

ADDRESS: 241-43 CHESTNUT ST

Proposal: Construct roof deck and pilot house
Review Requested: Final Approval
Owner: Steven Gelbart
Applicant: Douglas Seiler, Seiler + Drury Architecture
History: Borie Brothers Bank
Individual Designation: 11/4/1976
District Designation: Old City Historic District, 12/12/2003
Staff Contact: Allyson Mehley, allyson.mehley@phila.gov

BACKGROUND:

This application proposes a roof deck and pilot house at 241 Chestnut Street. The proposed deck replaces a smaller deck with a roof hatch that previously existed. The deck was removed due to a fire in the adjacent building in early 2018.

SCOPE OF WORK:

- Construct roof deck and pilot house.

STANDARDS FOR REVIEW:

The Secretary of the Interior’s Standards for the Treatment of Historic Properties and Guidelines include:

- *Roofs Guideline | Recommended: Designing rooftop additions, elevator or stair towers, decks or terraces, dormers, or skylights when required by a new or continuing use so that they are inconspicuous and minimally visible on the site and from the public right-of-way and do not damage or obscure character-defining historic features.*
 - The deck and pilot house as currently proposed would be highly visible from the public right-of-way. The application photographs show the visibility of the building’s roof area from Chestnut Street and Independence National Historical Park, therefore the application fails to satisfy this guideline.

STAFF RECOMMENDATION: Denial, pursuant to Roofs Guideline.

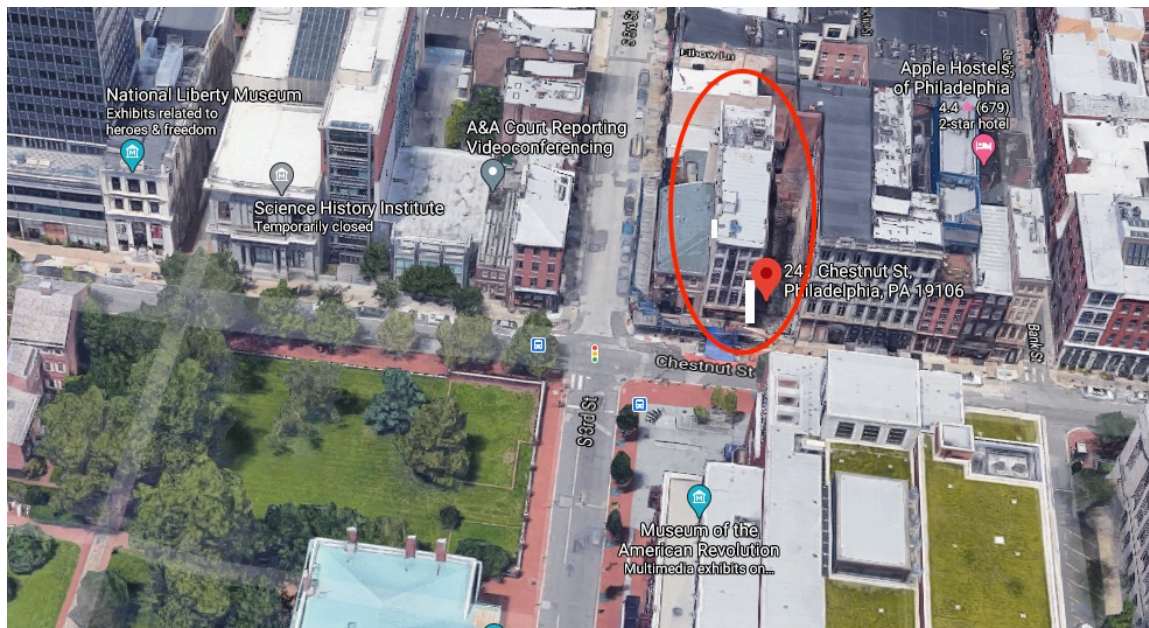


Figure 1: Aerial showing 241 Chestnut St.

SEILER + DRURY

A R C H I T E C T U R E

March 8, 2021

Allyson Mehley
Philadelphia Historical Commission
1515 Arch Street, 13th Floor
Philadelphia, Pennsylvania 19102

Re: 241-243 Chestnut Street, Philadelphia, PA

Dear Allyson,

This application involves the proposed use of the roof at 241 Chestnut Street as a private residential-use roof deck. The area will be part of the sixth floor condominium (Unit G) which had a roof deck that was removed as part of the Make-safe and Make-ready (shell rebuild) plans, necessitated by the fire at 239 Chestnut Street in early 2018.

The original deck on 241 also had access to deck on the roof of 239 Chestnut Street as well. The roof was originally accessed by way of a large hinged roof hatch with stairs and the proposed deck is to be accessed by a "pilot house" constructed at the north/east end of the existing roof.

In 1919 the condominium association for the building applied to The Historic Commission to remove the upper portion of the existing elevator penthouse, because it was structurally unsound. That work was approved by the Commission and the repairs have been completed.

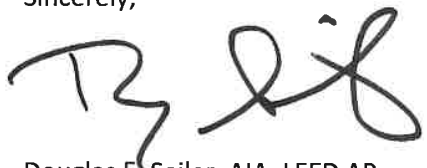
The new deck will be supported on two new steel beams which will be installed above the roof plane and will bear on the existing masonry elevator shaft. There will be three additional beams spanning the width of the building to be located below the roof. The deck and pilot house are set back 10' from the west façade of the 241 building and approximately 20' from the face of the cornice to the south. The deck's railing will be of painted steel balusters with cable system and its top will be a few inches higher than the top of the revised elevator shaft. The exact height will be determined by the detail at the roof edge of the pilot house. The walls of the pilot house will be of stucco.

SEILER + DRURY

A R C H I T E C T U R E

Every effort has been made to keep the height of the deck and pilot house as low as possible, with a 7'8" ceiling inside the pilot house. The height of the pilot house above the roof deck will be approximately 9'-8". The pilot house is proposed to be 218 gsf, with the roof deck at 420 sq. feet. in area.

Sincerely,

A handwritten signature in black ink, appearing to read 'D. Seiler', written in a cursive style.

Douglas E. Seiler, AIA, LEED AP
President



VIEW NORTH FROM 3RD ST



VIEW NORTHEAST FROM 3RD ST



VIEW EAST FROM CHESTNUT ST



VIEW EAST FROM PARK AT CORNER OF CHESTNUT ST & 3RD ST



VIEW NORTH FROM 3RD ST



VIEW SOUTH FROM ROOF



ORIGINAL ROOFTOP DECK & ACCESS HATCH, LOOKING NORTH (DATE: NOVEMBER 8, 2018)



ORIGINAL ROOFTOP DECK, LOOKING NORTH (DATE: NOVEMBER 8, 2018)



ORIGINAL ROOFTOP DECK & ELEVATOR SHAFT WITH MACHINE ENCLOSURE SPACE, VIEW EAST FROM CHESTNUT ST (DATE: NOVEMBER 8, 2018)



ORIGINAL ELEVATOR SHAFT WITH MACHINE ENCLOSURE SPACE, VIEW NORTH FROM 3RD ST (DATE: NOVEMBER 8, 2018)

PROPOSED ROOFTOP DECK & PILOT HOUSE FOR:
SUITE G 241-43 CHESTNUT STREET
 PHILADELPHIA, PA 19106



SITE PLAN AND PROPERTY INFO

SCALE 1"=20'-0"

CODE NOTES

EXISTING BUILDING FACADE & STRUCTURE AT 241 CHESTNUT STREET TO REMAIN

EXISTING BUILDING FOOTPRINT

EXISTING PROPERTY INFORMATION		EXISTING OCCUPANCY INFORMATION		EXIST. TENANT SUITE INFO.	
1) 241-243 CHESTNUT STREET IS A COMBINED CORNER LOT					
4) 241 PROPERTY IS A (6) STORY STRUCTURE WITH CELLAR					
3) THE 243 PROPERTY IS A (3) STORY STRUCTURE (WITH MEZANINE) AT THE CORNER WITH A (2) STORY STRUCTURE AND ROOF TERRACE AT THE THIRD FLOOR AT THE REAR. THE 243 BUILDING INCLUDES A CELLAR AT EXISTING BUILDING AND AT THE ADDITION					
FLOOR	USE GROUP	F.L.R. AREA	TENANT AREA	LOCATION	F.L.R. AREA
CELLAR	A-3 - RESTAURANT (SUITE H) BUSINESS/ RESID. (SUITE A)	0 SF.	SUITE F BUSINESS/ RESIDENTIAL	CELLAR ONLY	3,081
FIRST FLR.	A-3 - RESTAURANT (SUITE H) A-3 - RESTAURANT (SUITE C)	5,285 SF.	SUITE B RESTAURANT	FIRST FLOOR ONLY	1,299
SECOND FLR.	A-3 - RESTAURANT (SUITE H) R-2 - RESID. UNIT (SUITE C)	3,997 SF.	SUITE C RESIDENCE	SECOND & THIRD FLOOR	2,370
THIRD FLR.	R-2 - RESID. UNIT (SUITE C) R-2 - RESID. UNIT (SUITE D)	4,133 SF.	SUITE D RESIDENCE	THIRD & FOURTH FLR	3,132
FOURTH FLR.	R-2 - RESID. UNIT (SUITE D)	3,359 SF.	SUITE E RESIDENCE	FOURTH FLR ONLY	2,314
FIFTH FLR.	R-2 - RESID. UNIT (SUITE F)	2,715 SF.	SUITE F RESIDENCE	FIFTH FLR ONLY	2,314
SIXTH FLR.	R-2 - RESID. UNIT (SUITE G)	2,715 SF.	SUITE G RESIDENCE	SIXTH FLR ONLY	2,314
TOTAL		22,204 SF.	SUITE H RESTAURANT	CELLAR, FIRST & SECOND FLR	6,259

EXISTING SITE INFORMATION	
LOT AREA	5,385 SF.
BUILD. FOOTPRINT	5,285 SF.
GROSS FLOOR AREA	22,204 SF.
BLDG. COVERAGE RATIO	100%
GROSS FLR. AREA RATIO	400%

BUILDING IS UNOCCUPIED DUE TO PRIOR FIRE

PHILADELPHIA CODES ENFORCED:
 2009 ICC CODES WITH LOCAL AMENDMENTS.
 2009 INTERNATIONAL BUILDING CODE
 2012 INTERNATIONAL BUILDING CODE (CHAPTER 11 AND APPENDIX E ONLY)
 2009 CC A17.1
 2009 INTERNATIONAL EXISTING BUILDING CODE
 2009 INTERNATIONAL ENERGY CONSERVATION CODE
 PHILADELPHIA ZONING CODE
 2004 PHILADELPHIA PLUMBING CODE FOURTH PRINTING
 PHILADELPHIA FIRE CODE
 PHILADELPHIA PROPERTY MANAGEMENT CODE

PROJECT TYPE: ROOF DECK, PILOT HOUSE & SKYLIGHT

EXISTING BUILDING INFO

EXISTING BUILDING - 6 STORIES PLUS BASEMENT (6 STORIES ABOVE GRADE PLANE)

TOTAL AREA - 22,204 GSF. CELLAR - 5,855 GSF, 1ST FLOOR - 5,285 GSF, 2ND FLOOR - 3,997 GSF, 3RD FLOOR - 4,133 GSF, 4TH FLOOR - 3,359 GSF, 5TH FLOOR - 2,715 GSF, 6TH FLOOR - 2,715 GSF, ROOF PILOT HOUSE - 196 GSF (FOOT PRINT), ROOF DECK - 506 GSF, 241 ROOF - 2,825 GSF.

CONSTRUCTION TYPE - IIIA

FIRE PROTECTION - BUILDING IS FULLY SPRINKLERED WITH NFPA 13 SYSTEM

PROPERTY 241-243 CHESTNUT STREET IS LISTED ON THE PHILADELPHIA REGISTER OF HISTORIC PLACES

2009 INTERNATIONAL BUILDING CODE

CHAPTER 3 USE AND OCCUPANCY (PRIOR TO FIRE AND PER FUTURE FIT-OUT)

B - BUSINESS/ RESIDENTIAL USE IN PORTION OF CELLAR
 A-3 RESTAURANT USE IN PORTION OF CELLAR, ENTIRETY OF 1ST FLOOR AND PORTION OF 2ND FLOOR
 R-2 RESIDENTIAL USE IN PORTION OF 2ND FLOOR AND ENTIRETY OF 3RD THROUGH FIFTH FLOORS

TABLE 503 ALLOWABLE BUILDING HEIGHTS AND AREAS PER TYPE 3A CONSTRUCTION:
 A3 USE - 3 STORIES, 14,000 SF
 B USE - 5 STORIES, 28,500 SF
 R3 USE - 4 STORIES PLUS ONE STORY INCREASE PER 504.2, UNLIMITED AREA

504.2 AUTOMATIC SPRINKLER INCREASE FOR BUILDING EQUIPPED THROUGHOUT WITH A NFPA 13 TYPE SPRINKLER SYSTEM REFERENCED IN SECTION 903.3.1.1. ALLOWS FOR MAXIMUM HEIGHT FROM TABLE 503 TO BE INCREASED BY 20% AND THE MAXIMUM NUMBER OF STORIES TO BE INCREASED BY 1.

508.4.3 ALLOWABLE HEIGHT - EACH SEPARATE OCCUPANCY SHALL COMPLY WITH THE BUILDING HEIGHT LIMITATIONS BASED ON THE TYPE OF CONSTRUCTION PER TABLE 503 LIMITATIONS NOTED ABOVE.

508.4.4 SEPARATED OCCUPANCIES, 2HR SEPARATION BETWEEN RESIDENTIAL USE AND BUSINESS OR ASSEMBLY USES, 1HR SEPARATION BETWEEN TENANTS

TABLE 602 FIRE SEPARATION DISTANCE UNDER 5 FT. NOTE C - SEE SECTION 706.1.1 FOR PARTY WALLS

706.1.1 PARTY WALLS - ANY WALL LOCATED ON LOT LINE BETWEEN ADJACENT BUILDINGS SHALL BE CONSTRUCTED AS A FIRE WALL PER SECTION 706.

TABLE 706.4 FIRE WALL FIRE RESISTANCE RATING FOR R-2 + 3 HOURS FOR TYPE 3A CONSTRUCTION.

1009.13.1 ROOF ACCESS - STAIRWAYS PROVIDED TO A ROOF SHALL BE PROVIDED THROUGH A PENTHOUSE COMPLYING WITH SECTION 1509.2.F ROOF IS OCCUPABLE.

1014.3 COMMON PATH OF EGRESS TRAVEL FOR R-2 SPRINKLERED PER EXCEPTION 4 IS 125 FT.

1021.1 EXITS FROM STORES - OCCUPIED ROOFS SHALL BE PROVIDED WITH EXITS AS REQUIRED FOR STORES
 EXCEPTION 4 - ONE MEANS OF EGRESS IS PERMITTED WITHIN AND FROM AN INDIVIDUAL DWELLING UNIT WITH A MAXIMUM OCCUPANT LOAD OF 20 THAT IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM. NOTE THAT COMMON PATH OF TRAVEL IS UNDER 125 FT FROM THE MOST REMOTE POINT OF THE PROPOSED ROOF DECK.

SECTION 1509 ROOFTOP STRUCTURES

1502 DEFINITIONS

PENTHOUSE - AN ENCLOSED STRUCTURE ABOVE THE ROOF ACF A BUILDING, OTHER THAN A TANK, TOWER, SPIRE, DOME, CUPOLA OR BULBHEAD.

ROOFTOP STRUCTURE - AN ENCLOSED STRUCTURE ON OR ABOVE THE ROOF OF ANY PART OF A BUILDING.

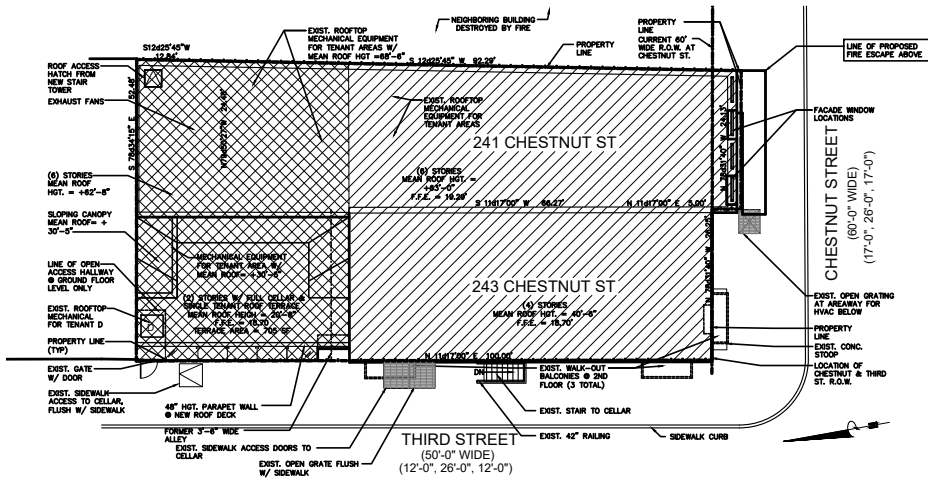
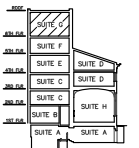
1509.2.1 HEIGHT ABOVE ROOF - 18 FT ABOVE ROOF PERMITTED BY IBC, BUT RESTRICTED TO 10 FT PER PHILA ZONING CODE 14-604.5.C EXCEPTION 2 FOR ZONE DISTRICT CMX-3

1509.2.3 AREA LIMITATION - THE AGGREGATE AREA OF PENTHOUSES AND OTHER ROOFTOP STRUCTURES SHALL NOT EXCEED ONE-THIRD THE AREA OF THE SUPPORTING ROOF. IF THE AGGREGATE AREA OF ROOF STRUCTURES EXCEED 1/3 THE ROOF, THEN THE ROOF TOP STRUCTURE MUST BE CONSIDERED A STORY.

1509.2.3 USE LIMITATIONS - A PENTHOUSE SHALL NOT BE USED FOR PURPOSES OTHER THAN SHELTER OF MECHANICAL EQUIPMENT OR VERTICAL SHAFT OPENINGS IN THE ROOF. USES OTHER THAN PERMITTED BY THIS SECTION MUST BE CONSIDERED A STORY.

TABLE 1607 - MINIMUM UNIFORM LIVE LOAD DESIGN FOR ROOF GARDENS OR ROOFS USED FOR ASSEMBLY PURPOSES - 100 PSF

SECTION KEY MAP



* SITE PLAN REFLECTS INFORMATION PROVIDED BY OWNER'S DESK & SITE SURVEY PREPARED BY EZRA COLLIER ASSOC. ON 2-20-03 DWG. NO. -03033001

ZONING DISTRICT:
 C-3 COMMERCIAL DISTRICT
 CENTER CITY SPECIAL CONTROLS

INDEX OF DRAWINGS

CS1.0	COVER SHEET
A1.0	OVERALL SIXTH FLOOR PLAN
A1.1	EXISTING ROOF PLAN
A1.2	PROPOSED ROOF PLAN
A3.0	EXISTING FRONT ELEVATION (SOUTH)
A3.1	PROPOSED FRONT ELEVATION (SOUTH)
A3.2	EXISTING SIDE ELEVATION (WEST)
A3.3	PROPOSED SIDE ELEVATION (WEST)
A4.0	BUILDING SECTIONS

CODE INFORMATION

PROJECT TYPE: BUILDING FOOTPRINT: NUMBER OF STORIES: EXISTING CONSTRUCTION: FLOORS: WALLS: ROOF: GROSS BLDG. SQ. FOOTAGE:	PROPOSED ROOF DECK & PILOT HOUSE 5,285 SQ. FT. 6 STORIES W/ BSMT. & SUB BSMT. WD FLR. JOISTS/ WD FLOORING LOADBEARING MASONRY WD. FRAME 22,204 SQ. FT.
USE GROUP: CONSTRUCTION TYPE: STRUCTURE @ ADDITION: WALLS @ ADDITION: ROOF @ ADDITION:	MIXED INCL. R-2 B AND A-3 3A - PROTECTED STL. FRAMING W/ CONC. DECK MTL. STUDS & CMU. STL. FRAMING & STL. DECK
OCCUPANT LOAD:	AS PER EACH TENANT FITOUT
LIFE SAFETY SYSTEMS:	
TENANT SEPARATION	(2) HR. BTWN. MIXED OCCUPANCIES (1) HR. BTWN. LIKE OCCUPANCIES
FIRE ALARM (AUD./VIS. ALARMS W/ DETECTORS) A.F.S.S. STANDPIPE SYSTEM FIRE EXTINGUISHERS EMERGENCY LIGHTS EXIT SIGNAGE	EXISTING EXISTING EXISTING PROVIDED W/ FUTURE FIT-OUT PROVIDED W/ FUTURE FIT-OUT PROVIDED W/ FUTURE FIT-OUT

PARTIES TO THE CONTRACT

OWNER:	DR. STEVEN GELBART, DDS 241 CHESTNUT STREET, UNIT G PHILADELPHIA, PA 19106
ARCHITECT:	SEILER + DRURY, P.C. 420 DEKALB STREET NORRISTOWN, PA 19401 TEL: (610) 272-4809

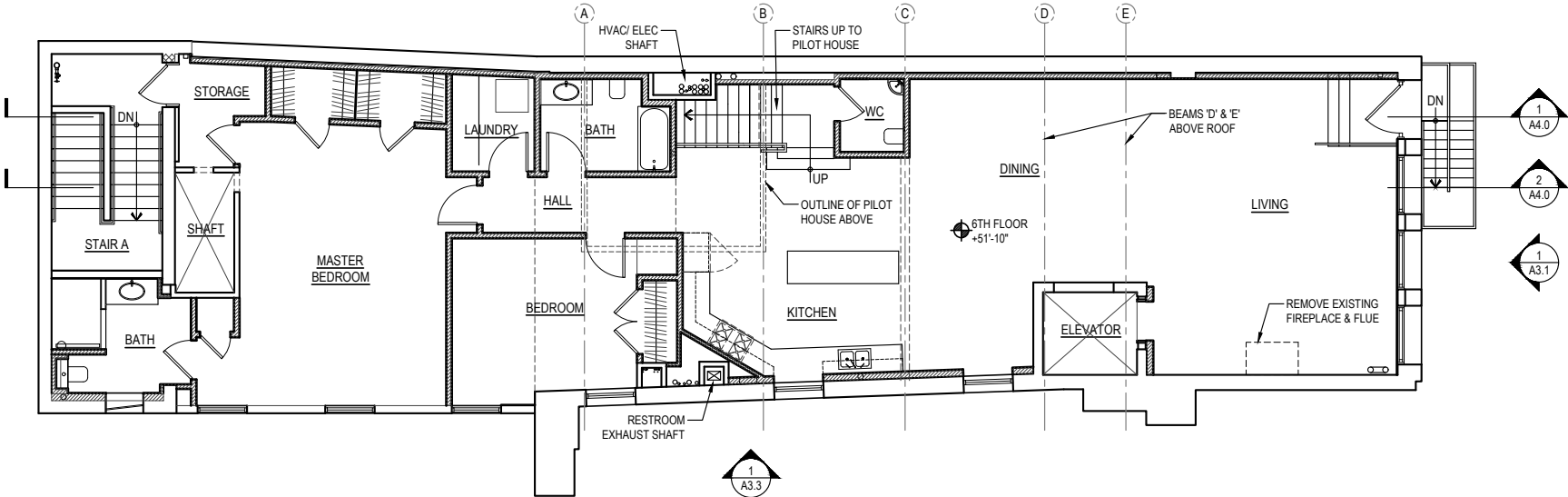
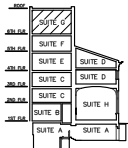
PROJECT NAME:
PROPOSED ROOF DECK & PILOT HOUSE AT:
 UNIT G
 241 CHESTNUT ST
 PHILADELPHIA

COVER SHEET

DATE: 3/8/21
 PROJECT NO: 1810.2
 SKETCH NO:

CS1.0

SECTION KEY MAP



PROJECT NORTH   **OVERALL SIXTH FLOOR PLAN**
SCALE: 1/8"=1'-0"

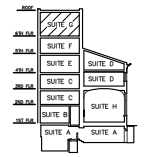
PROJECT NAME: **PROPOSED ROOF DECK & PILOT HOUSE AT:**
UNIT G
241 CHESTNUT ST
PHILADELPHIA

OVERALL SIXTH FLOOR PLAN

DATE: 3/8/21
PROJECT NO: 1810.2
SKETCH NO:

A1.0

SECTION KEY MAP

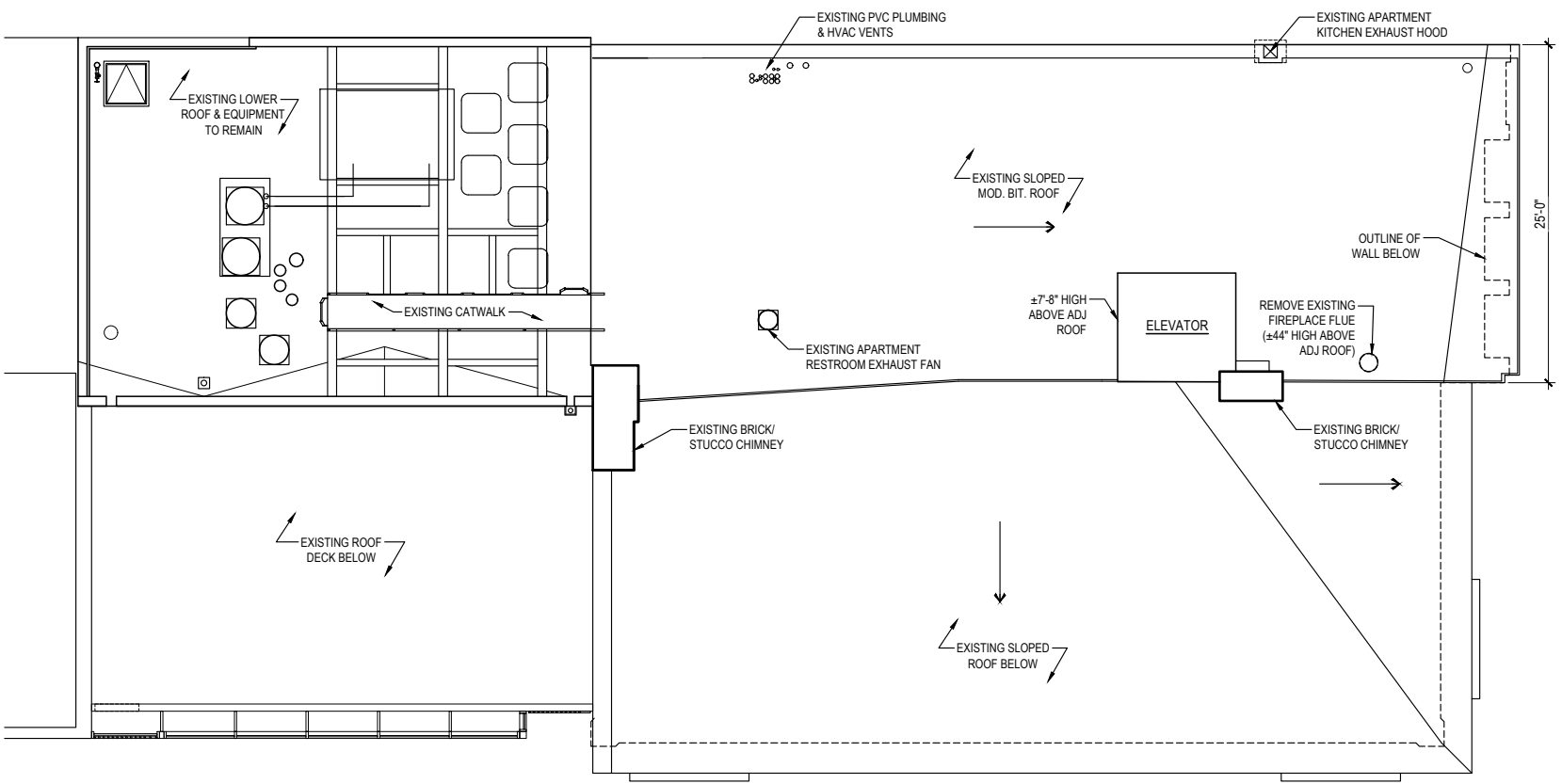


PROJECT NAME:
PROPOSED ROOF DECK & PILOT HOUSE AT:
UNIT G
241 CHESTNUT ST
PHILADELPHIA

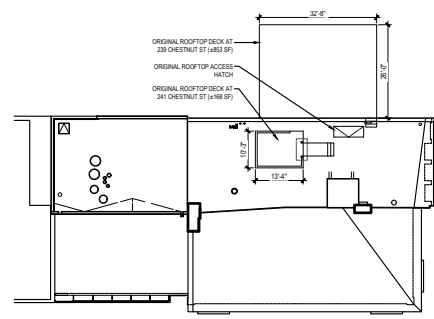
EXISTING ROOF PLAN

DATE: 3/8/21
PROJECT NO: 1810.2
SKETCH NO:

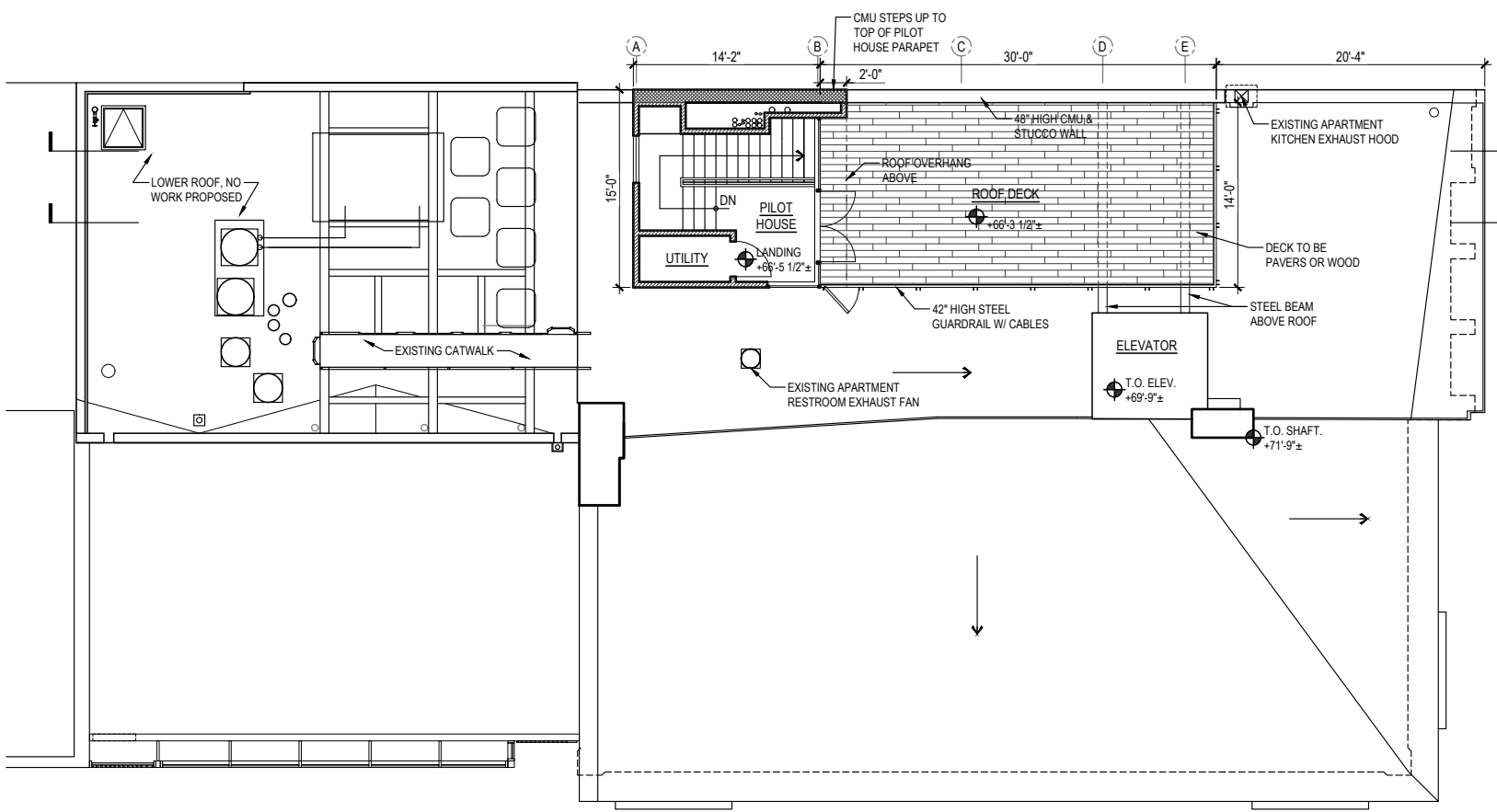
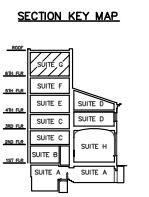
A1.1



PROJECT NORTH **1** EXISTING ROOF PLAN
A1.1 SCALE: 1/8"=1'-0"



PROJECT NORTH **2** PRE-FIRE ROOF PLAN
A1.1 SCALE: 1/32"=1'-0"



PROJECT NORTH **1** PROPOSED ROOF PLAN
A1.2 SCALE: 1/8"=1'-0"

AREA TABLE	
LOCATION	AREA
243 CHESTNUT ROOF	2805 SF.
241 CHESTNUT ROOF	2825 SF.
COMBINED ROOF AREAS	5630 SF.
ROOF DECK	420 SF.
PILOT HOUSE	218 SF.
COMBINED R.D. & PILOT HOUSE	638 SF.
R.D. & PILOT % OF 241 ROOF	22.6%

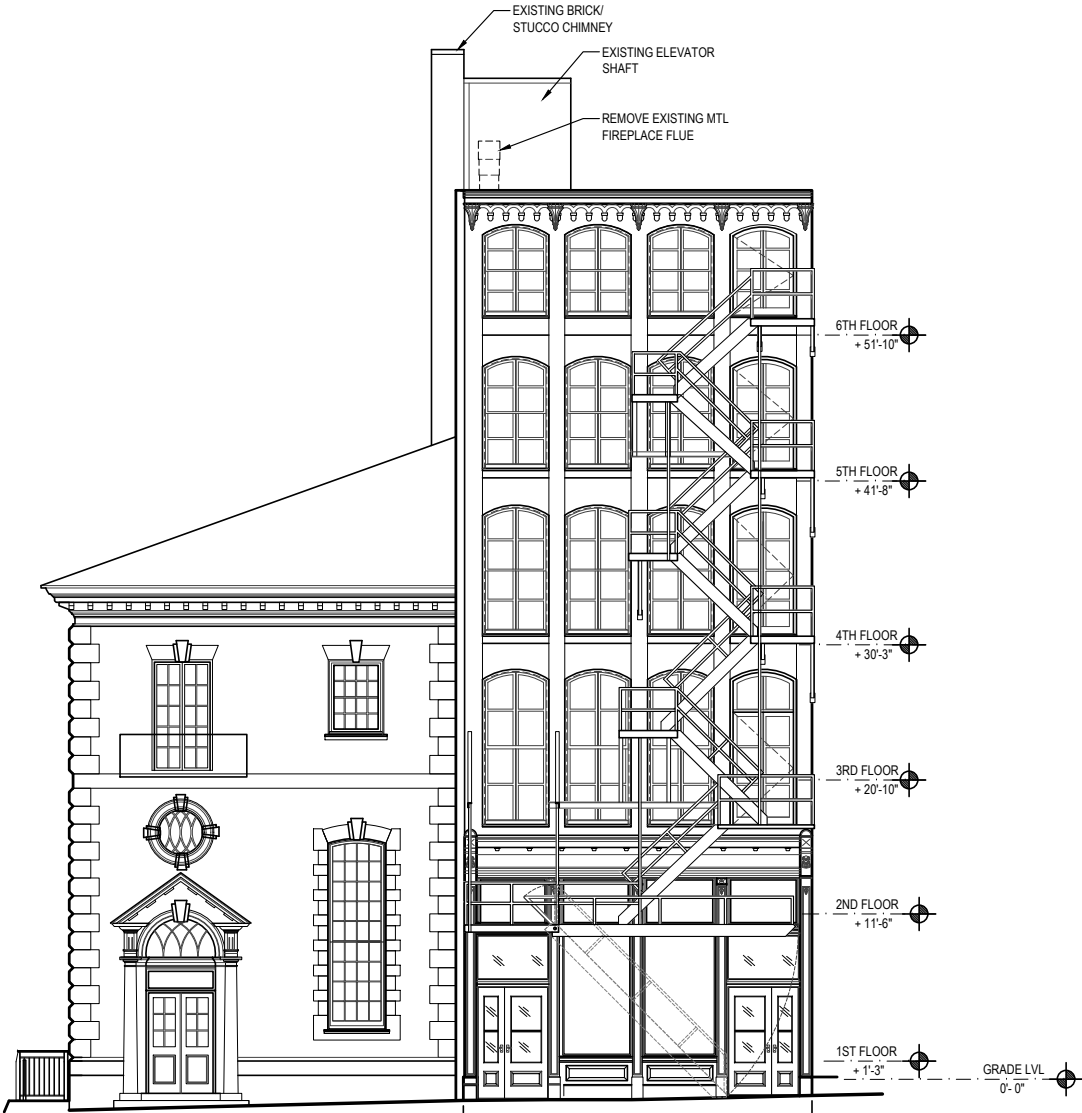
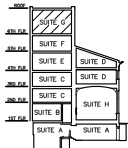
PROJECT NAME:
PROPOSED ROOF DECK & PILOT HOUSE AT:
UNIT G
241 CHESTNUT ST
PHILADELPHIA

PROPOSED ROOF PLAN

DATE: 3/8/21
PROJECT NO: 1810.2
SKETCH NO:

A1.2

SECTION KEY MAP



PROJECT NAME:
PROPOSED ROOF DECK & PILOT HOUSE AT:
UNIT G
241 CHESTNUT ST
PHILADELPHIA

EXISTING BUILDING
ELEVATION

DATE: 3/8/21

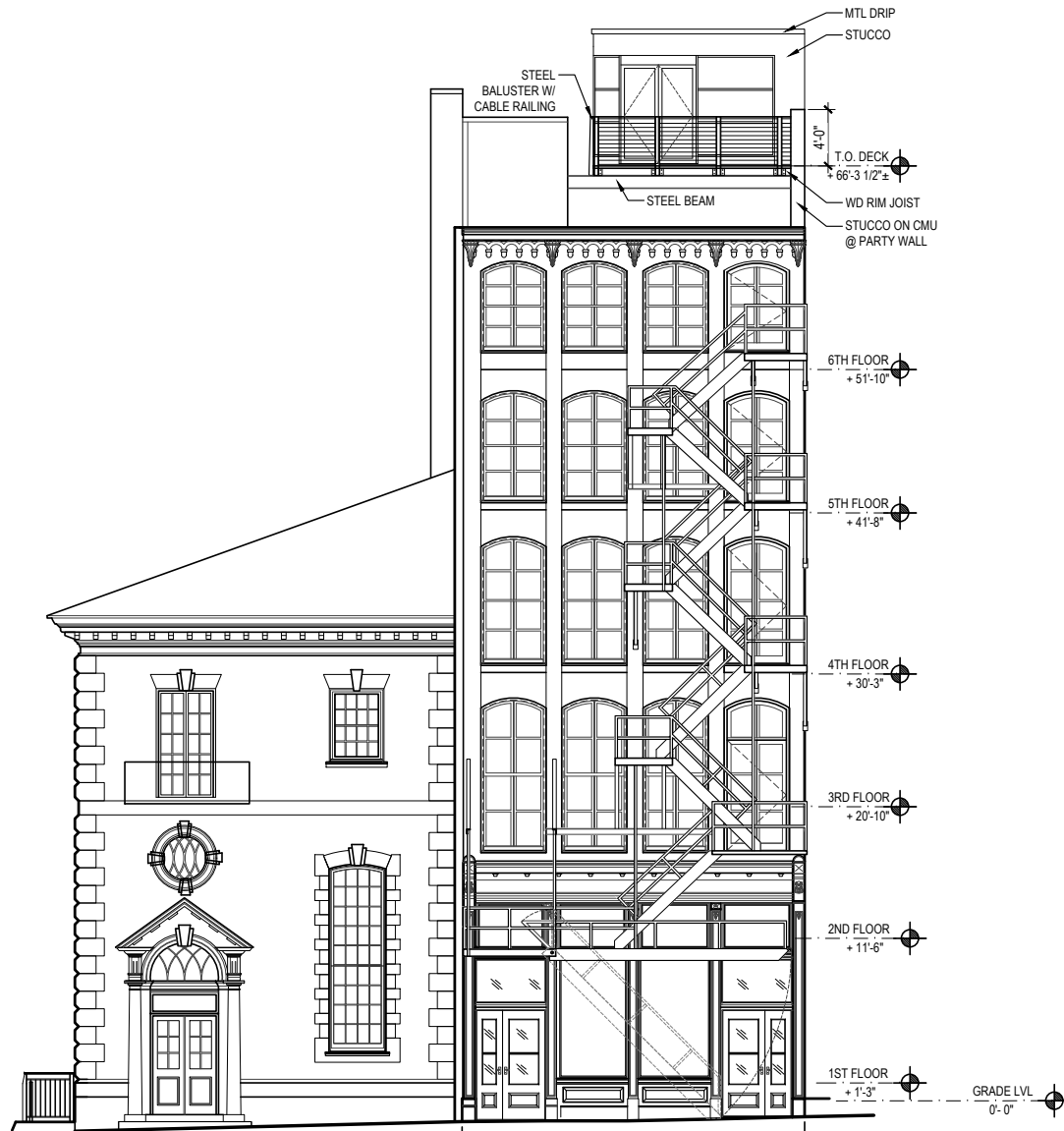
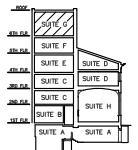
PROJECT NO: 1810.2

SKETCH NO:

1 EXISTING FRONT ELEVATION (SOUTH)
A3.0 SCALE: 1/8"=1'-0"

A3.0

SECTION KEY MAP



PROJECT NAME:
PROPOSED ROOF DECK & PILOT HOUSE AT:
UNIT G
241 CHESTNUT ST
PHILADELPHIA

PROPOSED BUILDING ELEVATION

DATE: 3/8/21

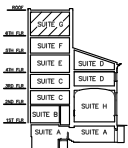
PROJECT NO: 1810.2

SKETCH NO:

1 PROPOSED FRONT ELEVATION (SOUTH)
A3.1 SCALE: 1/8"=1'-0"

A3.1

SECTION KEY MAP



PROJECT NAME:
PROPOSED ROOF DECK & PILOT HOUSE AT:
UNIT G
241 CHESTNUT ST
PHILADELPHIA

EXISTING BUILDING ELEVATION

DATE: 3/8/21

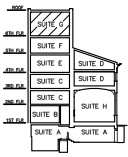
PROJECT NO: 1810.2

SKETCH NO:

1 EXISTING SIDE ELEVATION (WEST)
A3.2 SCALE: 1/8"=1'-0"

A3.2

SECTION KEY MAP



PROJECT NAME:
PROPOSED ROOF DECK & PILOT HOUSE AT:
UNIT G
241 CHESTNUT ST
PHILADELPHIA

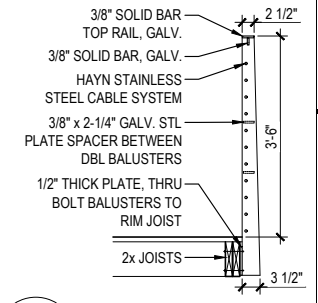
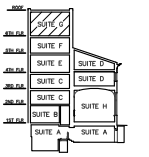
PROPOSED BUILDING
ELEVATION

DATE: 3/8/21
PROJECT NO: 1810.2
SKETCH NO:

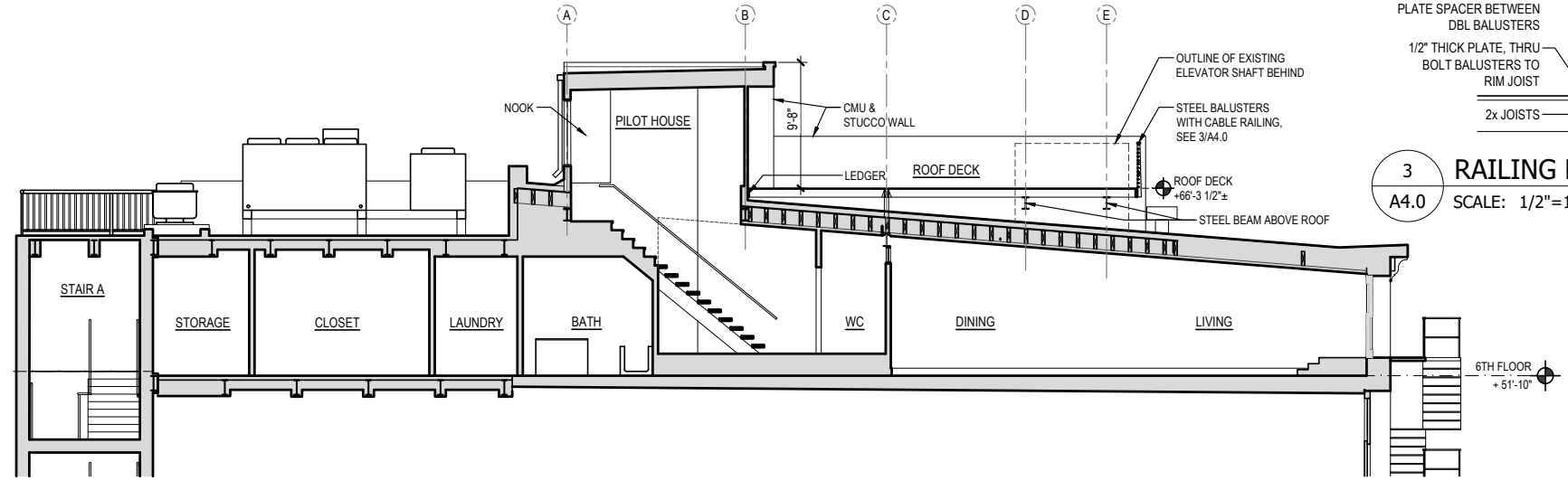
1 PROPOSED SIDE ELEVATION (WEST)
A3.3 SCALE: 1/8"=1'-0"

A3.3

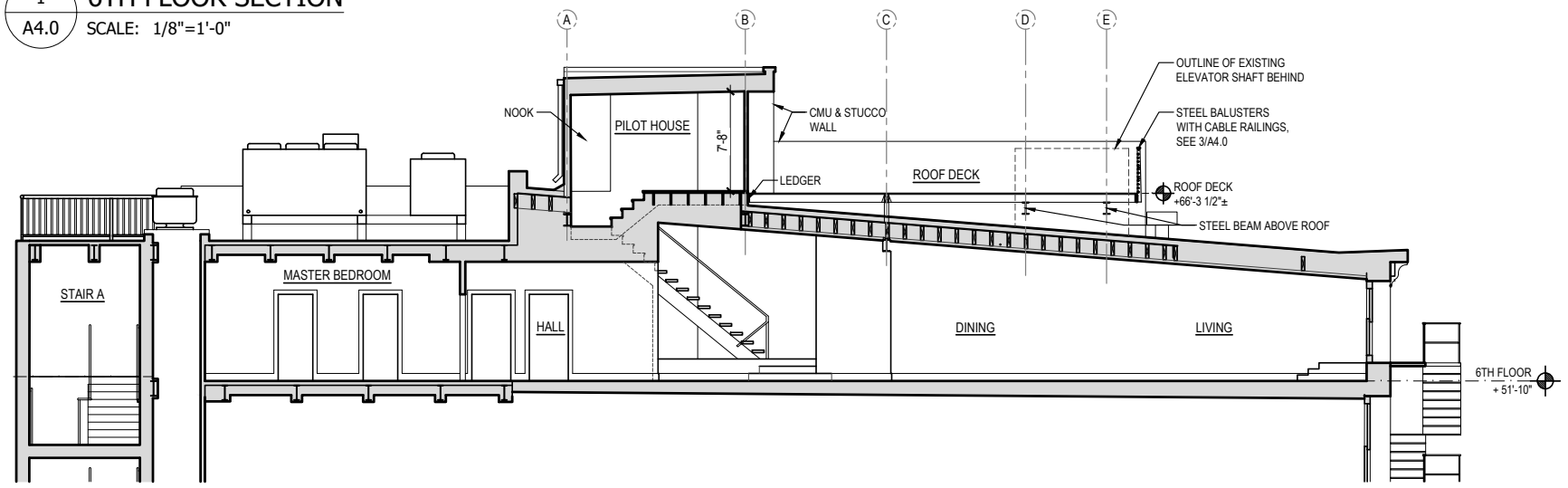
SECTION KEY MAP



3 RAILING DETAIL
A4.0 SCALE: 1/2"=1'-0"



1 6TH FLOOR SECTION
A4.0 SCALE: 1/8"=1'-0"



2 6TH FLOOR SECTION
A4.0 SCALE: 1/8"=1'-0"

PROJECT NAME:
PROPOSED ROOF DECK & PILOT HOUSE AT:
UNIT G
241 CHESTNUT ST
PHILADELPHIA

BUILDING SECTIONS

DATE: 3/8/21
PROJECT NO: 1810.2
SKETCH NO:

A4.0