

## FAQ: Should District or US Standard be used on Zoning Plans?

### Background:

In Philadelphia, there are two different standards of measurement that are commonly used in development: District Standard and US Standard.

District Standard is a standard of measurement unique to the City of Philadelphia. It is a surplus measure that generally adds an additional 3 inches for every 100 feet of standard US measurement (100' DS = 100'-3" US); however, there may be a slight variation in this conversion based on project location. Deeds and City Plan measurements are recorded in District Standard measure.

The US Standard is widely applied to construction measurements. All dimensional requirements and restrictions included in the Philadelphia Zoning Code and Philadelphia Building Construction and Occupancy Code are provided in US Standard and all zoning and construction permit applications are evaluated under this standard with the following exception:

- Minimum lot area and lot width required by the Zoning Code may be evaluated under District Standard measure.

The application of multiple standards to a site plan creates confusion around which standard of measurement must be identified on the plan.

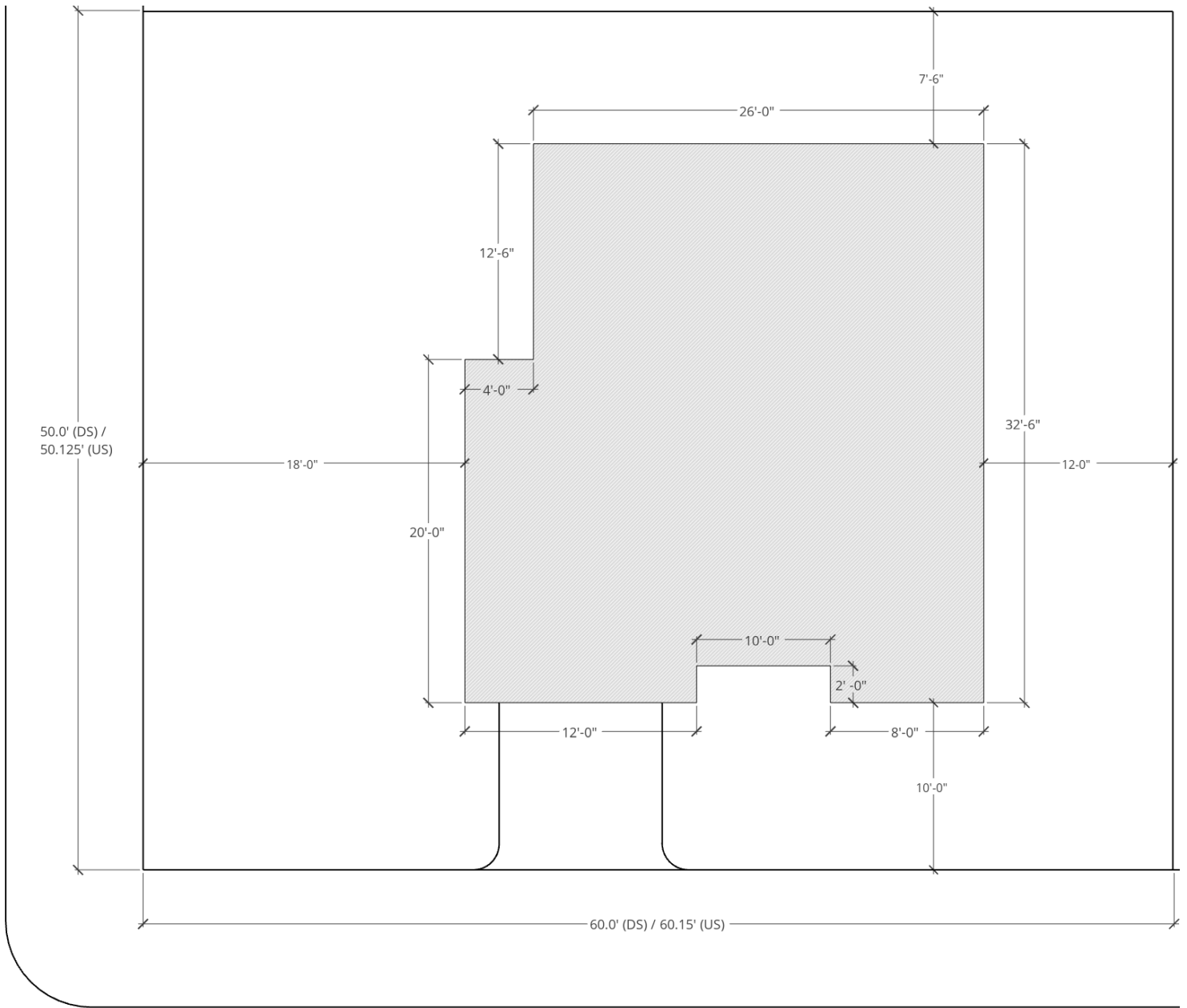
### Answer:

- District Standard must be used in dimensioning lot lines and widths of streets located in the City right of way to ensure conformance to the recorded deed and City Plan.
- US Standard must be used for building dimensions, building setbacks, and all area calculations (e.g., occupied area, gross floor area (GFA)).

Surveyors and Design Professionals may include both standards of measurements on a site plan for clarity. Each measurement listed must denote the standard. See Page 2 for an example.

### Additional Notes:

- Developers and design professionals can obtain conversion for their specific project free of charge by calling the [Streets Department Survey District Office](#).



**Questions?**

Call 311 or (215) 686-8686 (if outside Philadelphia) or submit an online form via <http://www.phila.gov/li/get-help>.

**Disclaimer:**

This interpretation, policy or code application is intended to provide guidance to staff for consistency of review and is subject to change without notice. Application of this interpretation, policy or code application to specific projects may vary. There may be other ways to comply with the Code. If so, you are not required to use this method. You may want to investigate other options or consult with a professional identifying an equally code compliant solution.