19103

Sheet Title:
3RD FLOOR PLANS



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Date	Comments	Δ

BHA Job Number: 22-127
Scale: As indicated
Drawn By: JU
Checked By: CS
Approved By: JH
Sheet No.

A1.03

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7/21/2023 3:56:57 PM

ROOF PLAN GENERAL NOTES

- 1. DO NOT SCALE DRAWINGS.
2. CONTRACTOR TO VERIFY ALL FIELD DIMENSIONS AND INFORM ARCHITECT OF ALL DISCREPANCIES PRIOR TO COMMENCEMENT OF ALL WORK.
3. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS IN THE LOCATION(S) OF NEW CONSTRUCTION. UPON COMPLETION OF PARTITION LAYOUT, NOTIFY THE ARCHITECT FOR VERIFICATION OF THE LAYOUT PRIOR TO PARTITION INSTALLATION.
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9. DIMENSIONS MARKED +/- MEAN A TOLERANCE OF NOT GREATER THAN 2 INCHES FROM INDICATED DIMENSION, UNLESS NOTED OTHERWISE.
10. [NOT USED / RESERVED]
11. NEW CONSTRUCTION SHOWN ALIGNED WITH EXISTING CONSTRUCTION SHALL BE INSTALLED FLUSH AND SMOOTH

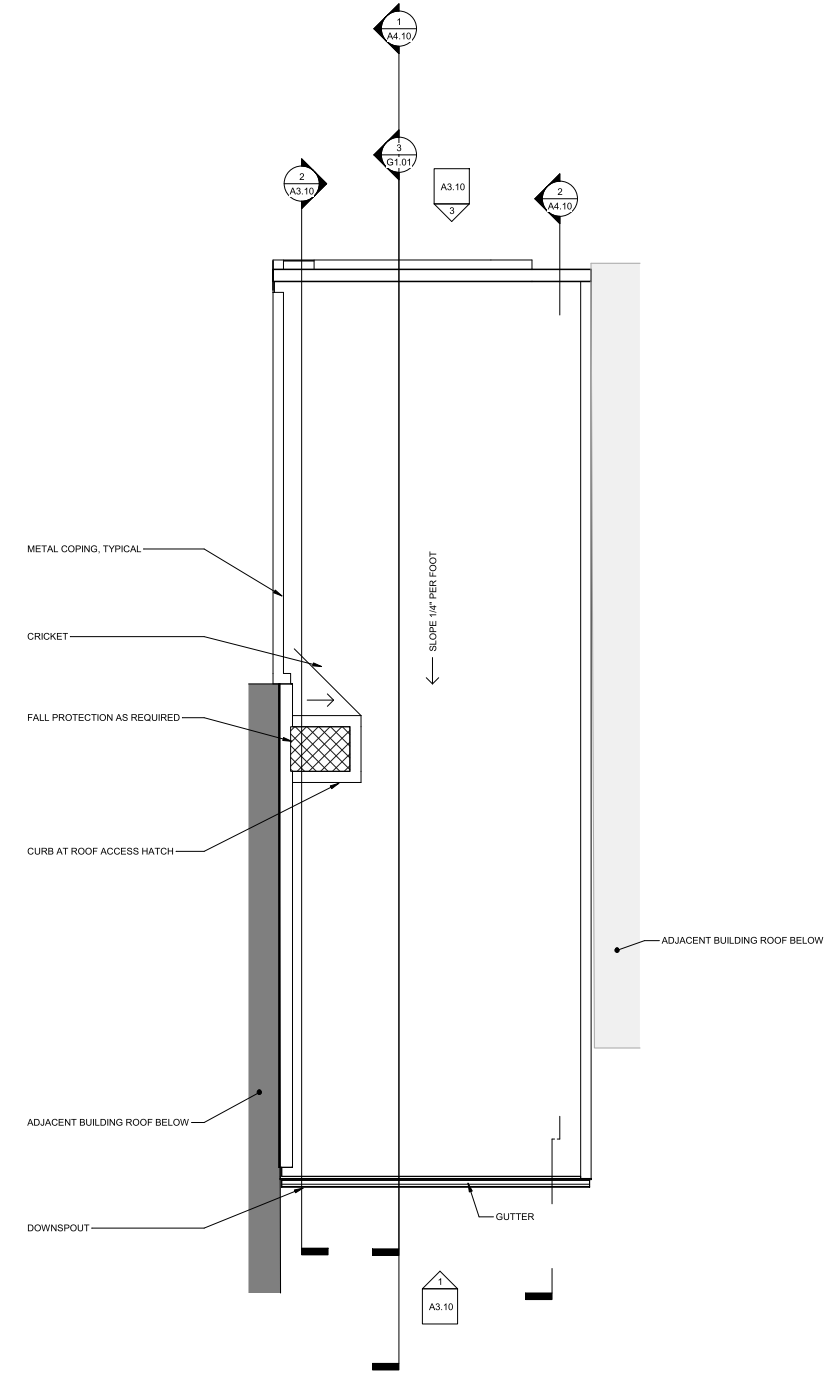


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phone: 610.909.0204

STRUCTURAL
DC+Macintosh Engineers
phone: 484.475.2150
CONTACT PERSON: Steve Krumenacker

CIVIL
Stantec
phone: 215.665.7000
CONTACT PERSON: Greg Gress



1 ROOF PLAN
1/4\" = 1'-0"

7/21/2023 3:56:57 PM

Project:
2033 Chestnut Street
Multifamily Building

Project Address:
2033 Chestnut St
Philadelphia, PA 19103

Sheet Title:
ROOF PLAN



DUTY TO INSPECT CONTRACT DOCUMENTS PRIOR TO STARTING WORK
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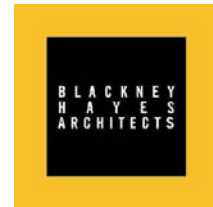
Warning: Actual conditions may vary from conditions shown on this drawing. Confirm all information in the field before proceeding with any work and notify the Architect in writing if a variation is discovered.

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Release table with columns: Date, Comments, and a triangle symbol.

BHA Job Number: 22-127
Scale: As indicated
Drawn By: JU
Checked By: CS
Approved By: JH

Sheet No.
A1.04



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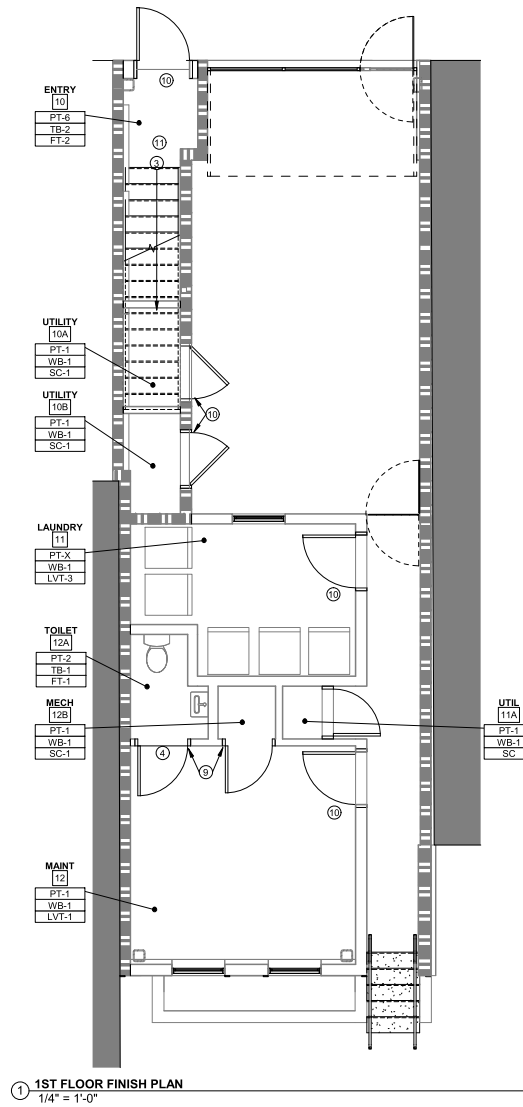
CIVIL
Stantec
phone: 215.665.7000
CONTACT PERSON: Greg Gress

FINISH PLAN KEYED NOTES

- 1 PROVIDE FLOOR TO CEILING WALL TILE (WT-1) PROVIDE SCHLUTER STRIP FINISHED EDGE AT OUTSIDE CORNERS.
- 2 PROVIDE SHOWER PAN (TZ-1)
- 3 PROVIDE LVT TREADS (LVT-2) AND FLOORING. PROVIDE AVA FLOORING-FLUSH STAIR NOSING 298 IN COLOR AND PATTERN TO MATCH
- 4 PROVIDE FLOOR TRANSITION BETWEEN PORCELAIN TILE AND LVT SEE DETAIL (2/A9-10)
- 5 PROVIDE FLOOR TRANSITION BETWEEN LVT IN CORRIDOR AND UNIT
- 6 PROVIDE NEW BACKSPLASH TILE ABOVE THE COUNTER (WT-2)
- 7 PROVIDE TRANSITION BETWEEN PORCELAIN TILE AND CONCRETE (3/A9-10)
- 8 PROVIDE FLOOR TRANSITION BETWEEN LVT AND CONCRETE (3/A9-10)
- 9 INTERIOR DOORS AND TRIM TO BE PAINTED (PT-3) IN UNITS
- 10 EXTERIOR DOORS AND TRIM TO BE PAINTED (PT-4) IN HALLS
- 11 HAND RAILS TO BE PAINTED (PT-4)

FINISH PLAN GENERAL NOTES

1. ALL MATERIALS TO BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDED INSTRUCTIONS.
2. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISH MATERIALS TO OWNER FOR APPROVAL BEFORE ORDERING OR INSTALLING ANY FINISH MATERIAL INCLUDING BUT NOT LIMITED TO: CARPET, PAINT, WALL COVERINGS, FLOORING MATERIALS AND ANY OTHER FINISH PRODUCT WHICH COMES IN A VARIETY OF FINISHES, TYPES AND COLORS. THE FINISH SCHEDULE IS A GUIDE ONLY. FINAL APPROVALS MUST BE OBTAINED FROM TENANT & ARCHITECT IN WRITING BEFORE PROCEEDING WITH WORK.
3. CONTRACTOR TO PROTECT EXISTING AREAS DURING CONSTRUCTION AND CLEAN AS REQUIRED AT COMPLETION OF CONSTRUCTION.
4. ALL WALL, COLUMNS, SURFACES AND PERIPHERAL WINDOW DETAILS TO BE PROPERLY SPACKLED AND SANDED SMOOTH WITH NO VISIBLE JOINTS TO PROVIDE A PERFECTLY SMOOTH SURFACE TO RECEIVE ONE PRIMER COAT AND TWO FINISH COATS OF PAINT. EXISTING WALLS PREPARED AS REQUIRED TO LIKE-NEW CONDITION TO ACCEPT NEW FINISH PRODUCT.
5. REFER TO FINISH LEGEND FOR PAINT FINISH SPECIFICATION FOR WALLS, TRIM AND FRAMES TO BE SEMI-GLOSS LATEX.
6. CARPET SUBCONTRACTOR TO CHECK ALL DIMENSIONS IN THE FIELD TO VERIFY ACCURACY OF QUANTITIES IN QUOTATIONS. ALL FLOOR PATTERNS TO BE CENTERED IN CORRIDORS AND ROOMS, UNLESS OTHERWISE NOTED.
7. ALL FLOOR FINISHES TO EXTEND UNDER CASEWORK AND KNEE SPACE AND ADA SINK CABINET.
8. ALL PARTITIONS TO BE PAINTED PT-1 UNLESS OTHERWISE NOTED.
9. FLOORING TO EXTEND IN TO ALL COAT CLOSETS AND SUPPLY CLOSETS UNLESS OTHERWISE NOTED.
10. FLOOR MATERIAL CHANGES SHALL OCCUR AT THE CENTER LINE OF THE DOORS EXCEPT WHERE NOTED OTHERWISE. COORDINATE FLOORING SEAM LOCATIONS WITH SWING AND LOCATION OF DOORS.
11. CONTRACTOR SHALL, UPON COMPLETION, REMOVE ALL PAINT FROM WHERE IT SPILLED, SPLASHED, OR SPATTERED ON ALL SURFACES.
12. THE CONTRACTOR SHALL EXAMINE ALL AREAS OF CONSTRUCTION AFTER COMPLETION OF WORK BY ALL TRADES (INCLUDING CABLING, TELEPHONE AND FLOORING INSTALLATION, ETC.) AND APPROVE ALL NECESSARY TOUCH UP PAINTING AND OR PATCHING.
13. UPON COMPLETION, ALL WORK SHALL BE CLEANED BY THE CONTRACTOR REMOVING ALL SPOTS OF ADHESIVE AND SURFACE STAINS AND ALL SCRAPS, CARTONS AND CONTAINERS SHALL BE REMOVED FROM BUILDING.
14. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE PROTECTION FOR ALL FLOORING WORK FOR THE DURATION OF THE CONTRACT, AND REMOVE ALL PROTECTION UPON PROJECT COMPLETION.
15. PAINTED GYPSUM BOARD TO RECEIVE ONE COAT LATEX PRIMER AND TWO COATS OF SPECIFIED PAINT. TINT PRIMER TO APPROXIMATE SHADE OF FINAL COAT. TOUCH UP ALL SUCTION SPOTS OR HOT SPOTS AFTER APPLICATION OF FIRST COAT AND BEFORE APPLYING SECOND COAT. TO PROVIDE AN EVEN RESULT IN THE FINISH COAT. DRY ALL COATS THOROUGHLY BEFORE APPLYING SUCCESSIVE COATS. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR RECEIPT TIME. PRIMER TO BE LOW VOC PRIMER. NOTE: PAINT TO BE INTERIOR ACRYLIC LATEX THROUGHOUT.
16. PROVIDE REDUCER STRIPS AT CHANGE OF FLOOR MATERIALS AS REQUIRED. COLOR TO MATCH VINYL BASE. REDUCER STRIPS TO BE ADA COMPLIANT.
17. WHERE ATYPICAL CONDITIONS OCCUR, CONTRACTOR IS TO VERIFY FINISH TREATMENT WITH ARCHITECT BEFORE PROCEEDING.
18. PAINT ALL DIFFUSERS, GRILLES, ACCESS PANELS ETC. TO MATCH ADJACENT SURFACES.
19. SUB-FLOOR IS TO BE PATCHED, REPAIRED AND MADE SMOOTH AND LEVEL TO RECEIVE NEW FLOORING.
20. ALL SOFFITS TO BE SAME FINISH AND COLOR AS ADJACENT WALL U.O.N.
21. FLOOR COVERINGS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURING INSTRUCTIONS TO LAY SMOOTH AND EVENLY. WHERE CARPET TILE IS USED, ALL TILE TO BE INSTALLED WITH NO LESS THAN A 1/2" CUT AT ANY ENDING POINT.
22. CONTRACTOR TO CONFIRM QUANTITY OF ATTIC STOCK REQUIRED WITH OWNER.
23. INTERIOR FINISHES SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN IBC 2018. ALL WALL & CEILING TO HAVE CLASS C RATING PER TABLE 803.1.1. FLOORING MATERIAL TO BE NOT LESS THAN CLASS II PER IBC 2018 AND TO COMPLY WITH THE DOC FF-1 "PILL TEST".
24. PROVIDE LOW VOC PAINT FINISH THROUGHOUT. B.O.D. SHERWIN WILLIAMS: PRO MAR 200 HP ZERO VOC INTERIOR LATEX OR EQUAL.
25. ALL EXISTING A DRYWALL CEILINGS ARE TO BE PAINTED (PT-3) CONTRACTOR TO CONFIRM ACCENT PAINT WALL LOCATIONS WITH TENANT PRIOR TO INSTALLATION. ALL EXISTING AND NEW TRIM TO BE PAINTED.
26. PAINT ALL TRIM AND DOORS IN UNITS (PT-4) U.O.N.
27. PAINT ALL TRIM AND DOORS IN COMMON SPACES (PT-7) UOON



1 1ST FLOOR FINISH PLAN
1/4" = 1'-0"

Project:
2033 Chestnut Street
Multifamily Building

Project Address:
2033 Chestnut St
Philadelphia, PA 19103

Sheet Title:
1ST FLOOR INTERIOR
FINISH PLAN

Seal



DUTY TO INSPECT CONSTRUCTION DOCUMENTS PRIOR TO STARTING WORK

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Release

Date	Comments	Δ

BHA Job Number: 22-127

Scale: As indicated

Drawn By: EM

Checked By: CS

Approved By: JH

Sheet No.

A1.41



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Stantec
phone: 215.665.7000
CONTACT PERSON: Greg Gress

Project:
**2033 Chestnut Street
Multifamily Building**

Project Address:
2033 Chestnut St
Philadelphia, PA 19103

Sheet Title:
**2ND FLOOR INTERIOR
FINISH PLAN**



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Release		
Date	Comments	Δ

BHA Job Number: 22-127
Scale: As indicated
Drawn By: Author
Checked By: Checker
Approved By: Approver
Sheet No.

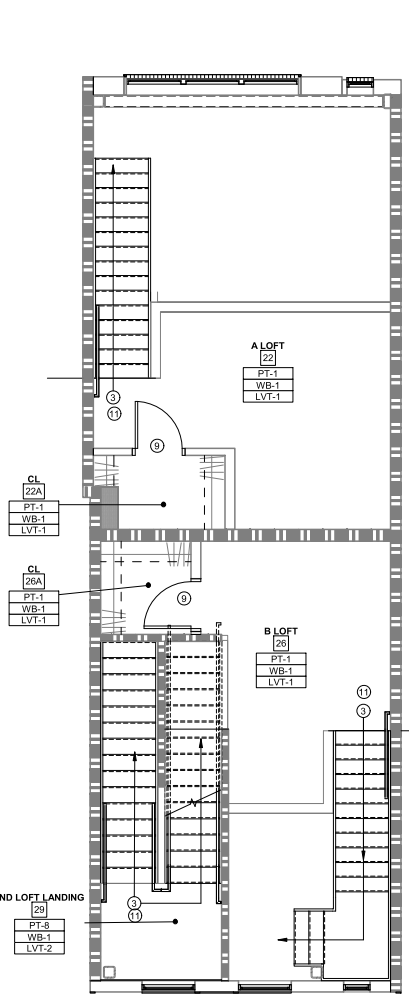
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FINISH PLAN KEYED NOTES

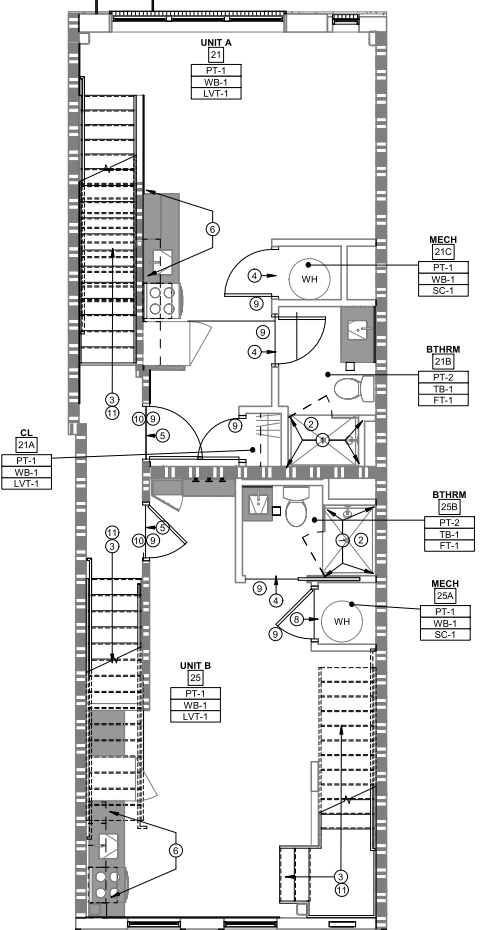
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- 5 PROVIDE FLOOR TRANSITION BETWEEN LVT IN CORRIDOR AND UNIT
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24. PROVIDE LOW VOC PAINT FINISH THROUGHOUT. B.O.D. SHERWIN WILLIAMS: PRO MARK 2018 ZERO VOC INTERIOR LATEX OR EQUAL.
25. ALL EXISTING DRYWALL CEILINGS ARE TO BE PAINTED (PT-3) CONTRACTOR TO CONFIRM ACCENT PAINT WALL LOCATIONS WITH TENANT PRIOR TO INSTALLATION. ALL EXISTING AND NEW TRIM TO BE PAINTED.
26. PAINT ALL TRIM AND DOORS IN UNITS (PT-4) U.O.N.
27. PAINT ALL TRIM AND DOORS IN COMMON SPACES (PT-7) U.O.N.



2 2ND LOFT FINISH PLAN
1/4" = 1'-0"



1 2ND FLOOR FINISH PLAN
1/4" = 1'-0"

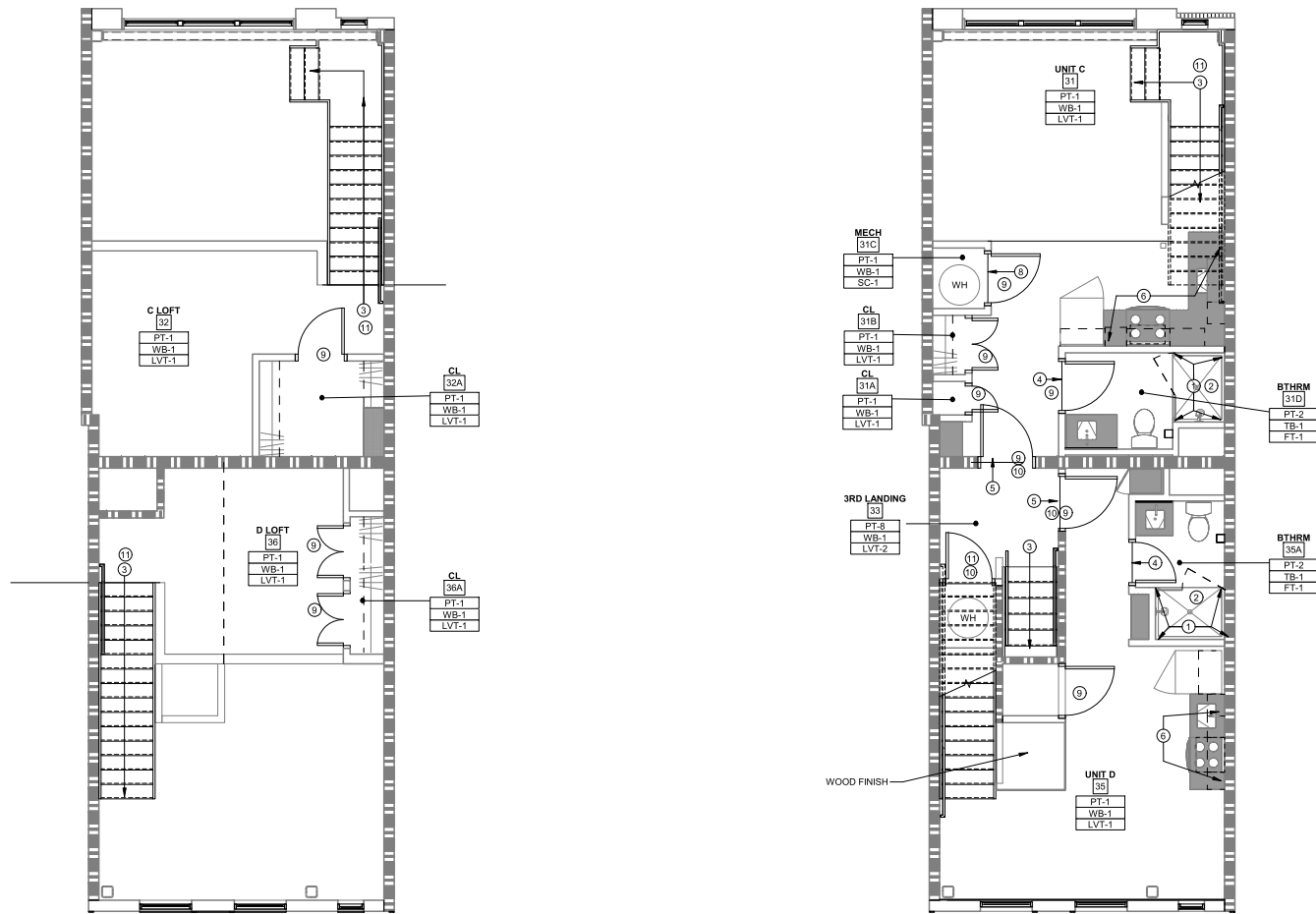
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FINISH PLAN KEYED NOTES

- ① PROVIDE FLOOR TO CEILING WALL TILE (WT-1) PROVIDE SCHLUTER STRIP FINISHED EDGE AT OUTSIDE CORNERS.
- ② PROVIDE SHOWER PAN (TZ-1)
- ③ PROVIDE LVT TREADS (LVT-2) AND FLOORING. PROVIDE ADA FLOORING-FLUSH STAIR NOISING ZONE IN COLOR AND PATTERN TO MATCH.
- ④ PROVIDE FLOOR TRANSITION BETWEEN PORCELAIN TILE AND LVT SEE DETAIL (2/A9.10)
- ⑤ PROVIDE FLOOR TRANSITION BETWEEN LVT IN CORRIDOR AND UNIT
- ⑥ PROVIDE NEW BACKSPLASH TILE ABOVE THE COUNTER (WT-2)
- ⑦ PROVIDE TRANSITION BETWEEN PORCELAIN TILE AND CONCRETE (3/A9.10)
- ⑧ PROVIDE FLOOR TRANSITION BETWEEN LVT AND CONCRETE (3/A9.10)
- ⑨ INTERIOR DOORS AND TRIM TO BE PAINTED (PT-9) IN UNITS
- ⑩ EXTERIOR DOORS AND TRIM TO BE PAINTED (PT-4) IN HALLS
- ⑪ HAND RAILS TO BE PAINTED (PT-4)

FINISH PLAN GENERAL NOTES

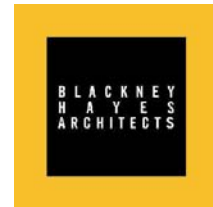
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24. PROVIDE LOW VOC PAINT FINISH THROUGHOUT. B.O.D. SHERWIN WILLIAMS: PRO MAR 200 HP ZERO VOC INTERIOR LATEX OR EQUAL.
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① 3RD LOFT (1)
1/4" = 1'-0"

② 3RD FLOOR FINISH PLAN
1/4" = 1'-0"

7/21/2023 4:00:02 PM



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Project:
**2033 Chestnut Street
Multifamily Building**

Project Address:
2033 Chestnut St
Philadelphia, PA 19103

Sheet Title:
**3RD FLOOR INTERIOR
FINISH PLAN**

Seal



DUTY TO INSPECT CONTRACT DOCUMENTS PRIOR TO STARTING WORK:

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BHA Job Number: 22-127
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Checked By: Checker
Approved By: Approver
Sheet No.

A1.43

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phone: 484.475.2160
CONTACT PERSON: Steve Krumenacker

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Starlec
phone: 215.665.7000
CONTACT PERSON: Greg Gress

Project:
**2033 Chestnut Street
Multifamily Building**

Project Address:
2033 Chestnut St
Philadelphia, PA 19103

Sheet Title:
1ST FLOOR RCP



DUTY TO INSPECT CONTRACT DOCUMENTS PRIOR TO STARTING WORK:
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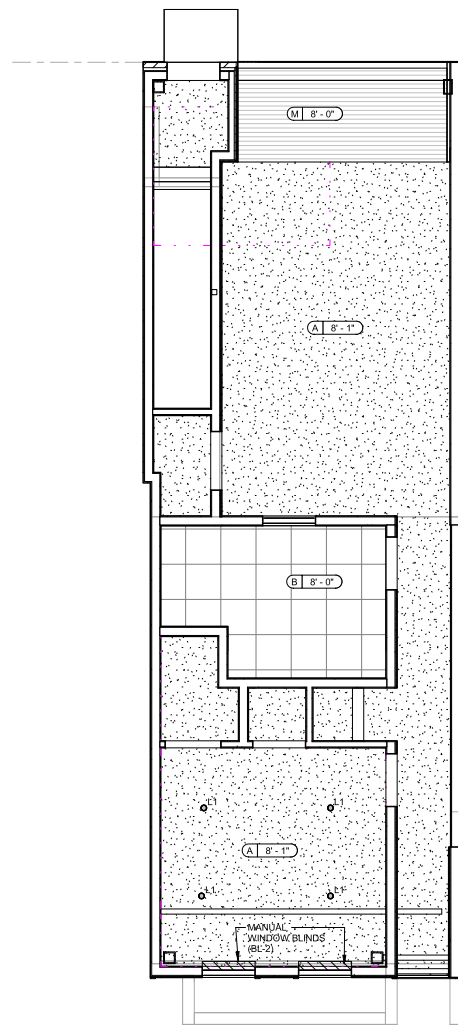
BHA Job Number: 22-127
Scale: As indicated
Drawn By: JU
Checked By: CS
Approved By: JH

Sheet No.

A2.01

RCP LEGEND	
●	RECESSED DOWNLIGHT
■	PENDANT LIGHT
↓	BATH WALL SCONCE
- - -	UNDER COUNTER LIGHTING
□	2X2 TROFFER
	LINEAR SLOT
⊗	SUPPLY DIFFUSER
⊙	RETURN GRILLE
▨	WALL MOUNTED BLINDS REFER TO PLAN FOR MOTORIZED V MANUAL
●	SPRINKLER
⊥	SWITCH
⊥	SWITCH - DIMMER
⊥	SWITCH - 3-WAY
A JXX-XX	CEILING TAG CEILING HEIGHT CEILING TYPE
TYPE	DESCRIPTION
A	GWB CEILING
B	2X2 CEILING TILE & GRID MFR: ARMSTRONG STYLE: CURRUS SIZE: 2X2 GRID: BEVELED TEGULAR 9"X9" COLOR: WHITE
M	METAL PANEL CEILING MATCH PRODUCT ON ADJOINING EXTERIOR WALLS

RCP KEYED NOTES	
①	SAMPLE NOTE TEXT
②	SAMPLE NOTE TEXT



7/21/2023 4:00:03 PM

1 1ST FLOOR RCP
1/4" = 1'-0"





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CONTACT PERSON: Chris Stigler

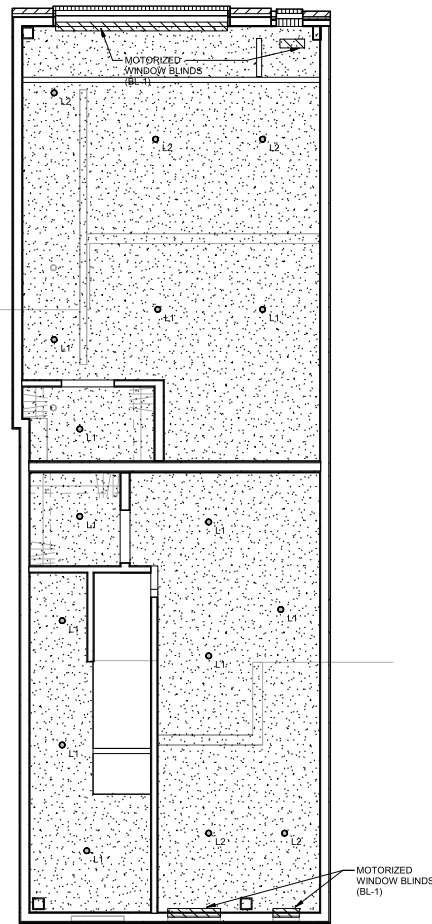
OWNER
Thom Tsiropoulos
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DCH Macintosh Engineers
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CONTACT PERSON: Steve Krumenacker

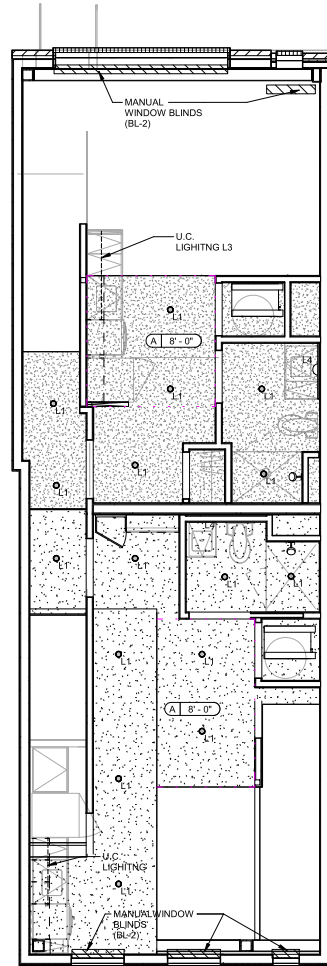
CIVIL
Stantec
phone: 215.665.7000
CONTACT PERSON: Greg Gress

RCP LEGEND	
•	RECESSED DOWNLIGHT
■	PENDANT LIGHT
↓	BATH WALL SCONCE
---	UNDER COUNTER LIGHTING
□	2X2 TROFFER
	LINEAR SLOT
⊗	SUPPLY DIFFUSER
⊘	RETURN GRILLE
▨	WALL MOUNTED BLINDS REFER TO PLAN FOR MOTORIZED V MANUAL
•	SPRINKLER
⊥	SWITCH
⊥	SWITCH - DIMMER
⊥	SWITCH - 3-WAY
A JXX - XX	CEILING TAG CEILING HEIGHT CEILING TYPE
TYPE	DESCRIPTION
A	GWIB CEILING
B	2X2 CEILING TILE & GRID MFR: ARMSTRONG STYLE: CIRRIUS SIZE: 2X2 GRID: BEVELED TEGULAR 9/16" COLOR: WHITE
M	METAL PANEL CEILING MATCH PRODUCT ON ADJOINING EXTERIOR WALLS

RCP KEYED NOTES	
①	SAMPLE NOTE TEXT
②	SAMPLE NOTE TEXT



② 2ND LOFT RCP
1/4" = 1'-0"



① 2ND FLOOR RCP
1/4" = 1'-0"

Project:
**2033 Chestnut Street
Multifamily Building**

Project Address:
2033 Chestnut St
Philadelphia, PA 19103

Sheet Title:
2ND FLOOR RCPs



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Release		
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A2.02

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RCP LEGEND	
	RECESSED DOWNLIGHT
	PENDANT LIGHT
	BATH WALL SCONCE
	UNDER COUNTER LIGHTING
	2X2 TROFFER
	LINEAR SLOT
	SUPPLY DIFFUSER
	RETURN GRILLE
	WALL MOUNTED BLINDS REFER TO PLAN FOR MOTORIZED V MANUAL
	SPRINKLER
	SWITCH
	SWITCH - DIMMER
	SWITCH - 3-WAY
	CEILING TAG CEILING HEIGHT CEILING TYPE
TYPE	DESCRIPTION
A	GWIB CEILING
B	2X2 CEILING TILE & GRID MFR: ARMSTRONG STYLE: CURRUS SIZE: 2'2' GRID: BEVELED TEGULAR 9'16" COLOR: WHITE
M	METAL PANEL CEILING MATCH PRODUCT ON ADJOINING EXTERIOR WALLS

RCP KEYED NOTES	
①	SAMPLE NOTE TEXT
②	SAMPLE NOTE TEXT

Project:
**2033 Chestnut Street
Multifamily Building**

Project Address:
2033 Chestnut St
Philadelphia, PA 19103

Sheet Title:
3RD FLOOR RCPs



DUTY TO INSPECT CONTRACT DOCUMENTS PRIOR TO STARTING WORK:
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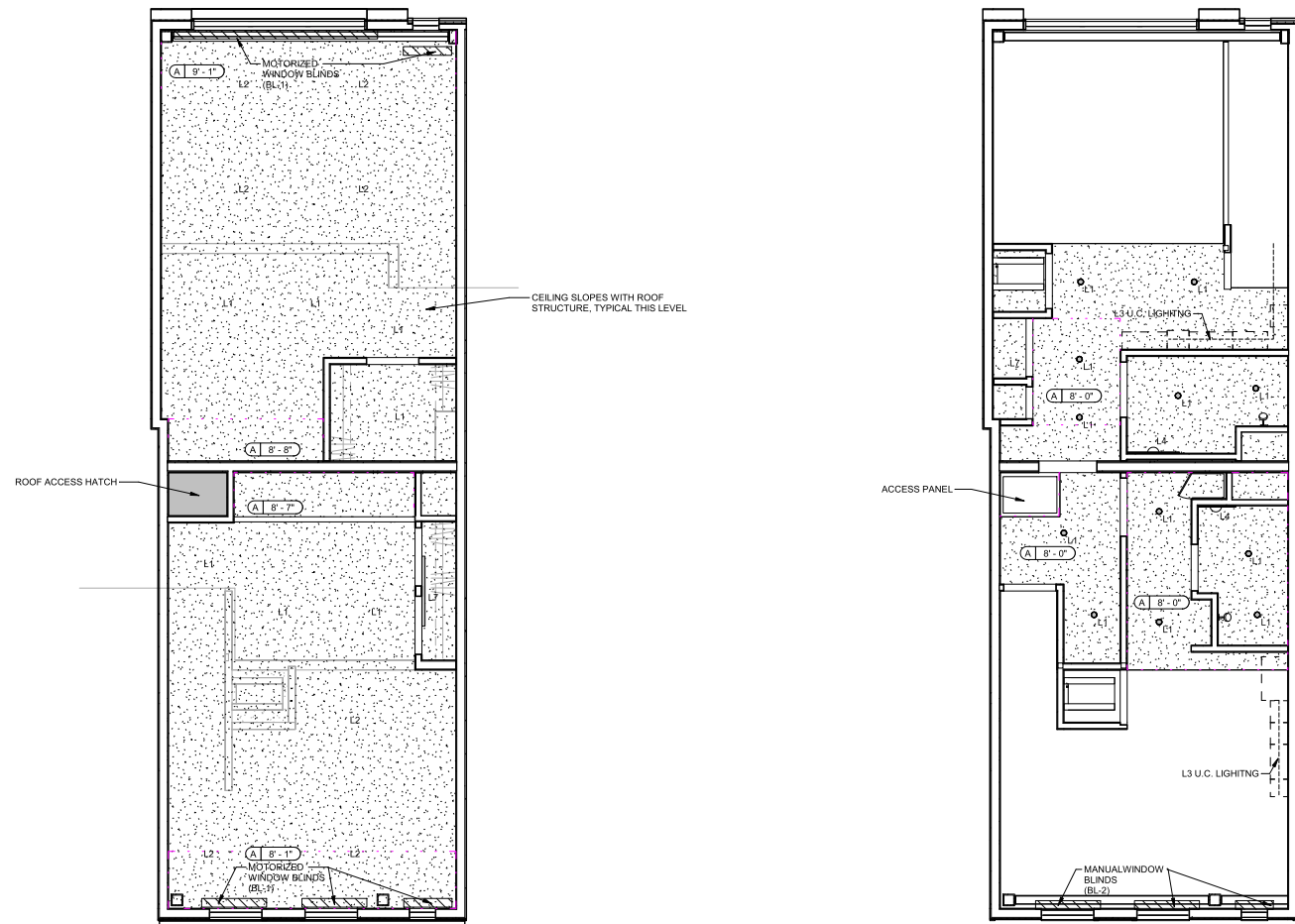
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A2.03



① 3RD LOFT RCP
1/4" = 1'-0"

② 3RD FLOOR RCP
1/4" = 1'-0"

7/21/2023 4:00:06 PM



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Project:
2033 Chestnut Street
Multifamily Building

Project Address:
2033 Chestnut St
Philadelphia, PA 19103

Sheet Title:
BUILDING
ELEVATIONS



DUTY TO INSPECT CONTRACT DOCUMENTS PRIOR TO STARTING WORK:
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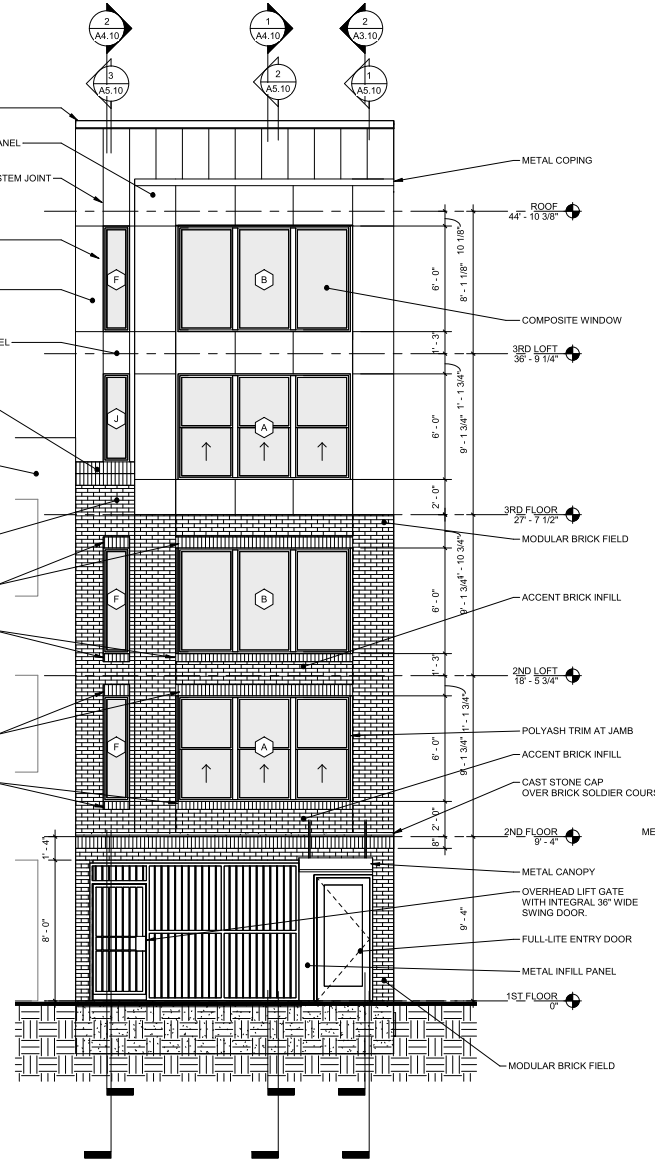
Release

Date	Comments	Δ

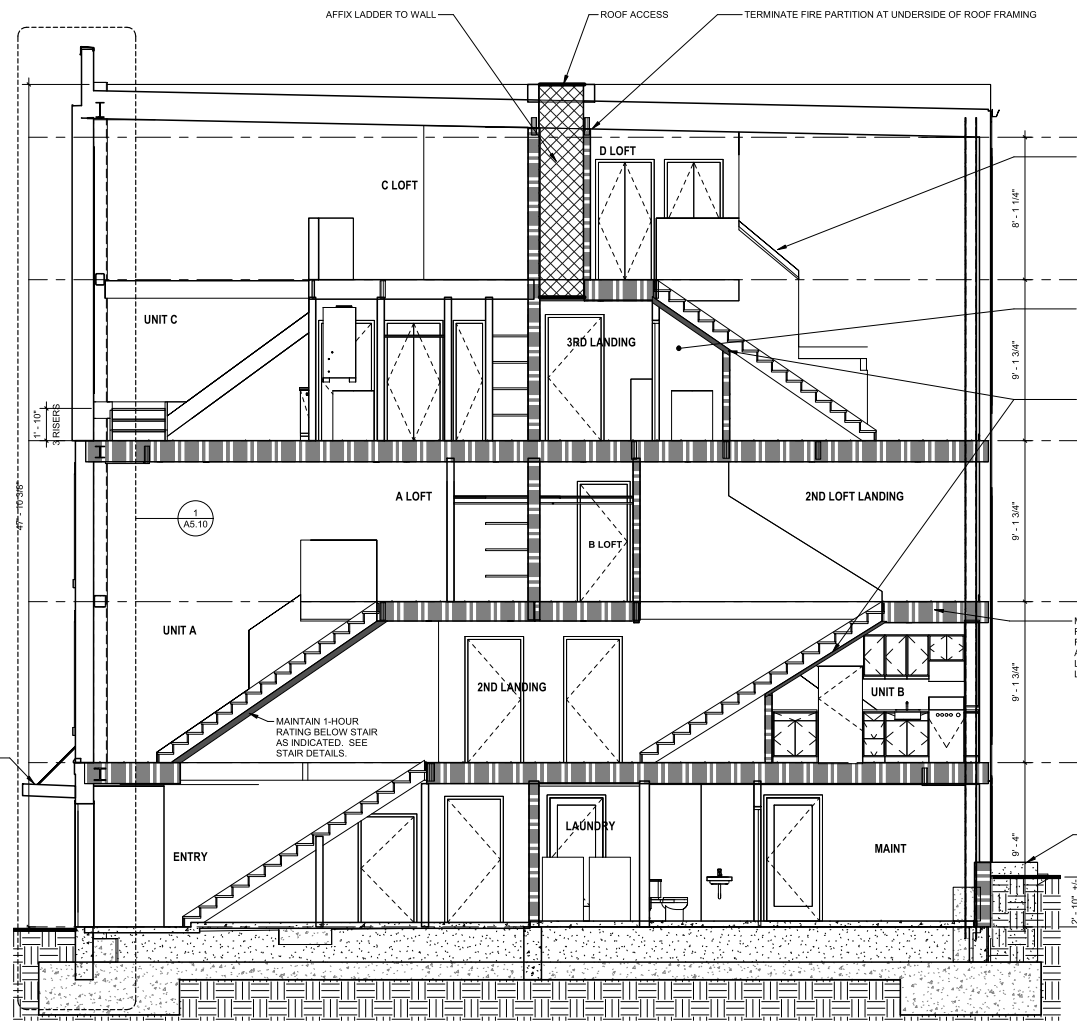
BHA Job Number: 22-127
Scale: 1/4" = 1'-0"
Drawn By: JU
Checked By: CS
Approved By: JH
Sheet No.

A3.10

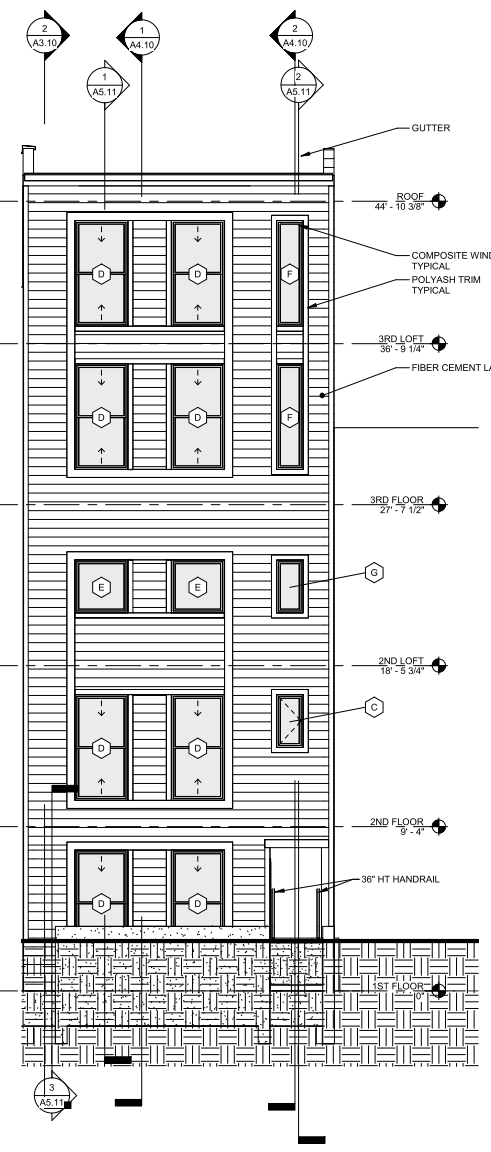
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3 FRONT (NORTH) RANSTEAD ST ELEVATION
1/4" = 1'-0"



2 BLDG SECTION 1 THRU ENTRY AND MOST STAIRS
1/4" = 1'-0"



1 REAR (SOUTH) ELEVATION
1/4" = 1'-0"

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Project:
**2033 Chestnut Street
Multifamily Building**

Project Address:
2033 Chestnut St
Philadelphia, PA 19103

Sheet Title:
BUILDING SECTIONS



DUTY TO INSPECT CONTRACT DOCUMENTS PRIOR TO STARTING WORK
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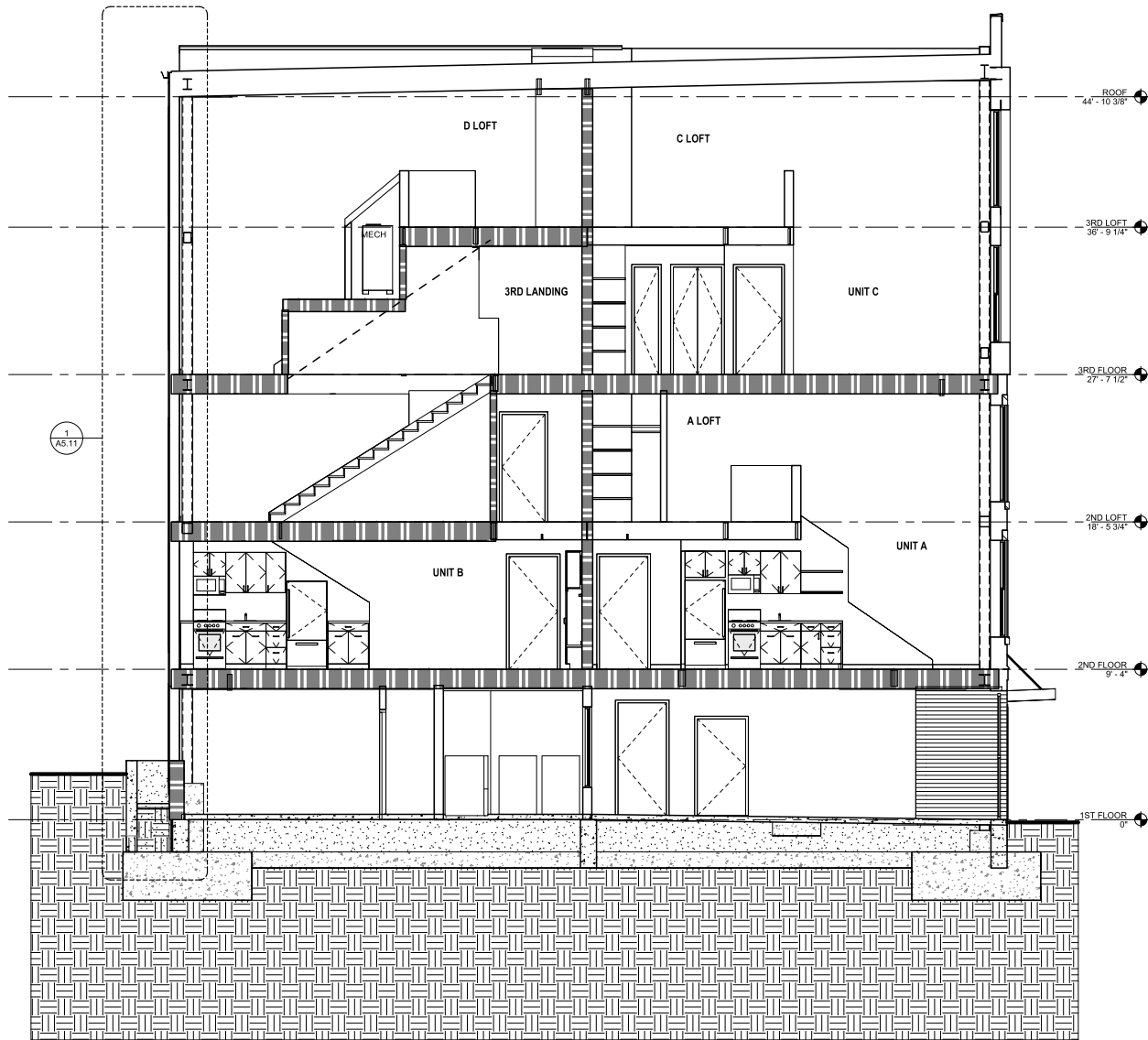
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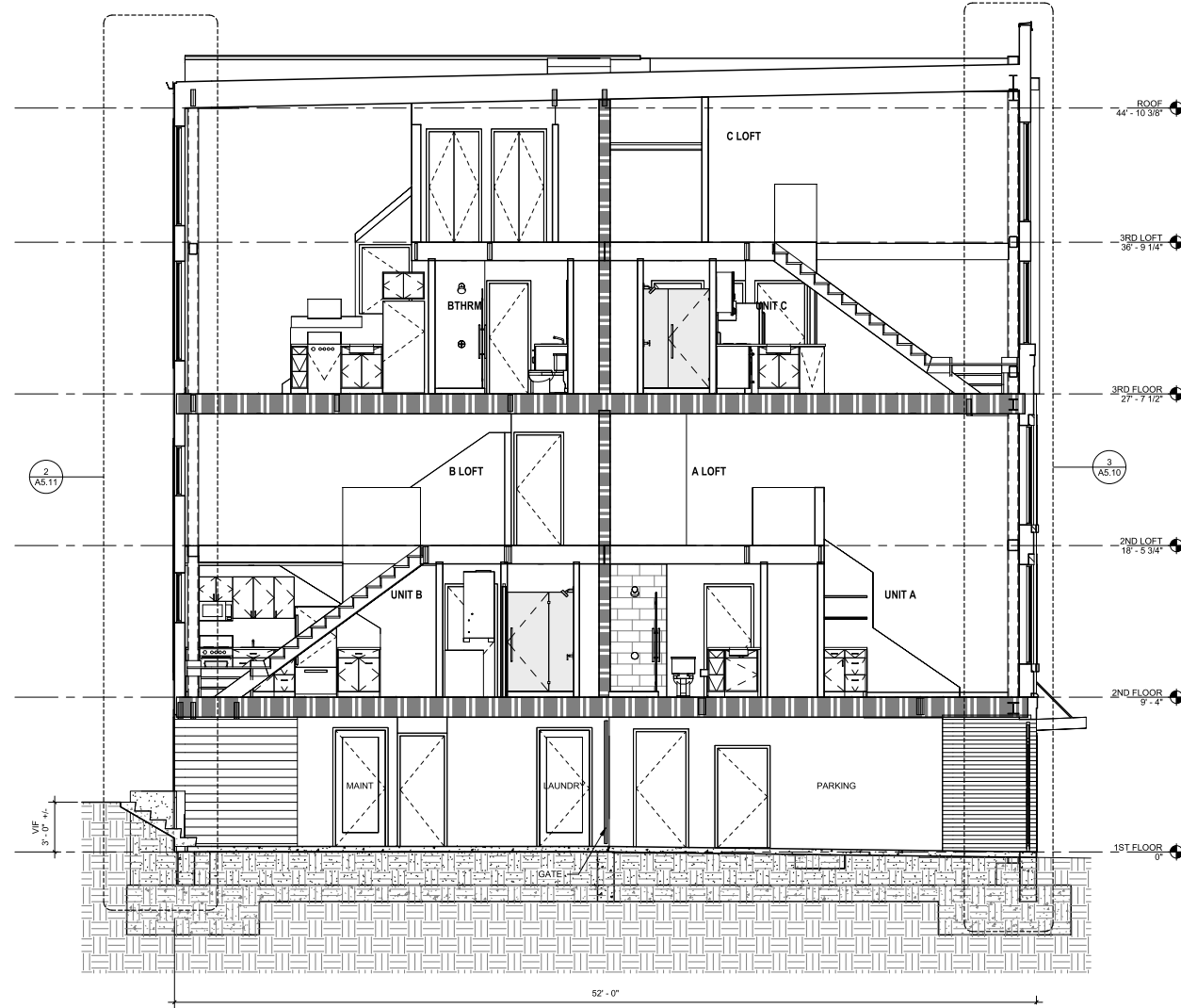
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Scale: 1/4" = 1'-0"
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A4.10

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1 BLDG SECTION 2 THRU WINDOW WELL & SWITCHBACK STAIRS
1/4" = 1'-0"



2 BLDG SECTION 3 THRU ALLEY
1/4" = 1'-0"

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CONTACT PERSON: Greg Gress

Project:
**2033 Chestnut Street
Multifamily Building**

Project Address:
2033 Chestnut St
Philadelphia, PA 19103

Sheet Title:
BUILDING SECTIONS

Seal



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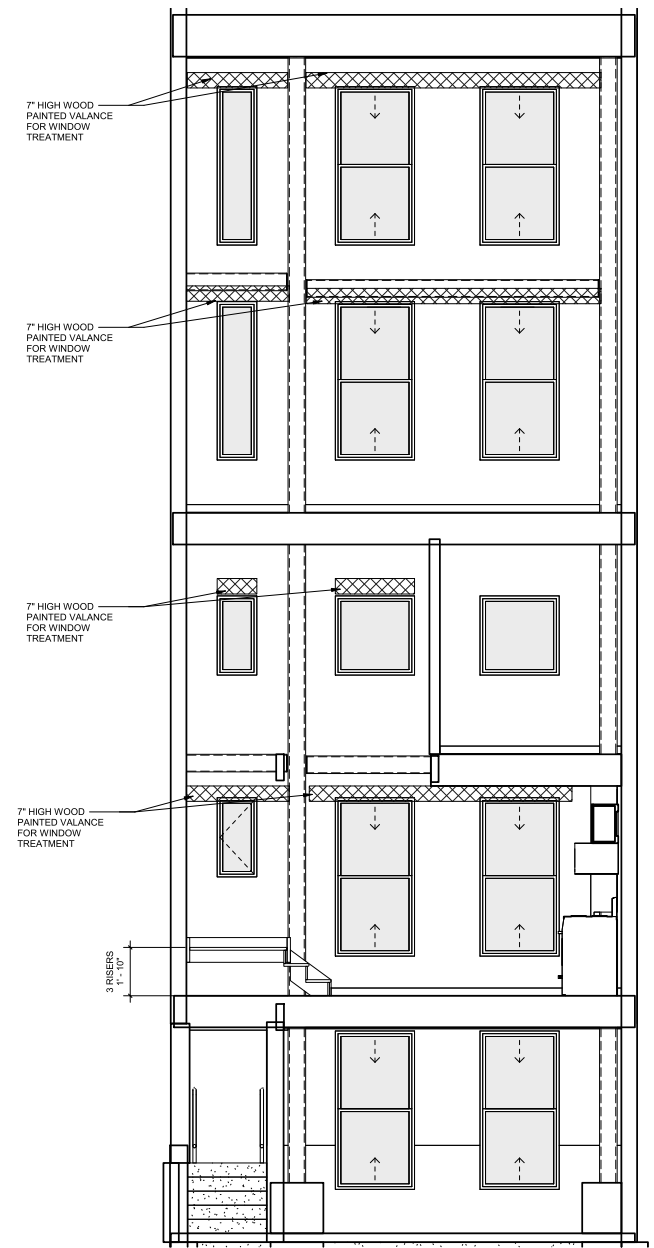
Date	Comments	Δ

BHA Job Number: 22-127
Scale: 3/8" = 1'-0"
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A4.11

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② INTERIOR ELEVATION FACING REAR
3/8" = 1'-0"

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Project:
**2033 Chestnut Street
Multifamily Building**

Project Address:
2033 Chestnut St
Philadelphia, PA 19103

Sheet Title:
ASSEMBLIES AND PARTITIONS



DUTY TO INSPECT CONTRACT DOCUMENTS PRIOR TO STARTING WORK:
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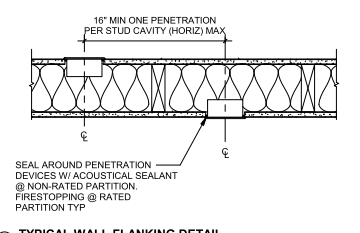
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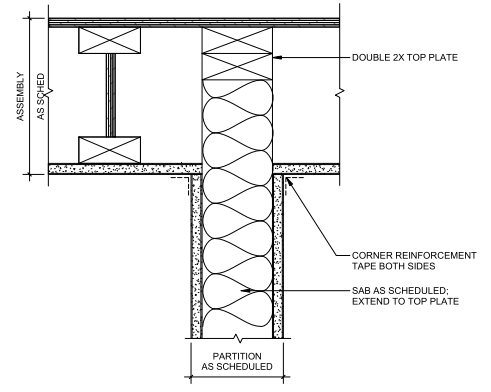
Release

Date	Comments	Δ

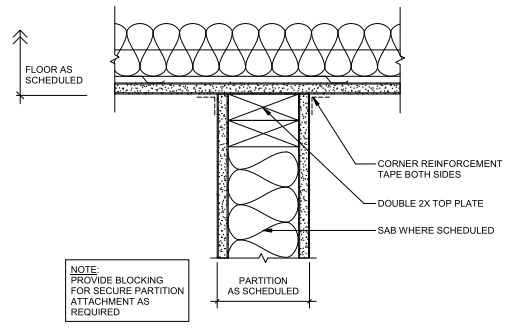
BHA Job Number: 22-127
Scale: As indicated
Drawn By: JU
Checked By: CS
Approved By: JH
Sheet No. **A5.01**



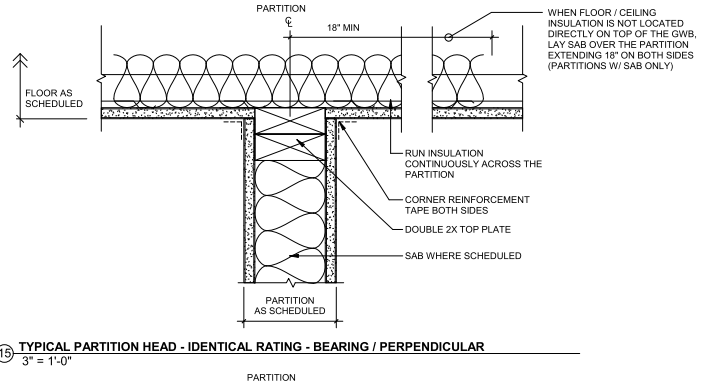
18 TYPICAL WALL FLANKING DETAIL
1 1/2" = 1'-0"



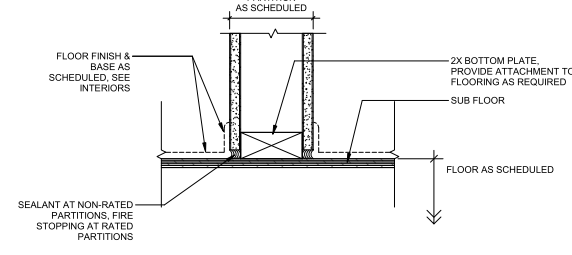
17 PARTITION HEAD - IDENTICAL RATING - NON-BEARING / PARALLEL TO STRUCTURE
3" = 1'-0"



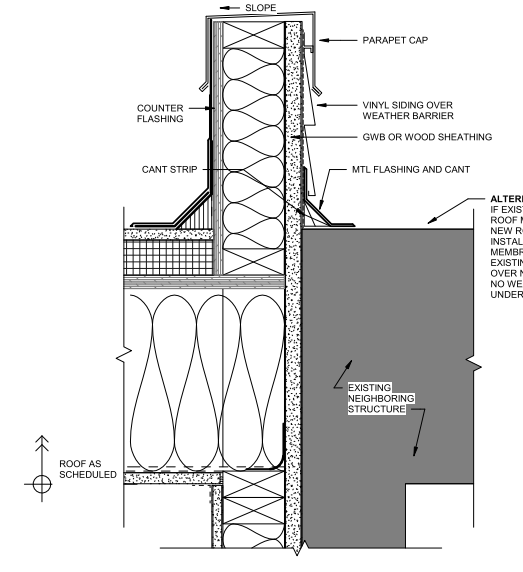
16 TYPICAL PARTITION HEAD - RATING CHANGE - BEARING / PERPENDICULAR
3" = 1'-0"



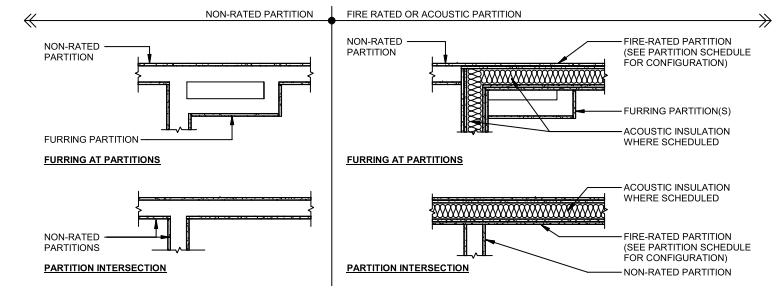
15 TYPICAL PARTITION HEAD - IDENTICAL RATING - BEARING / PERPENDICULAR
3" = 1'-0"



14 TYPICAL PARTITION BASE
3" = 1'-0"



13 SIDE WALL PARAPET ADJ EXISTING CONSTRUCTION
3" = 1'-0"



11 PARTITION INTERFACES
3/4" = 1'-0"

PARTITION TYPE 7

PLAN DETAIL

7 PARTITION TYPE 7
3" = 1'-0"

PARTITION TYPE 6

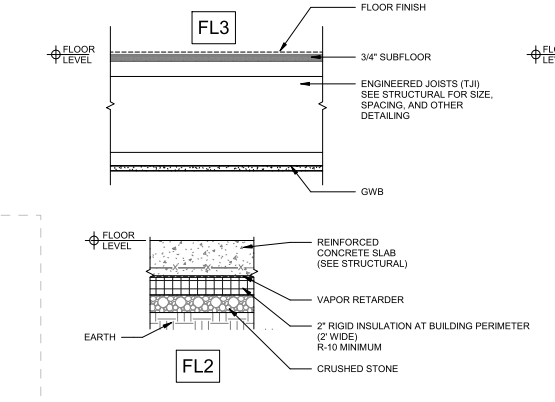
PLAN DETAIL

6 PARTITION TYPE 6
3" = 1'-0"

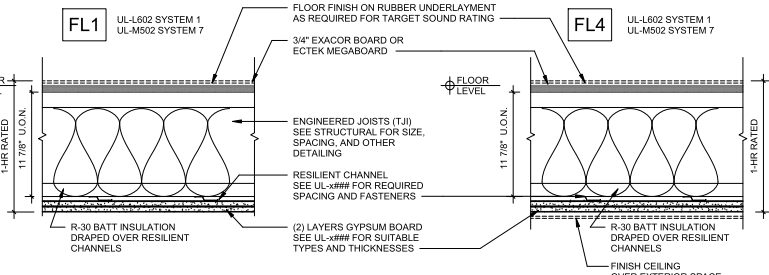
TYPE	STUD SIZE	FIRE RATING (UL ASSEMBLY)	STC	GWB DESCRIPTION
7A	2X2	-	-	1 LAYER OF GWB
7A	2X3	-	-	1 LAYER OF GWB
7B	2X4	-	-	1 LAYER OF GWB
7C	2X6	-	-	1 LAYER OF GWB
7D	2X2	-	-	1 LAYER OF GWB w/SAB
7E	2X3	-	-	1 LAYER OF GWB w/SAB
7F	2X4	-	-	1 LAYER OF GWB w/SAB
7G	2X6	-	-	1 LAYER OF GWB w/SAB

TYPE	STUD SIZE	FIRE RATING (UL ASSEMBLY)	STC	GWB DESCRIPTION
6B	2X4	1 HR (U305)	40	GWB BOTH SIDES
6E	2X4	1 HR (U305)	42	GWB BOTH SIDES w/SAB
6H	2X6	1 HR (U305)	50 MIN TL 77-1087	GWB AND RESILIENT CHANNEL BOTH SIDES w/SAB
6L	2X6	1 HR (U305)	42	GWB BOTH SIDES w/SAB
6M	2X4	-	-	GWB ON BOTH SIDES w/SAB, SHEAR WALL SHEATHING ON BOTH SIDES. SEE STRUCT.
6O	2X4	-	-	GWB ON BOTH SIDES w/SAB, SHEAR WALL SHEATHING ONE SIDE. SEE STRUCT.
6U	2X6	1 HR (U305)	50 MIN NGC201 1071	GWB BOTH SIDES w/SAB AND RESILIENT CHANNEL ONE SIDE

TYPE	STUD SIZE	FIRE RATING (UL ASSEMBLY)	STC	GWB DESCRIPTION
6	2X4	-	33	GWB BOTH SIDES
6A	2X4	1 HR (U305)	33	GWB BOTH SIDES
6C	2X4	-	36	GWB BOTH SIDES w/SAB
6D	2X4	1 HR (U305)	36	GWB BOTH SIDES w/SAB
6F	2X6	-	35	GWB BOTH SIDES
6G	2X6	1 HR (U305)	35	GWB BOTH SIDES
6J	2X6	-	38	GWB BOTH SIDES w/SAB
6K	2X6	1 HR (U305)	38	GWB BOTH SIDES w/SAB

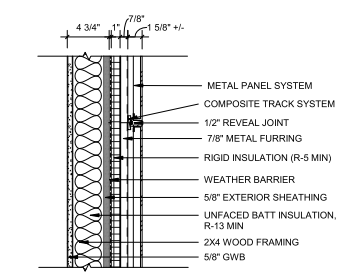


7 FLOOR ASSEMBLIES
1 1/2" = 1'-0"

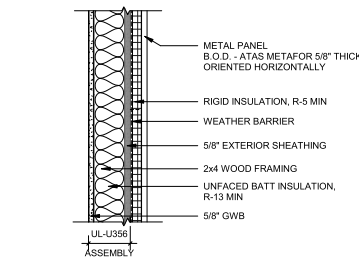


SOUND TRANSMISSION REQUIREMENTS:
BASIS OF DESIGN INCLUDES ADHERED LINEAR VINYL TILE/PLANK FINISH FLOOR ON 1.4MM SOUND MAT ON 3/4" EXACOR SUBFLOOR, R-13 UNFACED BATT INSULATION IN CAVITY, CLARK DIETRICH RC DELUXE, AND (2) LAYERS 5/8" TYPE-C GYP BD. SYSTEMS LAB TESTED STC IS 56 AND IIC IS 52.

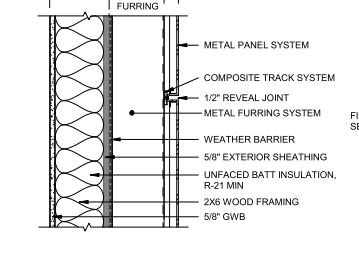
GC SHALL PROVIDE ASSEMBLY WITH SOUND RATINGS GREATER THAN OR EQUAL TO STC 56 AND IIC 52. GC SHALL SUPPLY SOUND TEST DATA TO ARCHITECT FOR ANY DESIRED DEVIATION FROM BASIS OF DESIGN ASSEMBLY NOTED HERE PRIOR TO COMMENCING WORK AND AWAIT ARCHITECT REVIEW OF PROPOSED ALTERNATE.



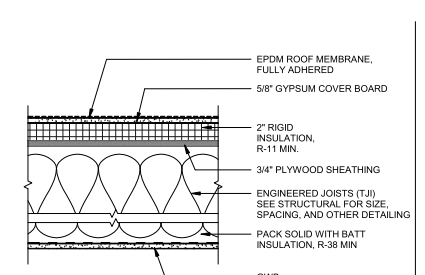
10 MP2 - UNRATED EXTERIOR WALL
1 1/2" = 1'-0"



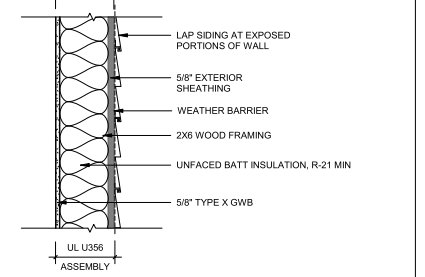
12 MP1 - 1-HR EXTERIOR WALL METAL PANEL
1 1/2" = 1'-0"



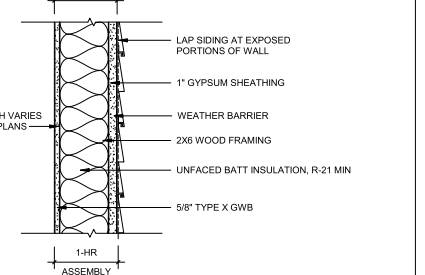
13 MP - UNRATED EXTERIOR WALL
1 1/2" = 1'-0"



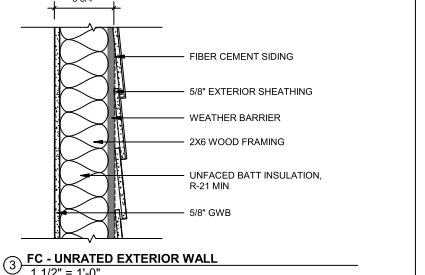
16 RC1
1 1/2" = 1'-0"



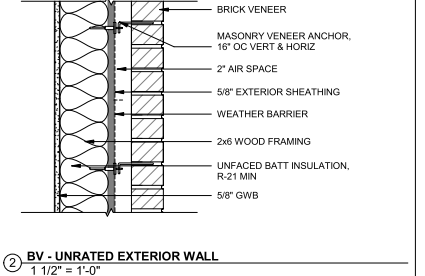
5 V1 - 1-HR EXTERIOR WALL
1 1/2" = 1'-0"



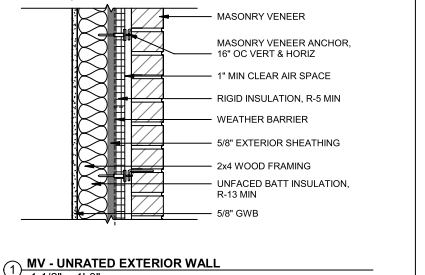
4 PW - 1-HR EXTERIOR WALL
1 1/2" = 1'-0"



3 FC - UNRATED EXTERIOR WALL
1 1/2" = 1'-0"



2 BV - UNRATED EXTERIOR WALL
1 1/2" = 1'-0"



1 MV - UNRATED EXTERIOR WALL
1 1/2" = 1'-0"

7/21/2023 4:00:15 PM



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Project:
2033 Chestnut Street
Multifamily Building

Project Address:
2033 Chestnut St
Philadelphia, PA 19103

Sheet Title:
WALL SECTIONS
FRONT

Seal



DUTY TO INSPECT CONTRACT DOCUMENTS PRIOR TO STARTING WORK:

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Date	Comments	Δ

BHA Job Number: 22-127

Scale: 1/2" = 1'-0"

Drawn By: JU

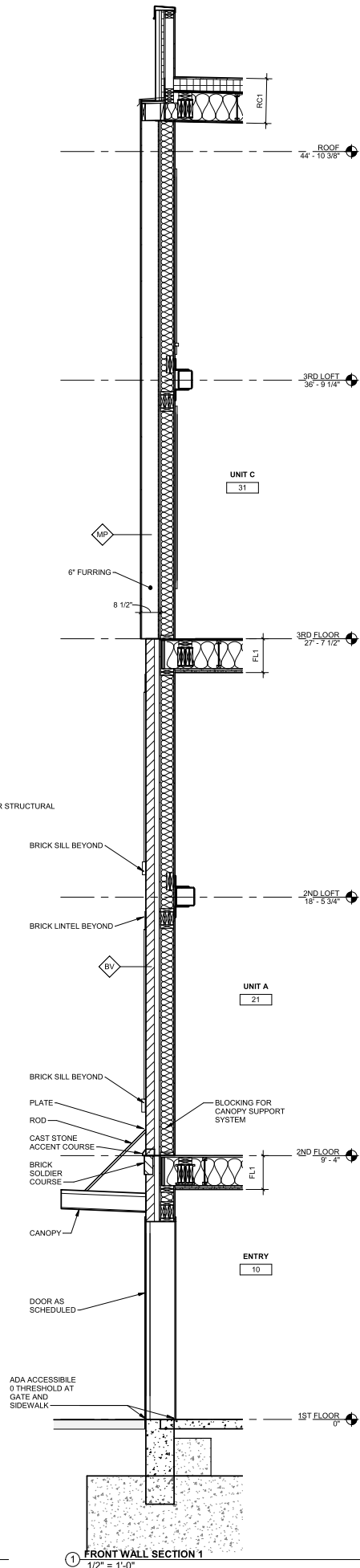
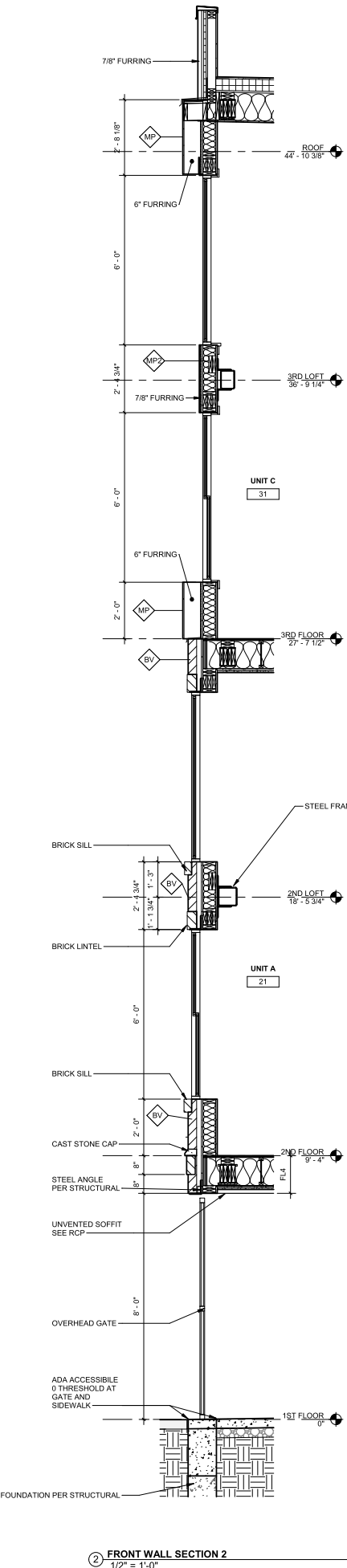
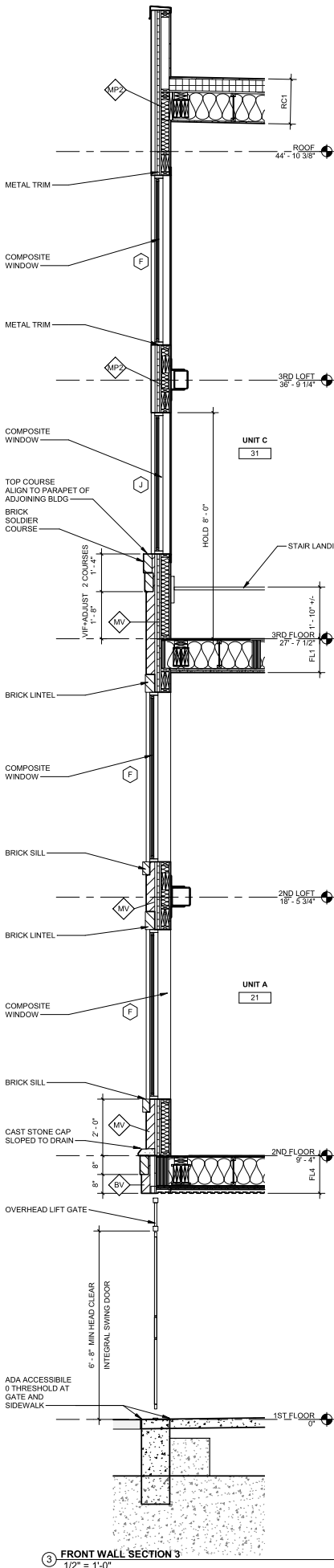
Checked By: CS

Approved By: JH

Sheet No.

A5.10

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Project:
**2033 Chestnut Street
Multifamily Building**

Project Address:
2033 Chestnut St
Philadelphia, PA 19103

Sheet Title:
**INTERIOR
ELEVATIONS A+B**



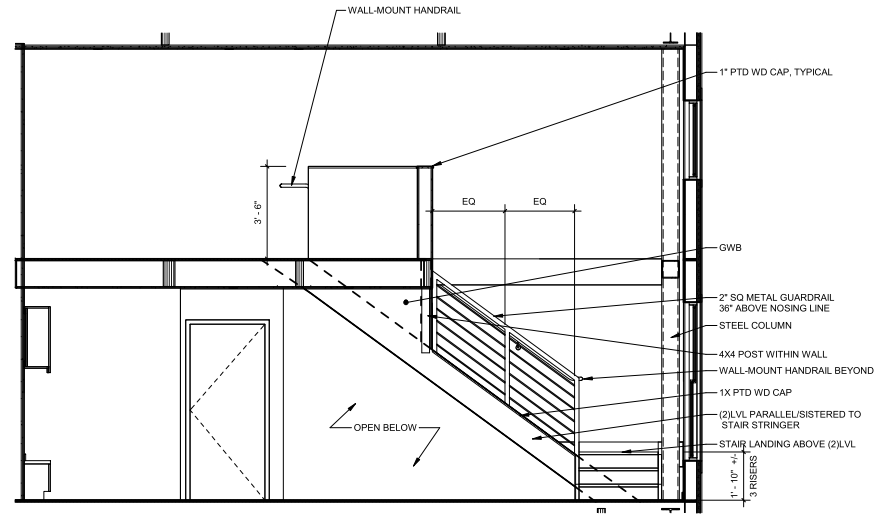
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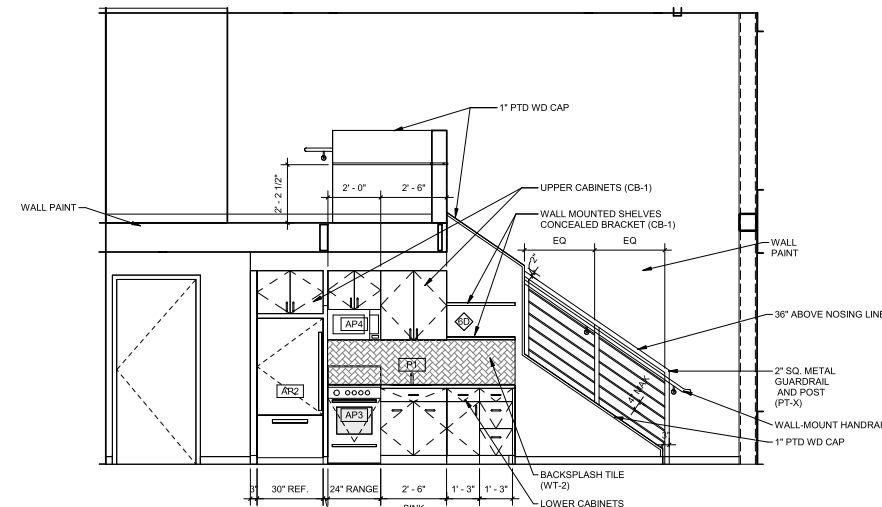
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Date	Comments	Δ

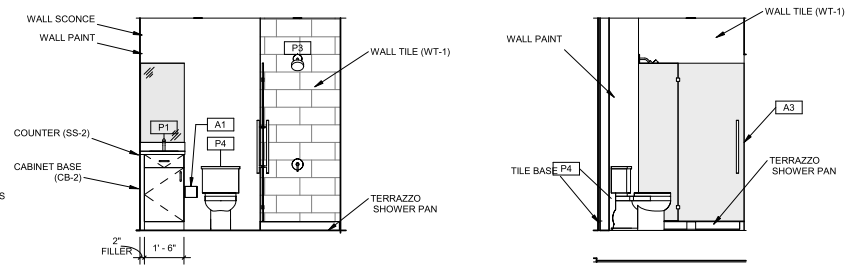
BHA Job Number: 22-127
Scale: 3/8" = 1'-0"
Drawn By: JU
Checked By: CS
Approved By: JH
Sheet No.



B1 UNIT B STAIR
3/8" = 1'-0"

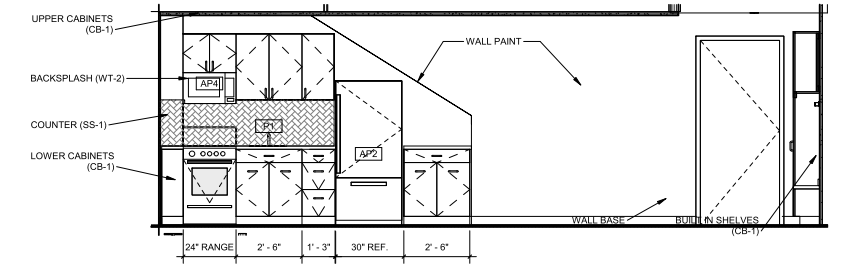


A1 UNIT A KITCHEN AND STAIR
3/8" = 1'-0"

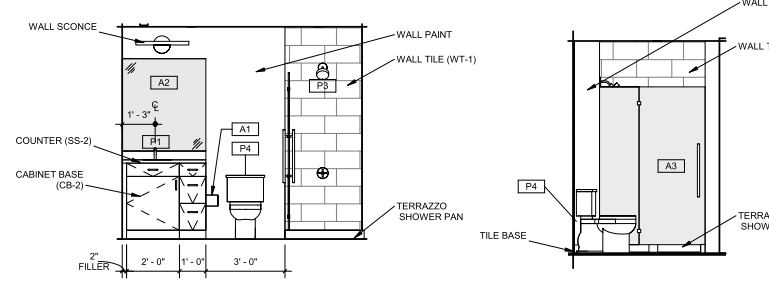


B4 UNIT B VANITY
3/8" = 1'-0"

B3 UNIT B SHOWER
3/8" = 1'-0"

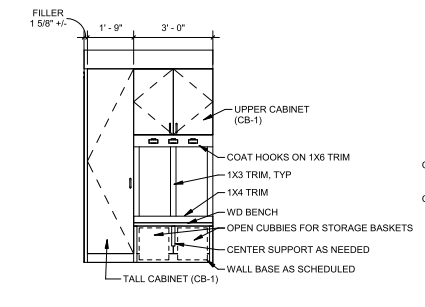


B2 UNIT B KITCHEN
3/8" = 1'-0"



A3 UNIT A VANITY
3/8" = 1'-0"

A2 UNIT A SHOWER
3/8" = 1'-0"



B5 UNIT B NICHE
3/8" = 1'-0"

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Project:
**2033 Chestnut Street
Multifamily Building**

Project Address:
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Philadelphia, PA 19103

Sheet Title:
**INTERIOR
ELEVATIONS C+D**

Seal



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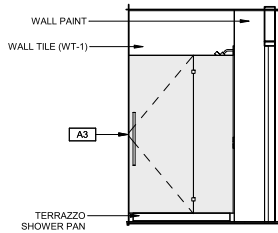
Release		
Date	Comments	Δ

BHA Job Number: 22-127
Scale: 3/8" = 1'-0"
Drawn By: Author
Checked By: Checker
Approved By: Approver

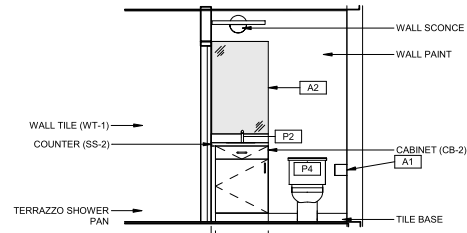
Sheet No.

A6.11

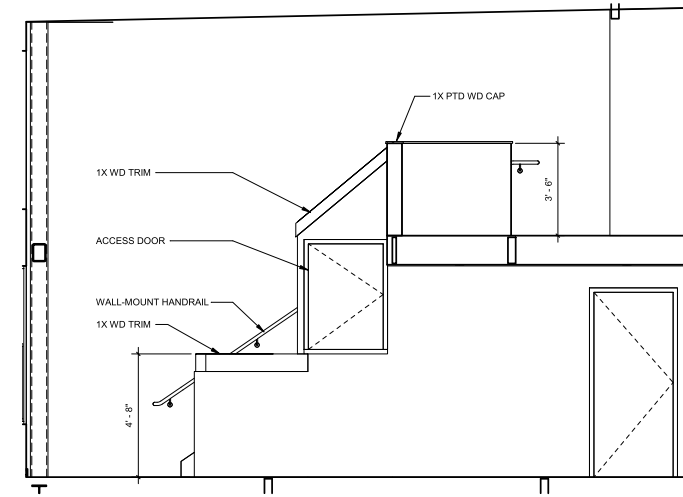
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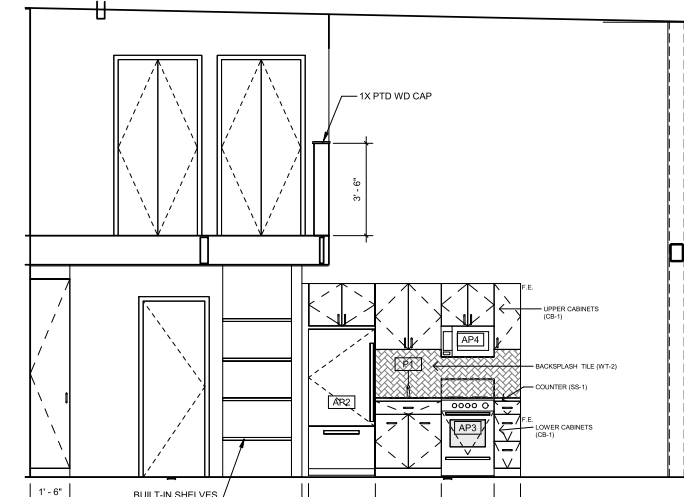
D2 UNIT D SHOWER
3/8" = 1'-0"



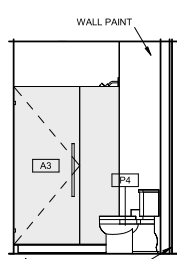
D3 UNIT D VANITY
3/8" = 1'-0"



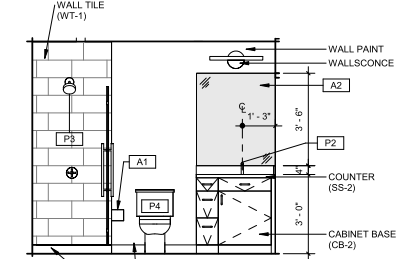
D2 UNIT D WEST
3/8" = 1'-0"



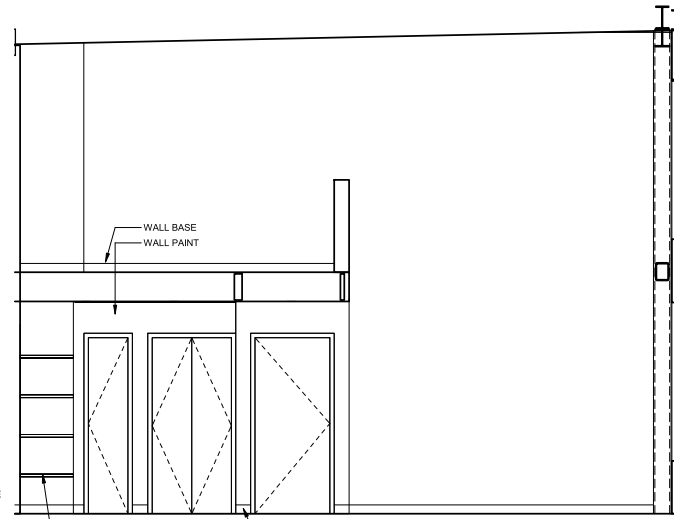
D1 UNIT D KITCHEN
3/8" = 1'-0"



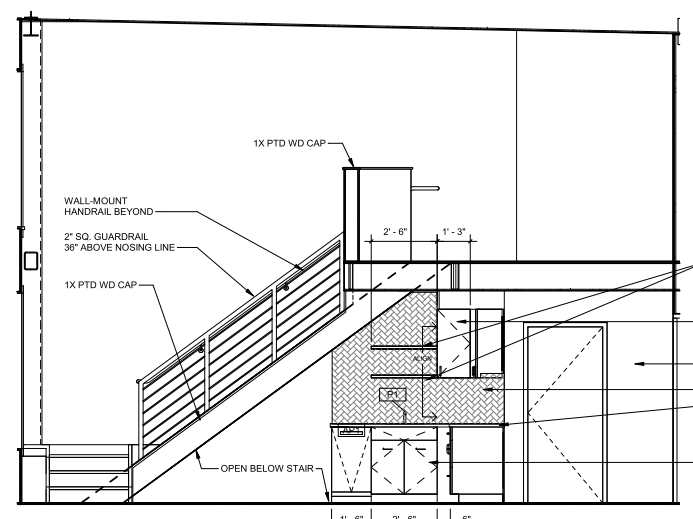
C3 UNIT C SHOWER
3/8" = 1'-0"



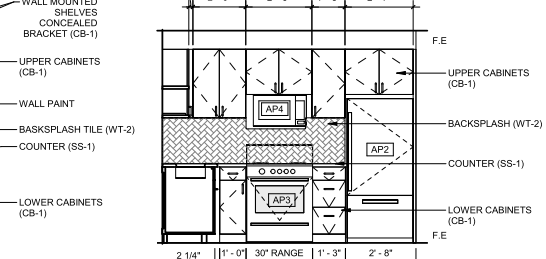
C4 UNIT C VANITY
3/8" = 1'-0"



C3 UNIT C NICHE
3/8" = 1'-0"



C2 UNIT C STAIR
3/8" = 1'-0"



C1 UNIT C KITCHEN
3/8" = 1'-0"

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Date	Comments	Δ

BHA Job Number: 22-127

Scale: As indicated

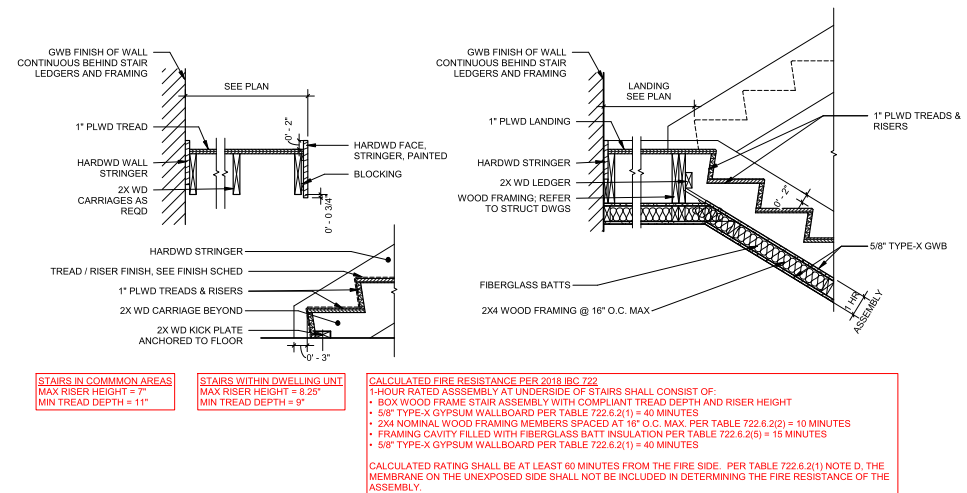
Drawn By: JU

Checked By: CS

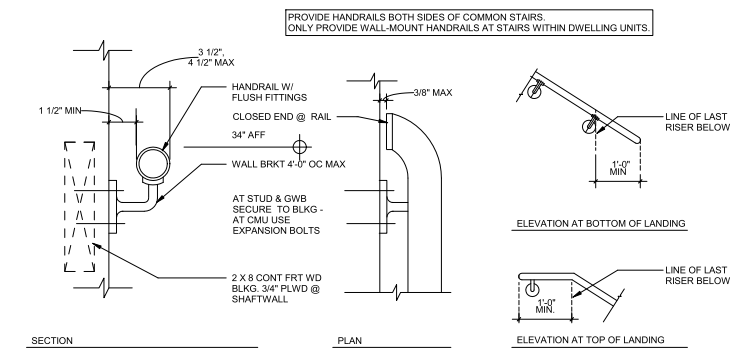
Approved By: JH

Sheet No.

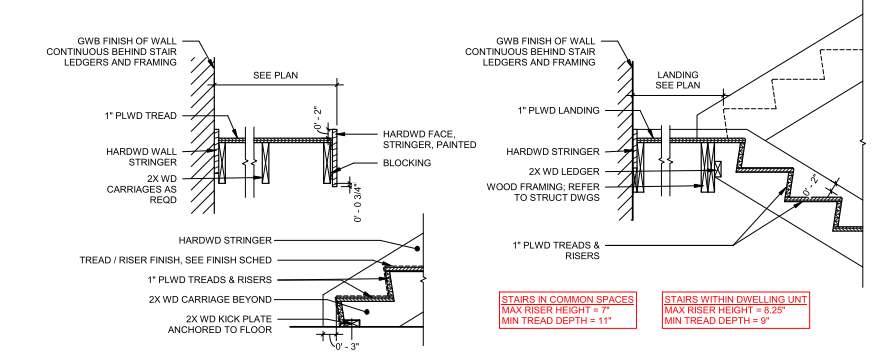
A7.10



1-HR RATING ON UNDERSIDE OF WOOD FRAME STAIR DETAILS
3/4" = 1'-0"



2 HANDRAIL DETAILS - TYP
3/8" = 1'-0"



1 TYPICAL WOOD FRAME STAIR DETAILS
3/4" = 1'-0"



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Stantec
phone: 215.665.7000
CONTACT PERSON: Greg Gress

Project:
2033 Chestnut Street
Multifamily Building

Project Address:
2033 Chestnut St
Philadelphia, PA 19103

Sheet Title:
**PARTITION, FIRE
RATED ASSEMBLY, &
PENETRATION
DETAILS**

Seal



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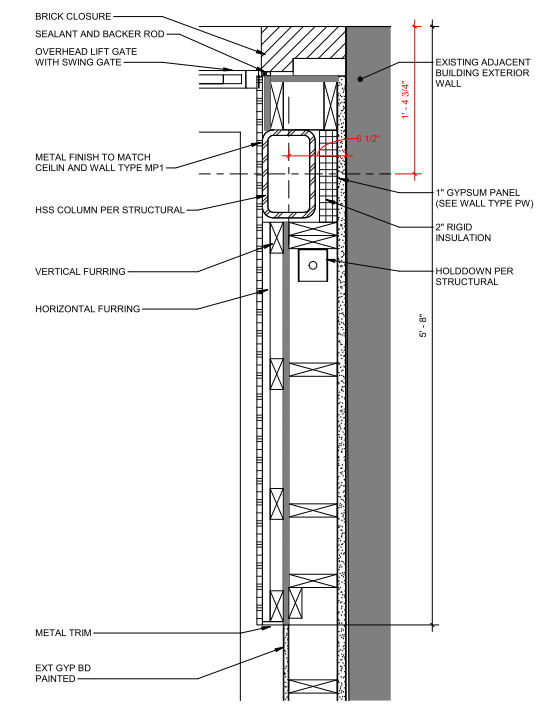
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Date	Comments	△

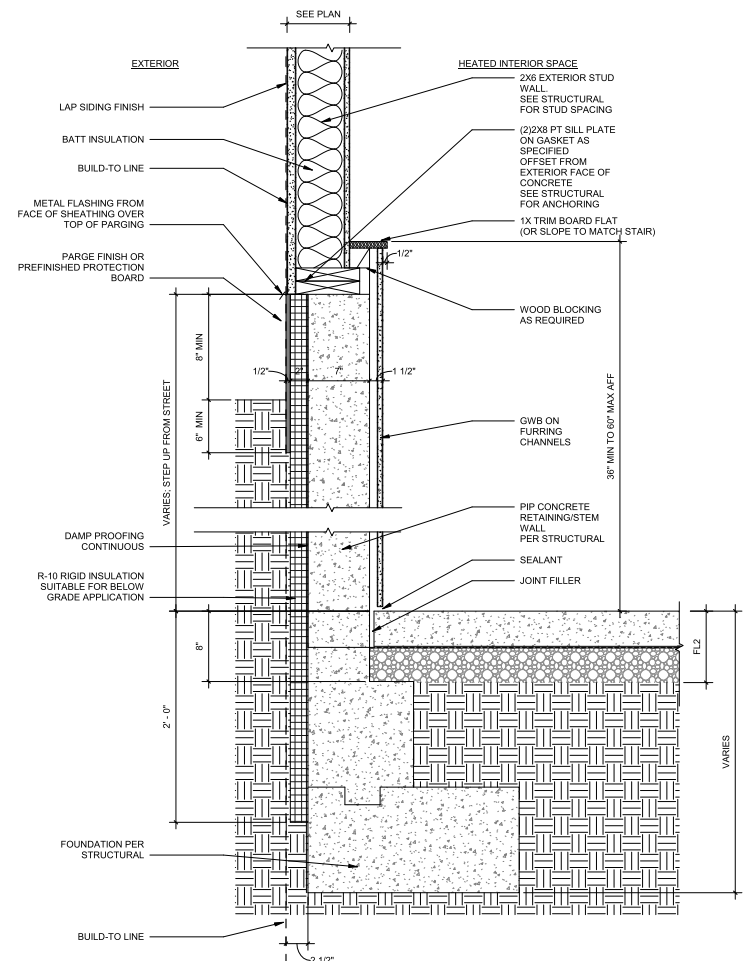
BHA Job Number: 22-127
Scale: 1 1/2" = 1'-0"
Drawn By: JU
Checked By: CS
Approved By: JH
Sheet No.

A8.10

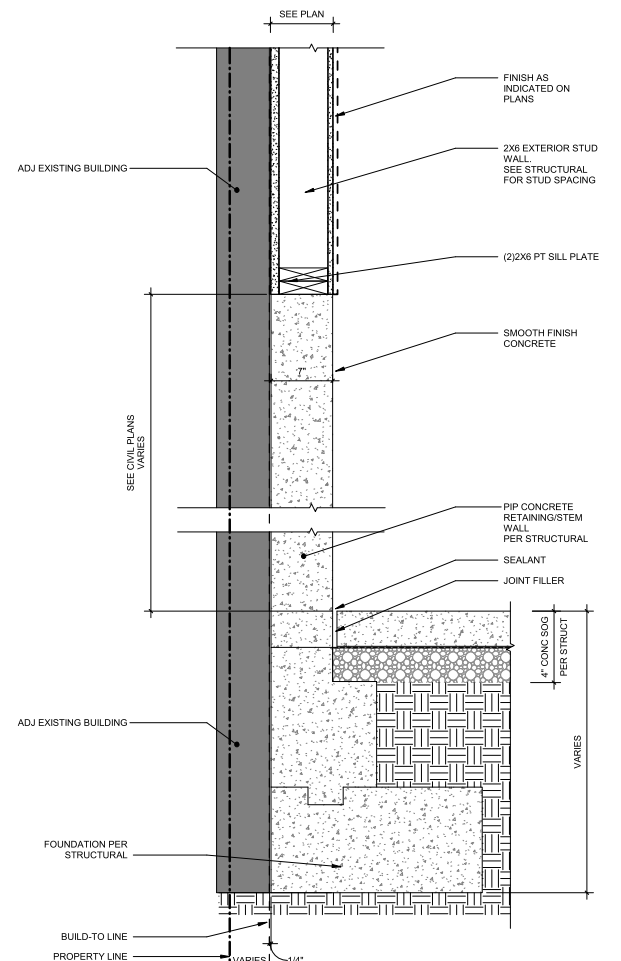
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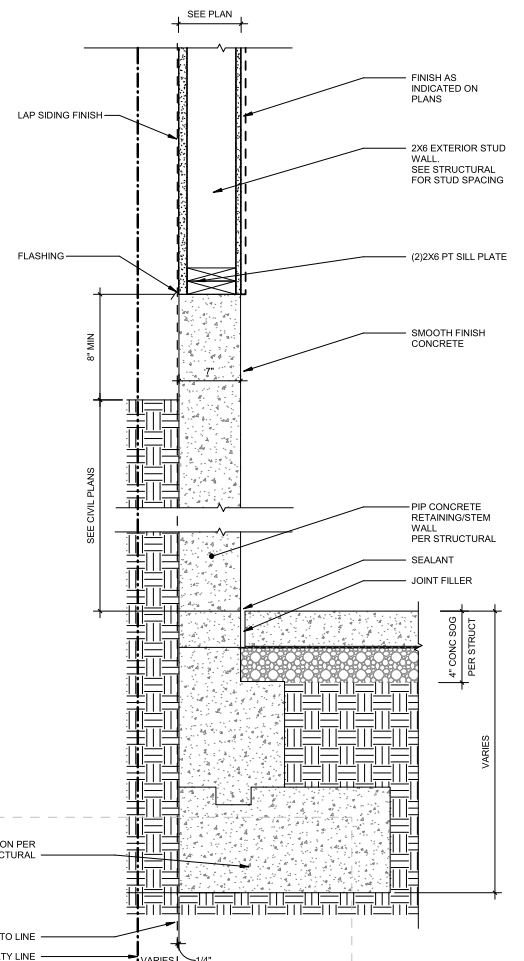
2 PLAN DETAIL - NE COLUMN
1 1/2" = 1'-0"



1 SECTION AT STEM WALL 7" WITH INTERIOR SHELF
1 1/2" = 1'-0"



3 SECTION AT STEM WALL 7" BELOW PARTY WALL
1 1/2" = 1'-0"

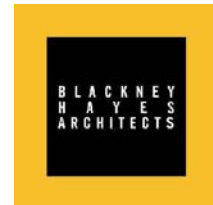


4 SECTION AT STEM WALL 7" ALONG EAST PROP LINE
1 1/2" = 1'-0"

7/21/2023 4:00:29 PM

DOOR SCHEDULE

DOOR NO.	DOOR TYPE	ROOM LOCATION NUMBER	ROOM LOCATION NAME	DOOR				FRAME			HARDWARE	COMMENTS
				WIDTH	HEIGHT	MATERIAL	FINISH	FIRE RATING	TYPE	MATERIAL		
1ST FLOOR												
10	FG			3'-0"	7'-0"	WD		--	--		--	
10B	F			3'-0"	7'-0"	WD		--	--		--	
11	FG	11	LAUNDRY	3'-0"	7'-0"	WD		--	--		--	
11A	F			2'-8"	6'-8"	WD		--	--		--	
12	FG	12	MAINT	3'-0"	7'-0"	WD		--	--		--	
12A	F	12	MAINT	2'-10"	6'-8"	WD		--	--		--	
12B	F	12	MAINT	2'-8"	6'-8"	WD		--	--		--	
2ND FLOOR												
21	F	21	UNIT A	3'-0"	7'-0"	WD	PTD	60	B		--	
21A	F	21A	CL	2'-4"	6'-8"	WD	PTD	--	--		--	
21B	F	21B	BTHRM	2'-8"	6'-8"	WD	PTD	--	B		--	
21C	F	21C	MECH	2'-8"	6'-8"	WD	PTD	--	--		--	
25	F	25	UNIT B	3'-0"	7'-0"	WD	PTD	60	B		--	
25A	F	25A	MECH	2'-10"	6'-8"	WD	PTD	--	--		--	
25B	B	25B	BTHRM	3'-0"	6'-8"	WD	PTD	--	--		--	
2ND LOFT												
22	F	22	A LOFT	2'-8"	6'-8"	WD	PTD	--	--		--	
26	F	26	B LOFT	2'-8"	6'-8"	WD	PTD	--	--		--	
3RD FLOOR												
31	F	31	UNIT C	3'-0"	7'-0"	WD	PTD	60	B		--	
31A	F	10B	UTILITY	1'-6"	6'-8"	WD	PTD	--	--		--	
31B	2F	10A	UTILITY	3'-0"	6'-8"	WD	PTD	--	--		--	
31C	F	10A	UTILITY	2'-10"	6'-8"	WD	PTD	--	--		--	
31D	F	31D	BTHRM	2'-10"	6'-8"	WD	PTD	--	--		--	
33	F	33	3RD LANDING	2'-8"	6'-8"	WD	PTD	--	--		--	
35	F	35	UNIT D	3'-0"	7'-0"	WD	PTD	60	B		--	
35A	F	35A	BTHRM	2'-4"	6'-8"	WD	PTD	--	--		--	
3RD LOFT												
32	F	32	C LOFT	2'-8"	6'-8"	WD	PTD	--	--		--	
36A	2F	36	D LOFT	3'-0"	6'-8"	WD	PTD	--	--		--	
36B	2F	36	D LOFT	3'-0"	6'-8"	WD	PTD	--	--		--	



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Project:
**2033 Chestnut Street
Multifamily Building**

Project Address:
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Sheet Title:
DOORS

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Date	Comments	Δ

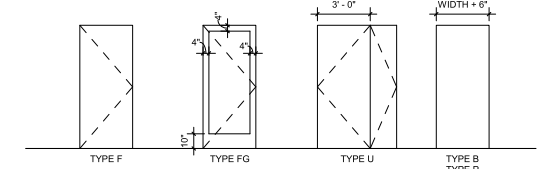
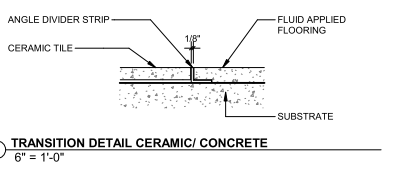
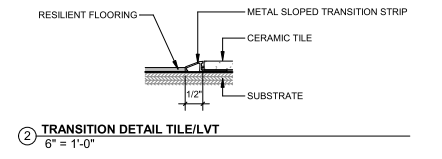
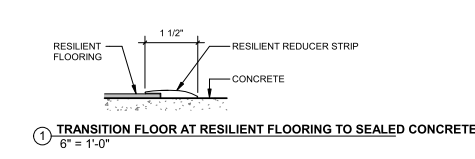
BHA Job Number: 22-127
Scale: As indicated
Drawn By: JU
Checked By: CS
Approved By: JH

Sheet No.

A9.10

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GLAZING NOTES	DOOR AND FRAME NOTES
<ol style="list-style-type: none"> ALL GLAZING UNITS IGU UON. OTHER TYPES AS INDICATED. GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY IBC 2406.4 SHALL COMPLY WITH 2406.1.1 THROUGH 2406.1.4. ALL OPENINGS TO BE VIF. CODE MAX U-FACTOR = 0.32 CODE MAX SHGC = 0.40 	<ol style="list-style-type: none"> REFER TO SPEC FOR DOOR & FRAME GAUGES, ANCHORS, AND REINFORCEMENT. ALL DOOR GLAZING TO BE 1/4" SAFETY GLASS UON. ALL GLAZING IN RATED DOORS TO BE FIRE PROTECTION RATED GLAZING. PAIRED DOOR TYPES ARE INDICATED BY NOTING "P" IN FRONT OF A DOOR TYPE, E.G. 2F IS A PAIRED TYPE F (FLUSH) DOOR. SCHEDULE DESIGNATIONS AS FOLLOWS: GL - GLASS AL - ALUMINUM FRWD - RESIDENTIAL WOOD PTD - PAINTED, OPAQUE FINISH STN - STAINED, TRANSPARENT FINISH FOR OTHER DESIGNATIONS, REFER TO ABBREVIATIONS LIST.



DOOR TYPES
1/4" = 1'-0"

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Project:
**2033 Chestnut Street
Multifamily Building**

Project Address:
2033 Chestnut St
Philadelphia, PA 19103

Sheet Title:
WINDOWS

Seal



DUTY TO INSPECT CONTRACT DOCUMENTS PRIOR TO STARTING WORK:
Any party who relies in part or whole on the content of these Construction Documents shall, before beginning any work, be responsible for fully inspecting the complete set of Contract Documents, including all Drawings, Specifications, and Addenda, for completeness, conflicts, scope of work, and suitability for constructing the building. All parties relying on these documents represent that they have expertise in the area of their responsibility and are knowledgeable regarding industry standards, product requirements and code requirements and therefore are qualified to fully evaluate and interpret the contract documents. All parties relying on these documents must, prior to beginning work, submit all requests for clarifications and additional information to the Architect in writing. **All parties who begin work hereby certify that the documents are suitable for their intended purposes unless noted in specific written exceptions below.**

Warning: Actual conditions may vary from conditions shown on this drawing. Confirm all information in the field before proceeding with any work and notify the Architect in writing if a variation is discovered.

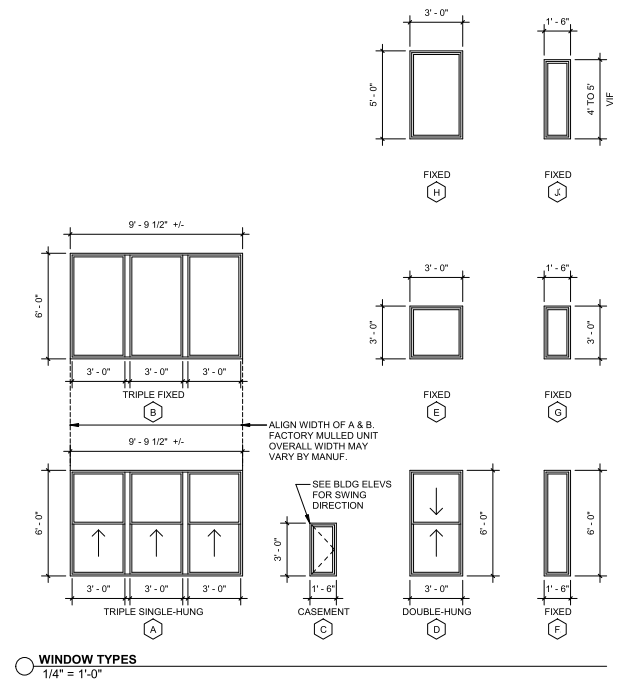
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Release

Date	Comments	Δ

BHA Job Number: 22-127
Scale: As indicated
Drawn By: JU
Checked By: CS
Approved By: JH
Sheet No.

A9.20



WINDOW TYPES
1/4" = 1'-0"

- GLAZING NOTES**
- ALL GLAZING UNITS IGU UON. OTHER TYPES AS INDICATED.
 - GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY IBC 2406.4 SHALL COMPLY WITH 2406.1.1 THROUGH 2406.1.4.
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 - CODE MAX SHGC = 0.40

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