

ADDRESS: 230, 232, 234-36 S 4TH ST

Proposal: Consolidate lots; demolish rears; construct additions

Review Requested: Review In Concept

Owner: 234 S. 4th St. LP and Forman Family Realty Trust

Applicant: Ming-Lee Yuan, Olson Kundig

History: 1805

Individual Designation: 4/30/1957

District Designation: Society Hill Historic District, Significant, 3/10/1999

Staff Contact: Randal Baron, randal.baron@phila.gov, 215-686-7660

BACKGROUND:

This in-concept application proposes work to a site that consists of three parcels and includes two rowhouses and a garden surrounded by a brick wall with iron fence. The site runs west from 4th Street to Leithgow Street along Locust Street. The application proposes to combine the parcels, join the historic rowhouses, and to demolish the rear ells of the two rowhouses as well as a later garage and addition facing Leithgow Street and the INHP Rose Garden. The staff has concerns about the demolition of this early character defining fabric. The party wall between the rowhouses would also be removed. The application proposes to construct a large addition that would include a rowhouse-like structure facing S. 4th Street. Two courtyards would be created. The new addition, while fitting into its context in massing and materials, features a large glass window that is not appropriate to the rhythm and scale of the historic buildings that it connects with.

SCOPE OF WORK:

- Demolish rear sections of the buildings at 230 and 232 S. 4th Street.
- Construct addition.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
 - The massing, size, scale, proportions, and height of the proposed tower with overbuild are not compatible with the complex of buildings or historic district.

Section 14-1005(6)(d) of the historic preservation ordinance, the prohibition against demolition:

- *No building permit shall be issued for the demolition of a historic building, structure, site, or object, or of a building, structure, site, or object located within a historic district that contributes, in the Historical Commission's opinion, to the character of the district, unless the Historical Commission finds that issuance of the building permit is necessary in the public interest, or unless the Historical Commission finds that the building, structure, site, or object cannot be used for any purpose for which it is or may be reasonably adapted. In order to show that building, structure, site, or object cannot be used for any purpose for which it is or may be reasonably adapted, the owner must demonstrate that the sale of the property is impracticable, that commercial rental cannot provide a reasonable rate of return, and that other potential uses of the property are foreclosed.*
 - The applicants have not demonstrated that the existing building cannot be reasonably adapted, that the sale is impracticable, or that all other potential uses of the property have been foreclosed upon.

STAFF RECOMMENDATION: Denial, pursuant to Section 14-1005(6)(d) and Standard 9.

Philadelphia Historical Commission

1515 Arch Street, 13th Floor
Philadelphia, PA 19102

July 9, 2019

This application is for in-concept approval. The property owner's names are 234 S. 4th Street LP and Forman Family Realty Trust.

The proposed project combines lots 230, 232, and 234-236 S. 4th St. into a single residential lot. The existing commercial offices on 232 S. 4th St. will be returned back to residential. The lot consolidation process is currently under review. The project involves the continued restoration of the historic facades on S. 4th Street of 230 and 232, demolition of later additions, and construction of addition that will also incorporate the 234-236 site.

Regards,

Tom Kundig



Society Hill Residence

PHILADELPHIA HISTORICAL COMMISSION
IN-CONCEPT SUBMISSION - JULY 9, 2019

OLSON KUNDIG

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TEAM:

OWNER:

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215.817.3789

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215.790.0725
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01 | Society Hill and Wider Context

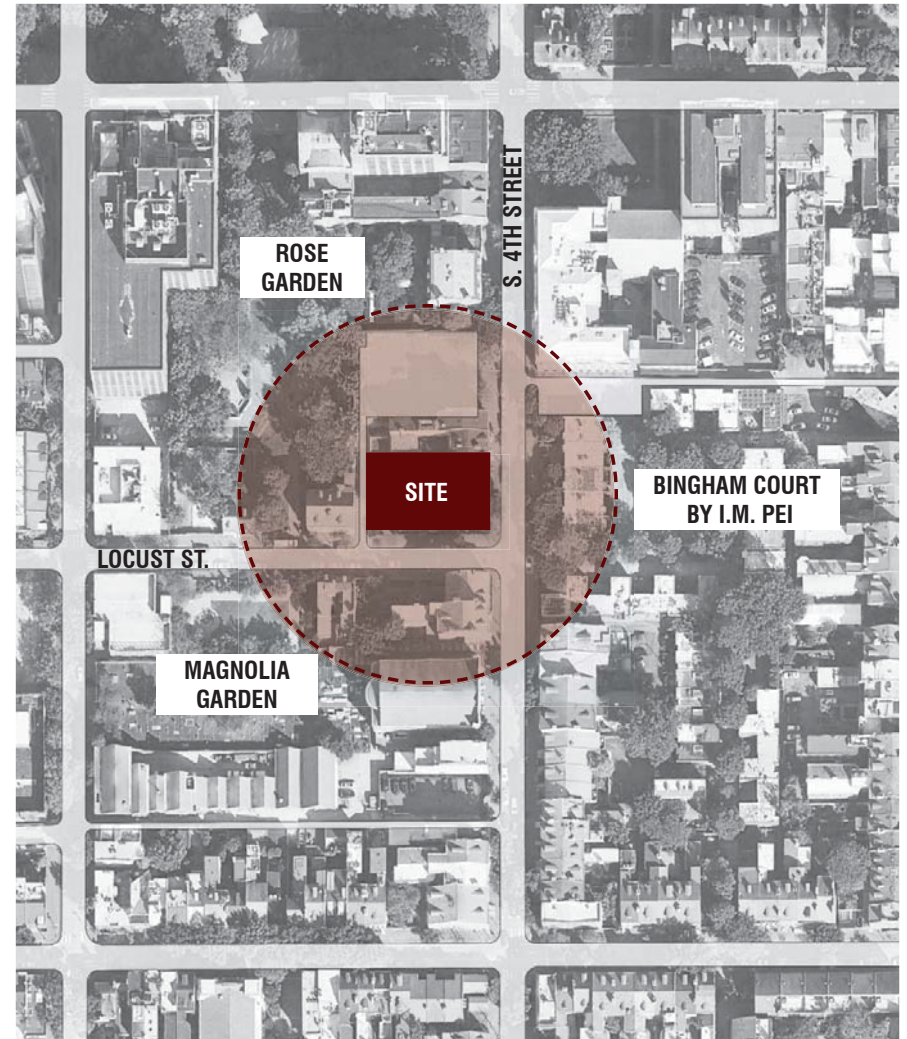
INTRODUCTION

SOCIETY HILL AND WIDER CONTEXT

SITE



CONTEXT MAP - NTS



SITE MAP - NTS

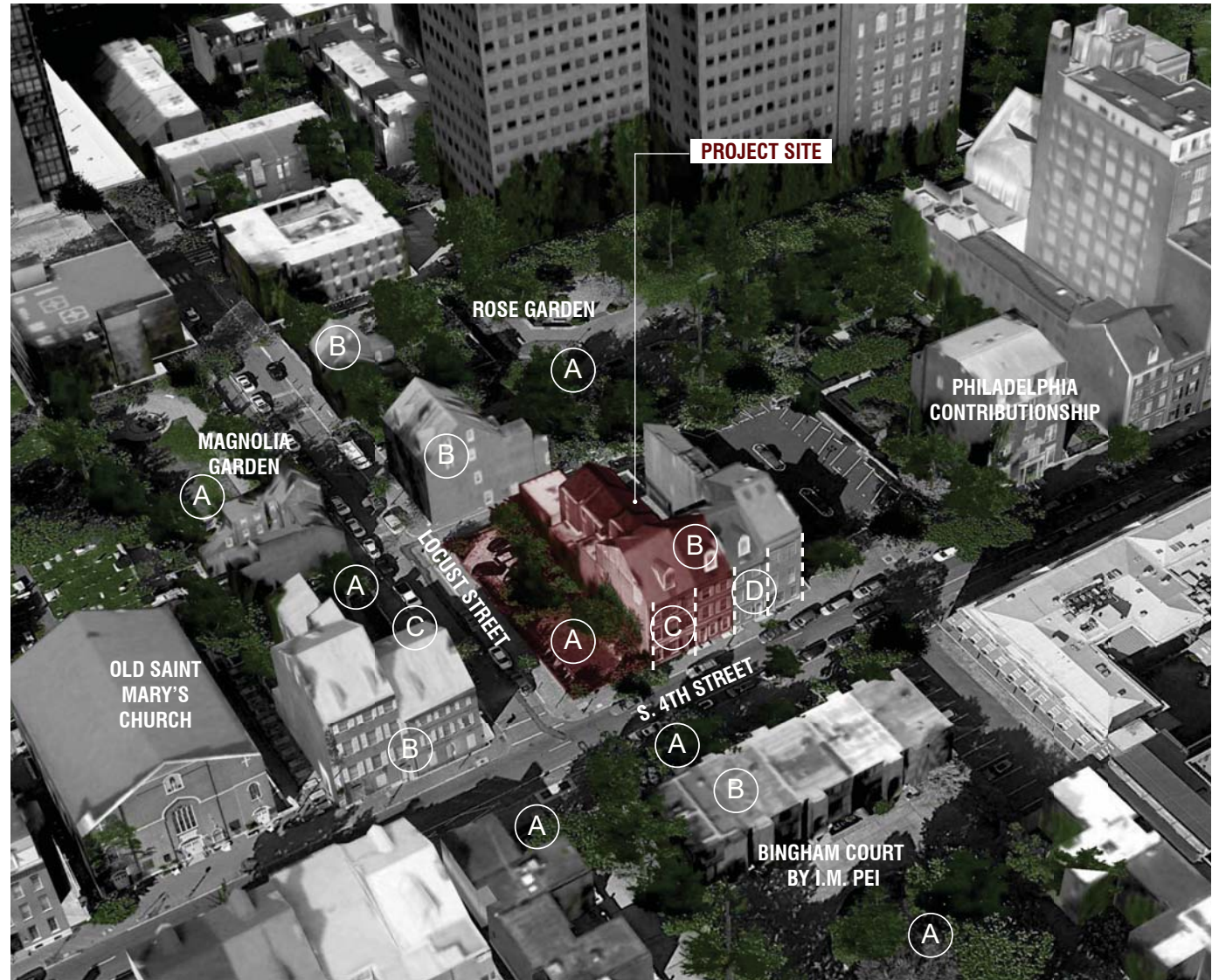


INTRODUCTION

SOCIETY HILL CONTEXTUAL CUES

Our team understands the importance of developing a building that will add to the character and rich history of Society Hill with a respectful consideration of context, materials, and scale that works on both the street and block level. The design seeks to be compatible with, yet distinct from, the surrounding buildings. The following contextual cues were influential in informing the design proposal.

- (A) INTEGRATION OF GREEN SPACE AND VEGETATION**
- (B) SCALE AND BUILDING MASSING**
- (C) HISTORIC MATERIALITY**
- (D) RHYTHM - HORIZONTAL AND VERTICAL**



A CONTEXTUAL CUES

INTEGRATION OF GREEN SPACE AND VEGETATION

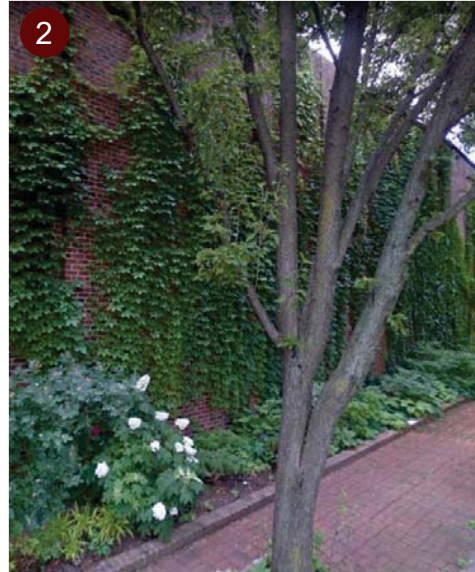
1 234-236 S. 4th Street (Project Site)

- Landscaped corner lot with surface parking.
- Previously a garden for 232 S. 4th Street.



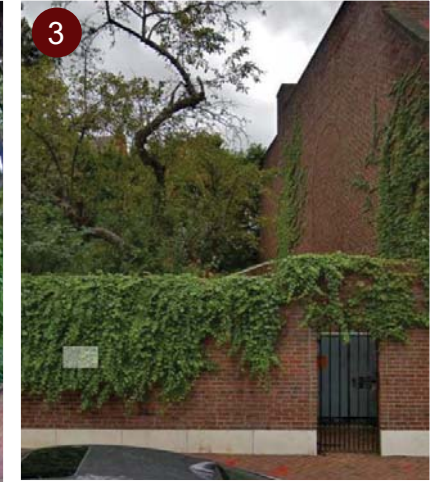
2 Stamper Street - 200 Block

- Ivy on brick wall of adjacent building



3 408 Locust Street

- Ivy on masonry street wall contributes to the open, green character of the neighborhood.



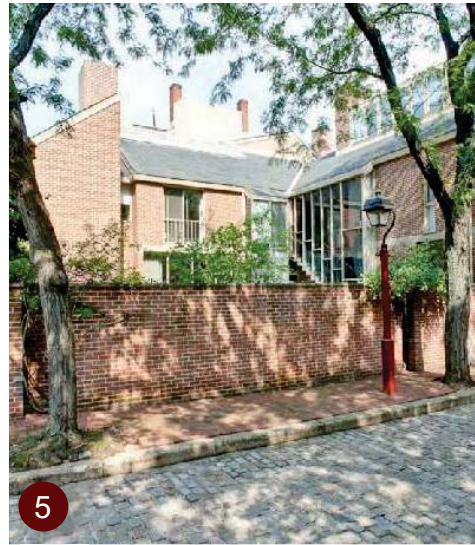
4 Penn's Landing - 130 Spruce Street

- Louis Sauer - 1970
- Intimate private garden at unit entry defined by tall masonry street wall
- Ivy at courtyard and front facade



5 401 Cypress Street

- Private garden adjacent to pedestrian right-of-way breaks down height of building along street wall.



6 Bingham Court - Locust and S. 4th

- I.M. Pei - 1967
- Intimate private garden defined by masonry street wall at corner of R.O.W.

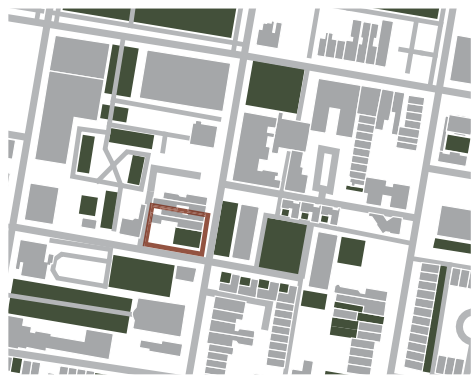


Diagram - Existing Green Space

B CONTEXTUAL CUES

SCALE AND BUILDING MASSING

1 408-410 Locust Street

- Building height steps from Magnolia Garden to the west to the private entry courtyard of the Historic Shippen-Wistar House to the east.

2 Bingham Court - Locust and S 4th St.

- Masonry building mass articulated as vertical plane to reveal inward facing glazing
- Building scale reduced along primary facade by lowering masonry at individual private gardens

3 423 Locust Street

- Building mass and height is reduced to the entrance to historic Rose Garden along Locust Street

4 Penn's Landing - 130 Spruce Street

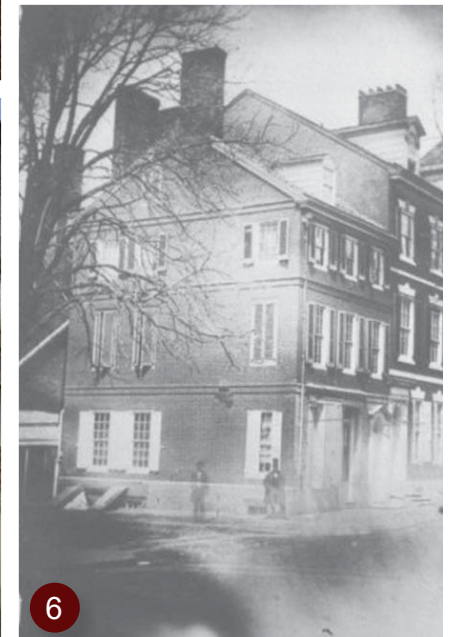
- Masonry articulated as vertical plane at primary facade.
- Building set back from property line to form private garden enclosed by masonry wall.

5 Shippen-Wistar House - 401 Locust St.

- Building reduces in scale from Norris-Cadwalader House to the south, establishing a lower height at the intersection of Locust and S. 4th Street

6 236 S. 4th Street

- Historic Photo - 1857
- Building steps down in height at corner of S. 4th Street and Locust S.



C CONTEXTUAL CUES HISTORICAL MATERIALITY

1 Shippen-Wistar House

- Roof of addition to match. Existing roofs on 230 and 232 to be restored.

2 Bingham Court - Locust and S. 4th St.

- Window openings/fenestrations are raised above pedestrian level and/or set back behind masonry street wall
- Black metal windows
- Windows extend the width of the facade

3 Bingham Court

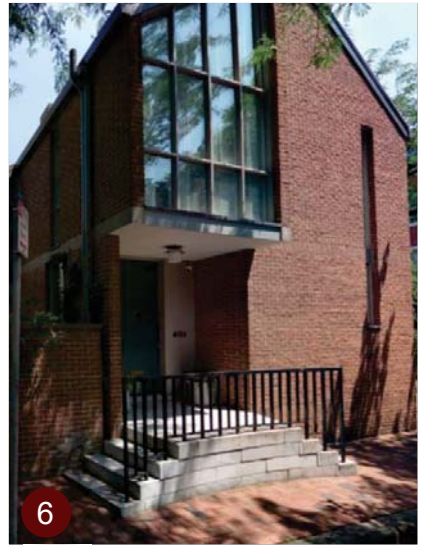
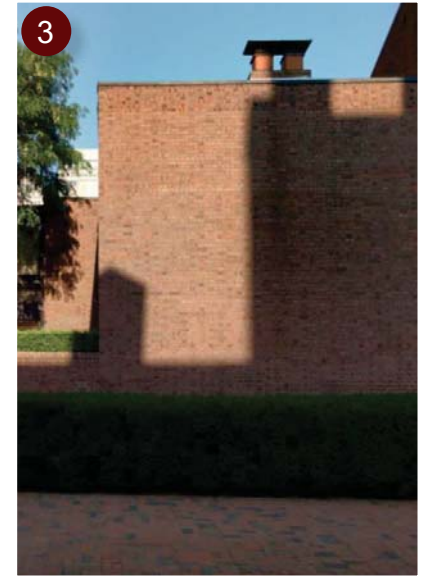
- Strong masonry plane along pedestrian right-of-way

4 232 S. 4th Street

- Flemish bond in historic red masonry to be matched in new proposed structure

5 401 Cypress Street

- Expansive metal windows above pedestrian level with secondary vertical glazing slots.
- Soldier brick beltcourse establishes horizontal banding along pedestrian level.



D CONTEXTUAL CUES

RHYTHM - HORIZONTAL AND VERTICAL

1 228/230/232 S. 4th Street.

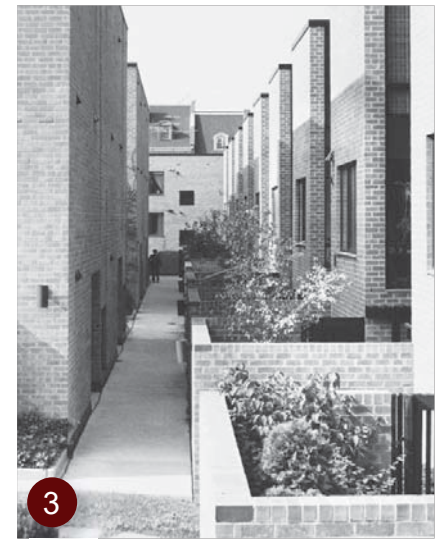
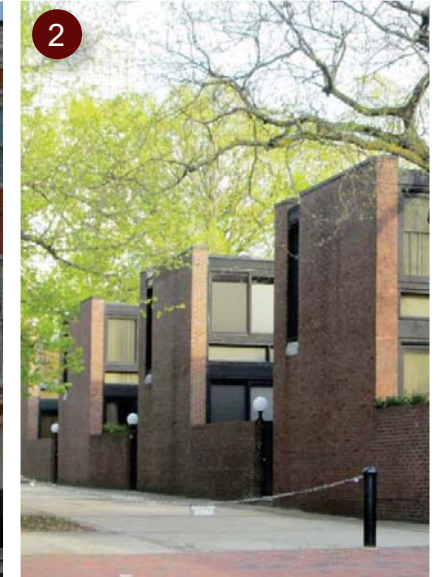
- Historic houses establish row module with total width between 15' to 20' wide.

2 Bingham Court - Locust and S. 4th St.

- Length of primary facade is reconstructed to reflect module of townhouse unit and conform to smaller historic rhythm.

3 Penn's Landing

- Primary facade is recessed from pedestrian right-of-way and broken into smaller vertical module.



02 | Project Site

PROJECT SITE

PROJECT DESCRIPTION AND HISTORIC DESIGNATION

PROJECT DESCRIPTION

The proposed project combines lots 230, 232, and 234-236 S. 4th Street into a single residential lot. The existing commercial spaces on 232 S. 4th St. will be returned back to residential. The new property will be single family residential instead of multi-family as allowable by code. The lot consolidation process is currently under review. The project involves the continued restoration of the historic facades on S 4th Street of 230 and 232, demolition of later additions, and construction of addition that will also incorporate the 234-236 site. The new residence will have multiple courtyards both interior and street facing.

HISTORIC DESIGNATION:

230 S. 4TH ST:

3 1/2-story, 2-bay, Flemish bond brick, Federal house. Marble stoop and watertable; cellar bulkhead; single-leaf 8-panel door; fanlight; frontispiece with punch and gouge and reeding detail; storm sash; marble sills and lintels; paneled shutters on 1st floor, louvered on 2nd and 3rd; marble beltcourse at 2nd and 3rd floors; bracketed molded wood cornice with punch and gouge detailing; pedimented dormer with arched windows.

Built c. 1805 by Isaac and William Paxson, iron mongers. Restoration 1966 by Carl Massara. Significant.

232 S. 4TH ST:

(a.k.a. 401-09 Locust Street) 3 1/2-story, 3-bay, Flemish bond brick, Federal building. Marble watertable; cellar bulkhead; square-head wood door surround with single-leaf 6-panel door and 3 light transom; 6/6 double-hung sash on all floors; security grills on 1st floor windows; marble sills and keystone jack arches; paneled shutters; stone beltcourse at 2nd and 3rd floors; bracketed molded wood cornice with punch and gouge detailing; pedimented dormer with arched sash.

South elevation: stuccoed; two rear additions. Garden extends south to Locust Street fronted by 1/2 foot wrought iron fence with brick and stone base.

Built c. 1805 for Thomas Armstrong, Esquire. Significant.

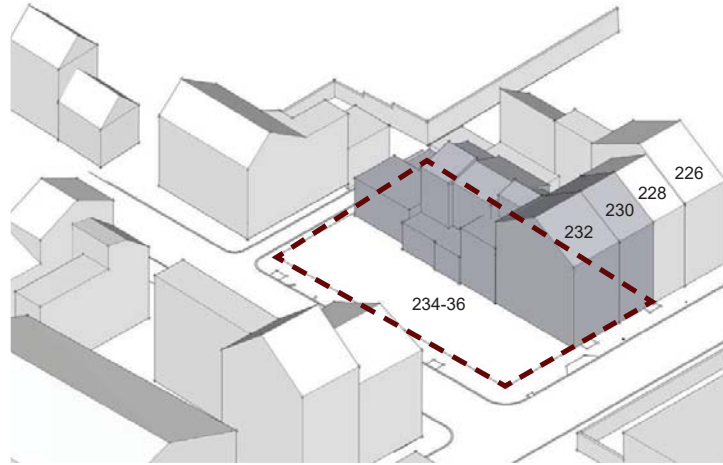


PROJECT SITE

EXISTING MASSING DIAGRAMS AND MAXIMUM DEVELOPMENT POTENTIAL

Comments per Society Hill Neighborhood Plan:

Issue: This parcel is an attractively landscaped corner lot with a surface parking area accessed off of Locust Street. The parcel was originally the garden to the significant historic house at 232 S. 4th Street, but has been subdivided. The site is a potential development parcel. There is concern that development would eliminate an attractive open space and that new development may not be consistent with the character of the Historic District.

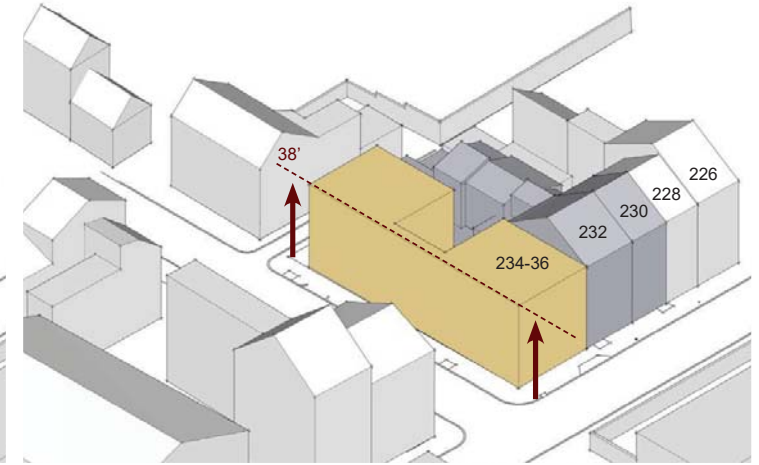


Existing Site Diagram

Current Use: Landscaped open space and surface parking area
Building Area: N/A
Number of Stories: N/A
Existing FAR: N/A
Zoning: RM-1 Residential Multi-Family
CTR Center City Overlay District Subareas:
Residential Parking Control Area,
Locust Street Area
Parking Garage Ground Floor Use Control Area
Residential District Control Area
Commercial District Control Area
Society Hill Area (6 subareas)

Open area requirement for 230 and 232 = 25%
Open area requirement for 234-36 = 20%
Combined lots Open area requirement = 20%

230/232 appear to currently not meet open area requirement.



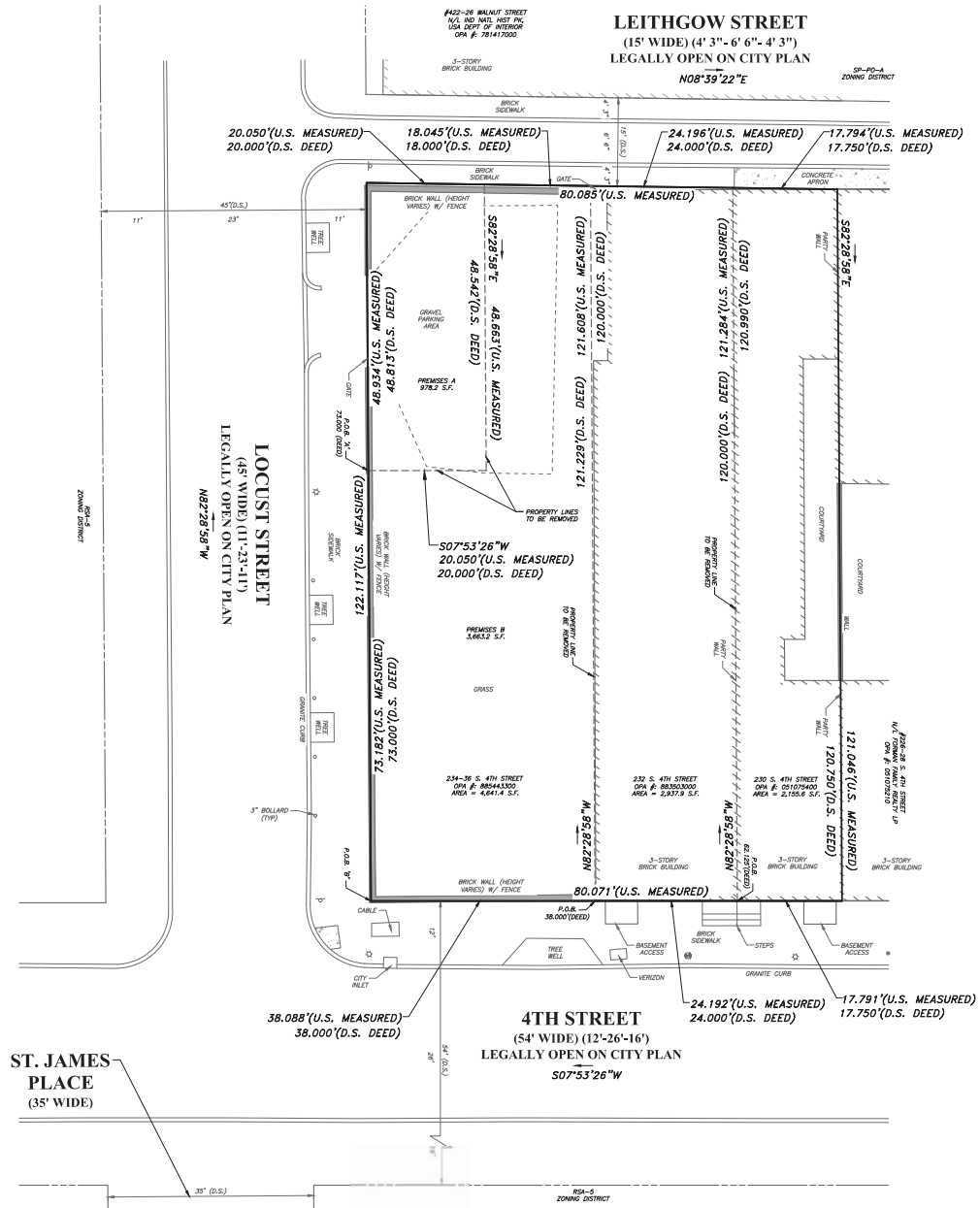
Max Development Potential Diagram

Max Building Height: 38'-0" (3-4 Stories)
Parking Requirement: 0
Maximum Lot Coverage: 80% (Corner Lot)
Maximum FAR: 2.4 (based on 3 Stories)
Maximum Potential Development Area: 8,974 SF
Number of Residential Units based on 480 SF of Lot Area per Unit: 10

PROJECT SITE

LOT CONSOLIDATION PLAN

LOT CONSOLIDATION PLAN - 1" = 20'



PROJECT SITE

COLLAGED PHOTOGRAPH OF EXISTING
BUILDING FACADE ON SOUTH 4TH



PROJECT SITE

COLLAGED PHOTOGRAPH OF EXISTING
BUILDING FACADE ON LOCUST STREET

Project Site



S. Leithgow St.
Dated: 06/2019

234-236 S. 4th Street along Locust Street
Dated: 06/2019

S. 4th Street
Dated: 06/2019

PROJECT SITE

COLLAGED PHOTOGRAPH OF EXISTING BUILDING
FACADE ON SOUTH LEITHGOW STREET

Project Site



228 S. 4th St.
Dated: 06/2019

230 S. 4th St.
Dated: 06/2019

232 S. 4th St.
Dated: 06/2019

234-236 S. 4th St.
Dated: 06/2019

PROJECT SITE

ADDITIONAL CONTEXT IMAGES



Image Key



01 Looking north at the intersection of S. 4th Street and Locust Street - Dated June 2019



02 Looking west at the intersection of S. 4th Street and Locust Street - Dated June 2019



03 Looking southwest on S. 4th Street towards 230/232 S. 4th Street - Dated June 2019



04 Looking north at the intersection of Locust Street and S. Leithgow Street - Dated June 2019



05 Looking South at the intersection of Locust Street and S. Leithgow Street - Dated June 2019



06 Looking southeast from Rose Garden towards proposed site of work - Dated June 2019



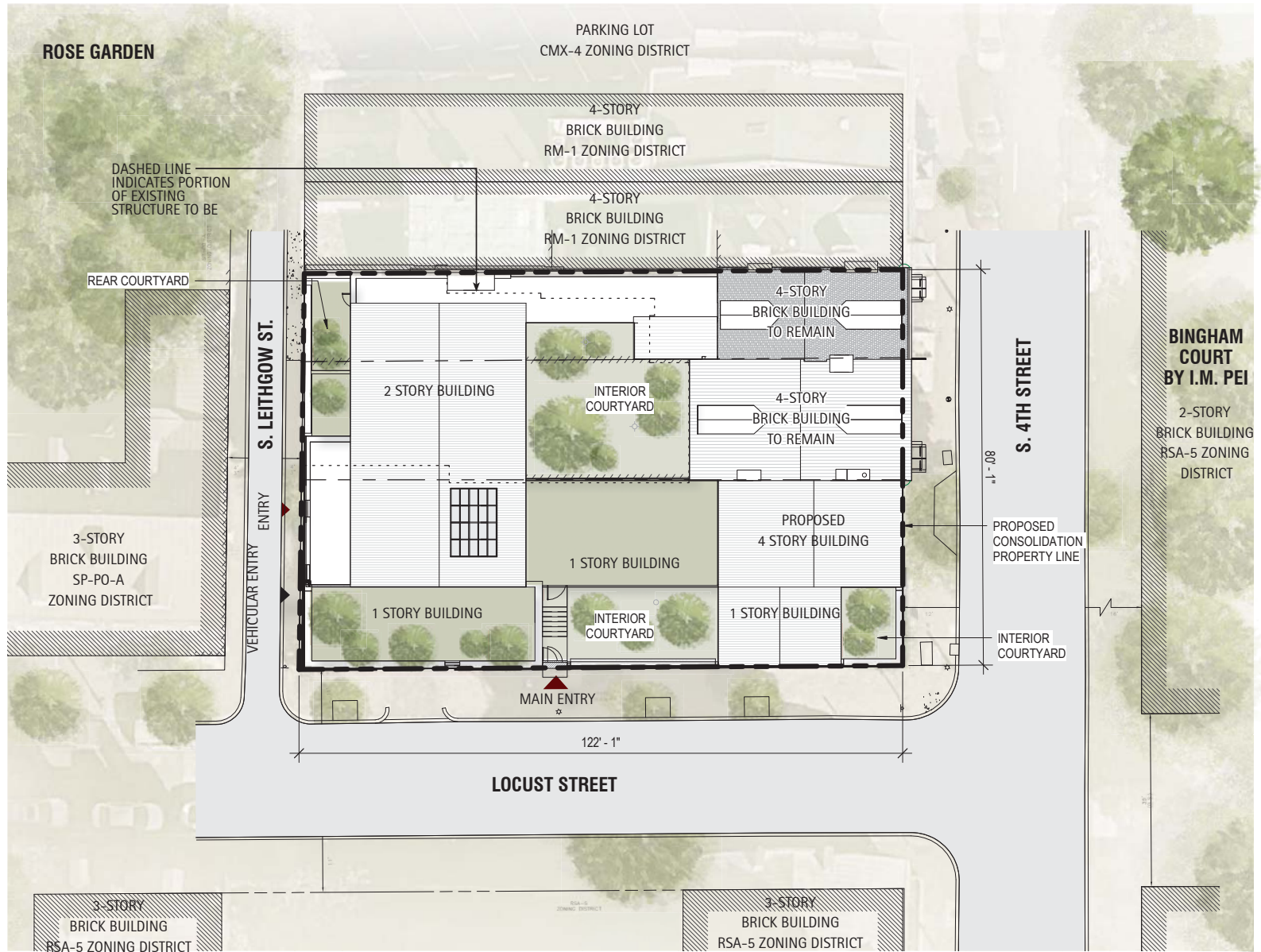
06 Looking southeast from Rose Garden towards proposed site of work in winter- Dated February 2019

03

Proposed
Design

PROPOSED DESIGN

SITE PLAN



SITE PLAN
 Scale: 1"=20'-0"
 0' 5' 10' 20'



PROPOSED DESIGN

RENDERING - CORNER OF S. 4TH AND LOCUST ST.



PROPOSED DESIGN

MAX DEVELOPMENT COMPARISON

Max Building Height: 38'-0" (3-4 Stories)
Parking Requirement: 0
Maximum Lot Coverage: 80% (Corner Lot)
Maximum FAR: 2.4 (based on 3 Stories)
Maximum Potential Development Area: 8,974 SF
Number of Residential Units based on 480 SF of Lot Area per Unit: 10

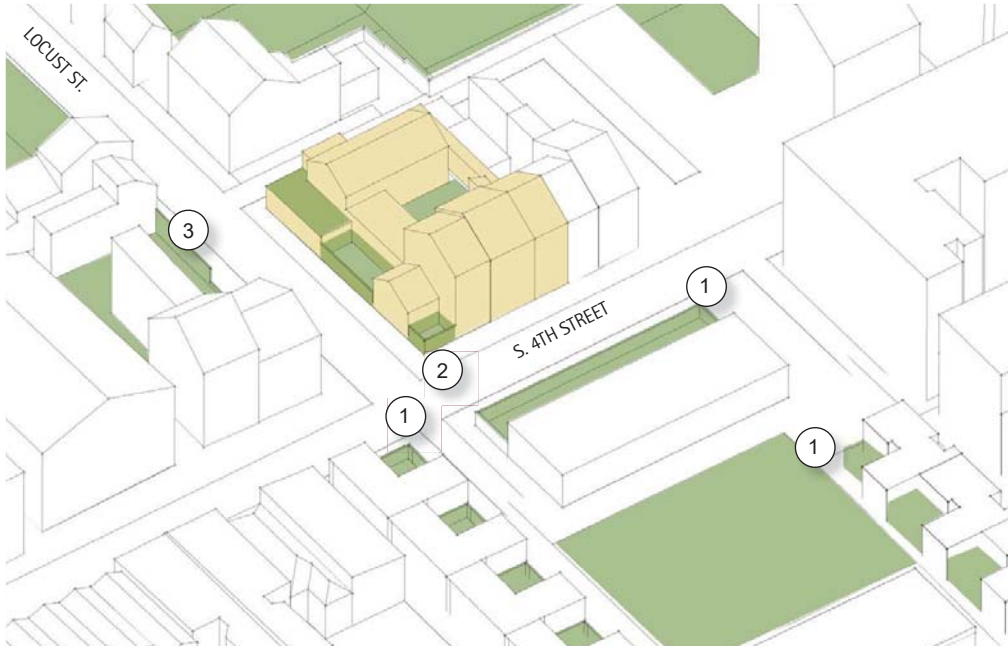


PROJECT CONTEXTUAL CUES

- (A) INTEGRATION OF GREEN SPACE AND VEGETATION**
- (B) SCALE AND BUILDING MASSING**
- (C) HISTORIC MATERIALITY**
- (D) RHYTHM - HORIZONTAL AND VERTICAL**

PROPOSED DESIGN

(A) INTEGRATION OF GREEN SPACE AND VEGETATION

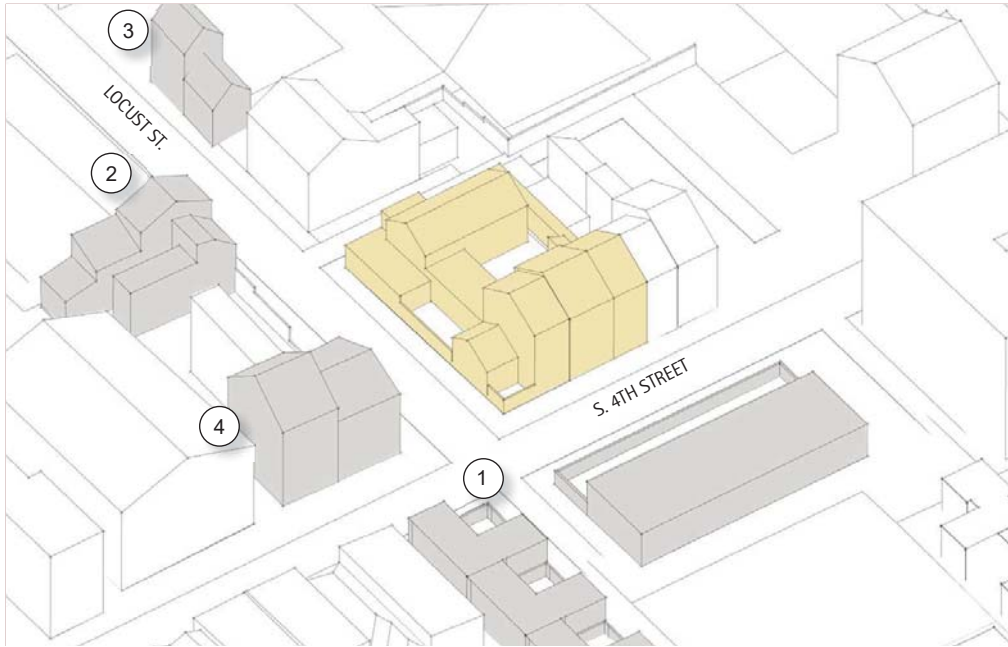


GREEN SPACE AND VEGETATION DIAGRAM

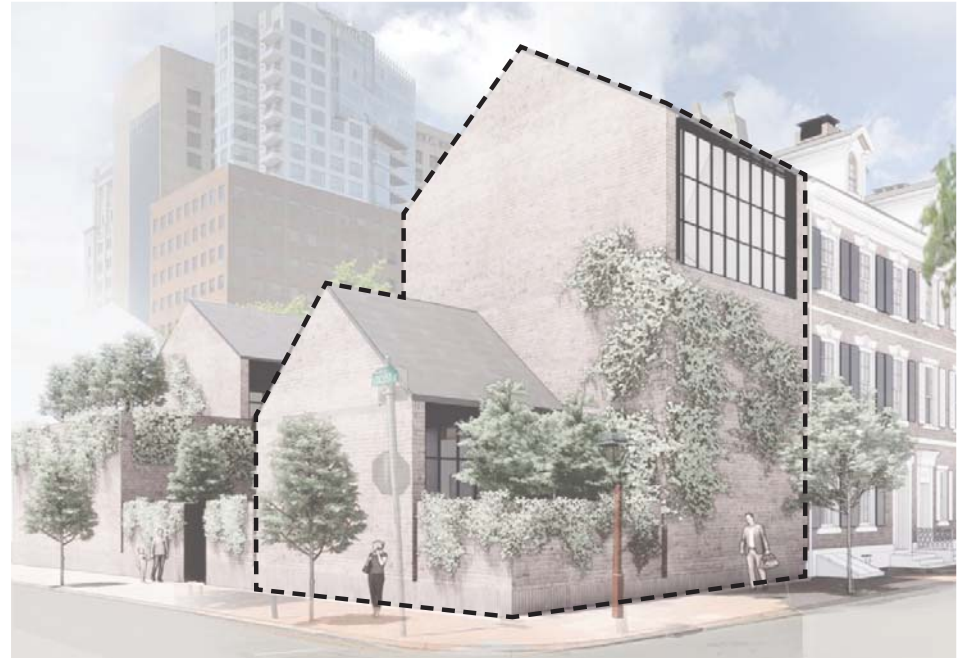


PROPOSED DESIGN

(B) SCALE AND BUILDING MASS



MASSING DIAGRAM



PROPOSED DESIGN

(C) HISTORIC MATERIALITY



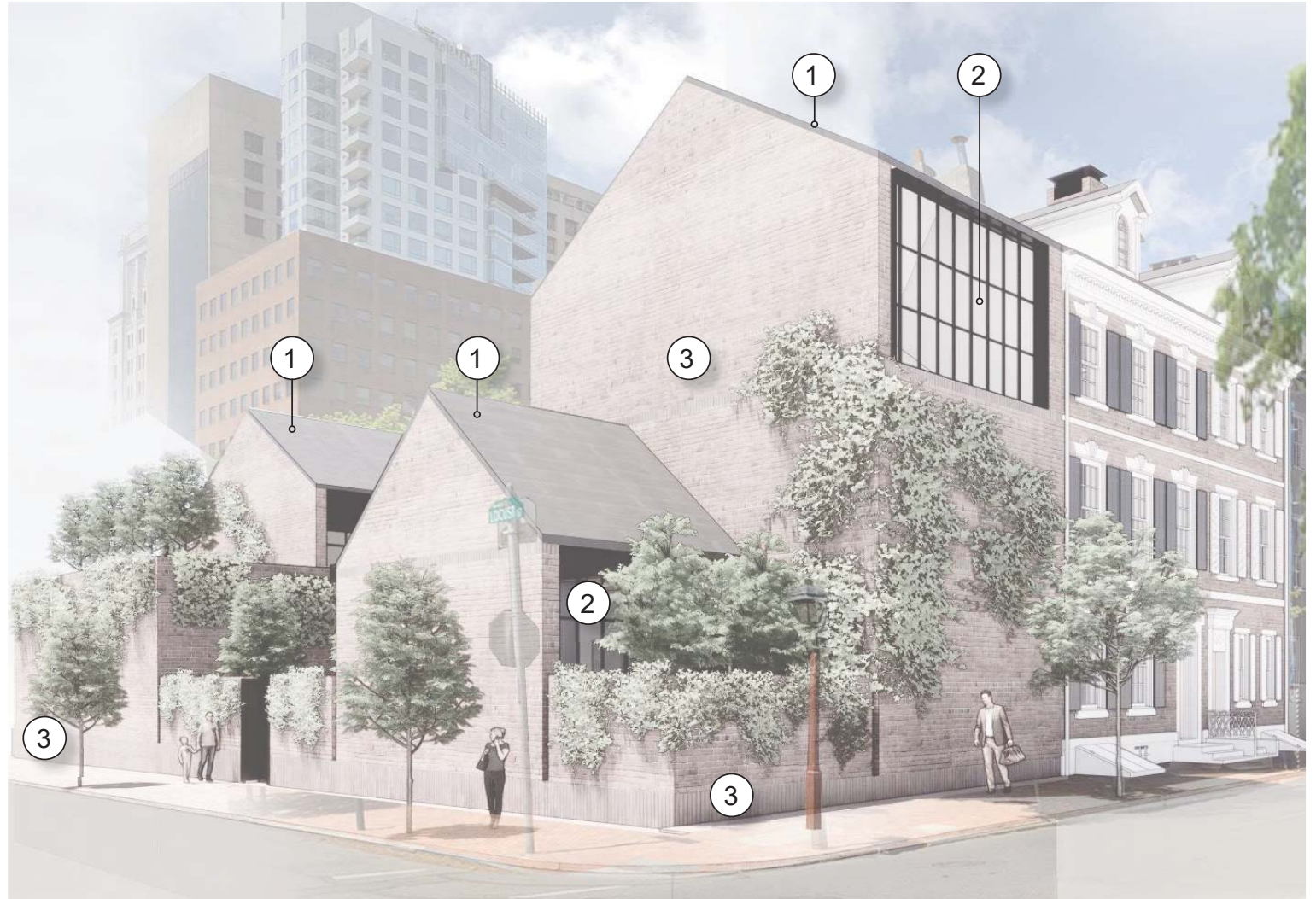
REFERENCE IMAGE - METAL ROOF



REFERENCE IMAGE - BLACK METAL WINDOWS

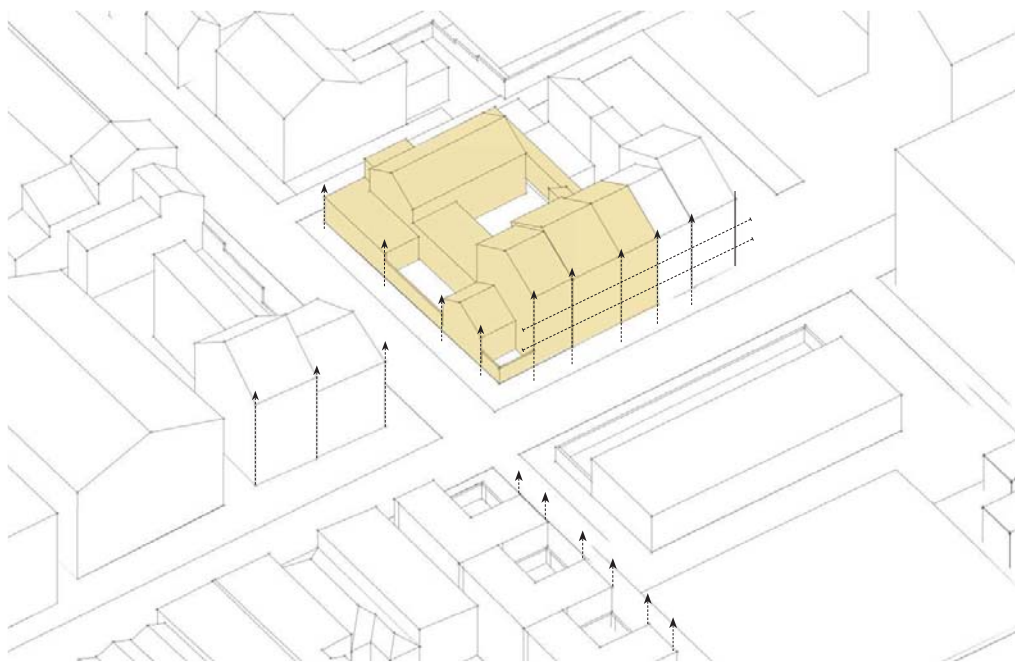


REFERENCE IMAGE - HISTORIC RED BRICK



PROPOSED DESIGN

(D) RHYTHM - HORIZONTAL AND VERTICAL



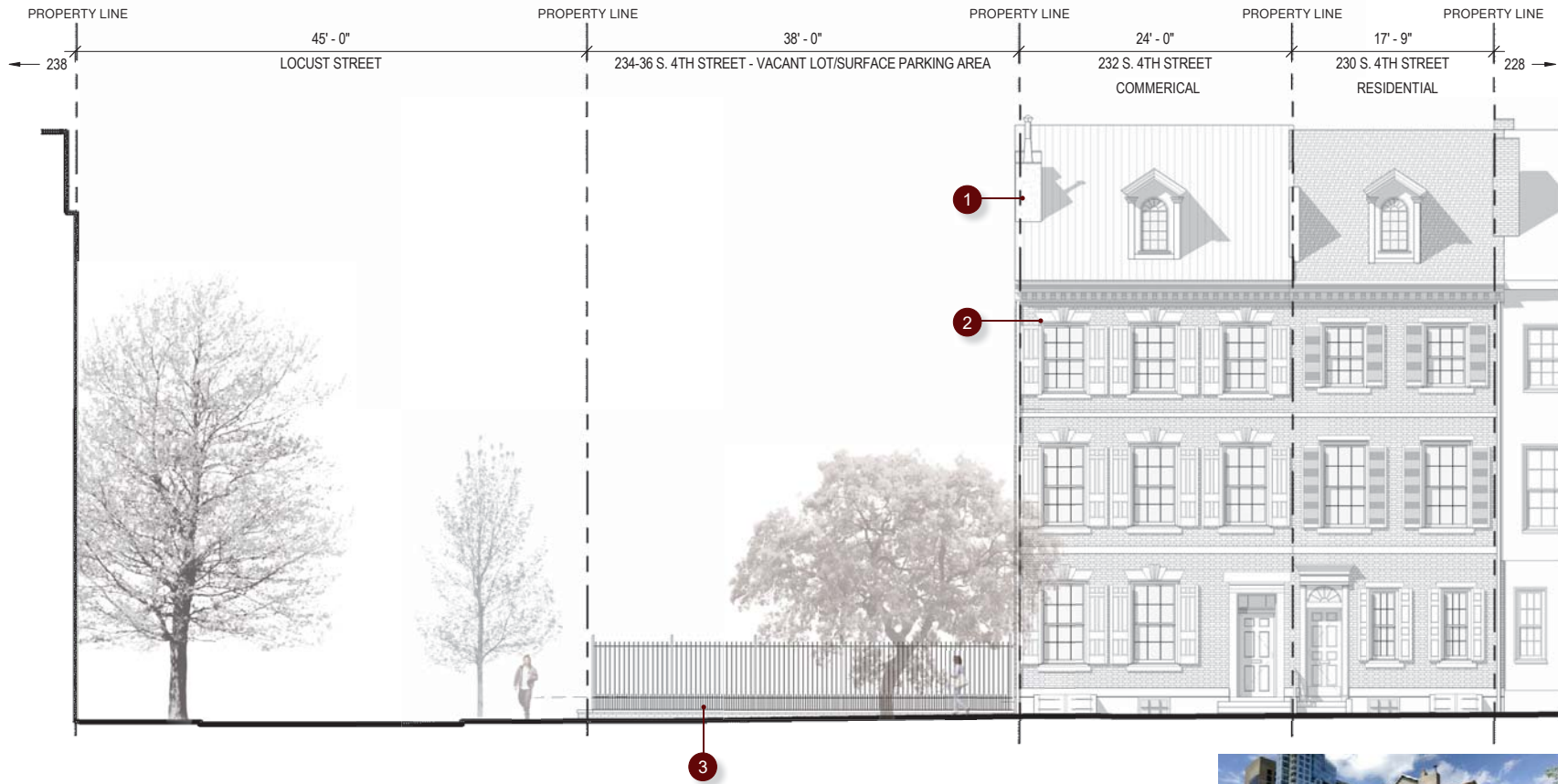
REFERENCE IMAGE - EXISTING ELEVATION



REFERENCE IMAGE - PROPOSED ELEVATION

EXTERIOR ELEVATION

EXISTING ELEVATION - SOUTH 4TH STREET



1. Existing chimney to remain.
2. Existing facade to be protected prior to new construction work.
3. Existing fence and masonry curb to be removed

Existing East Elevation

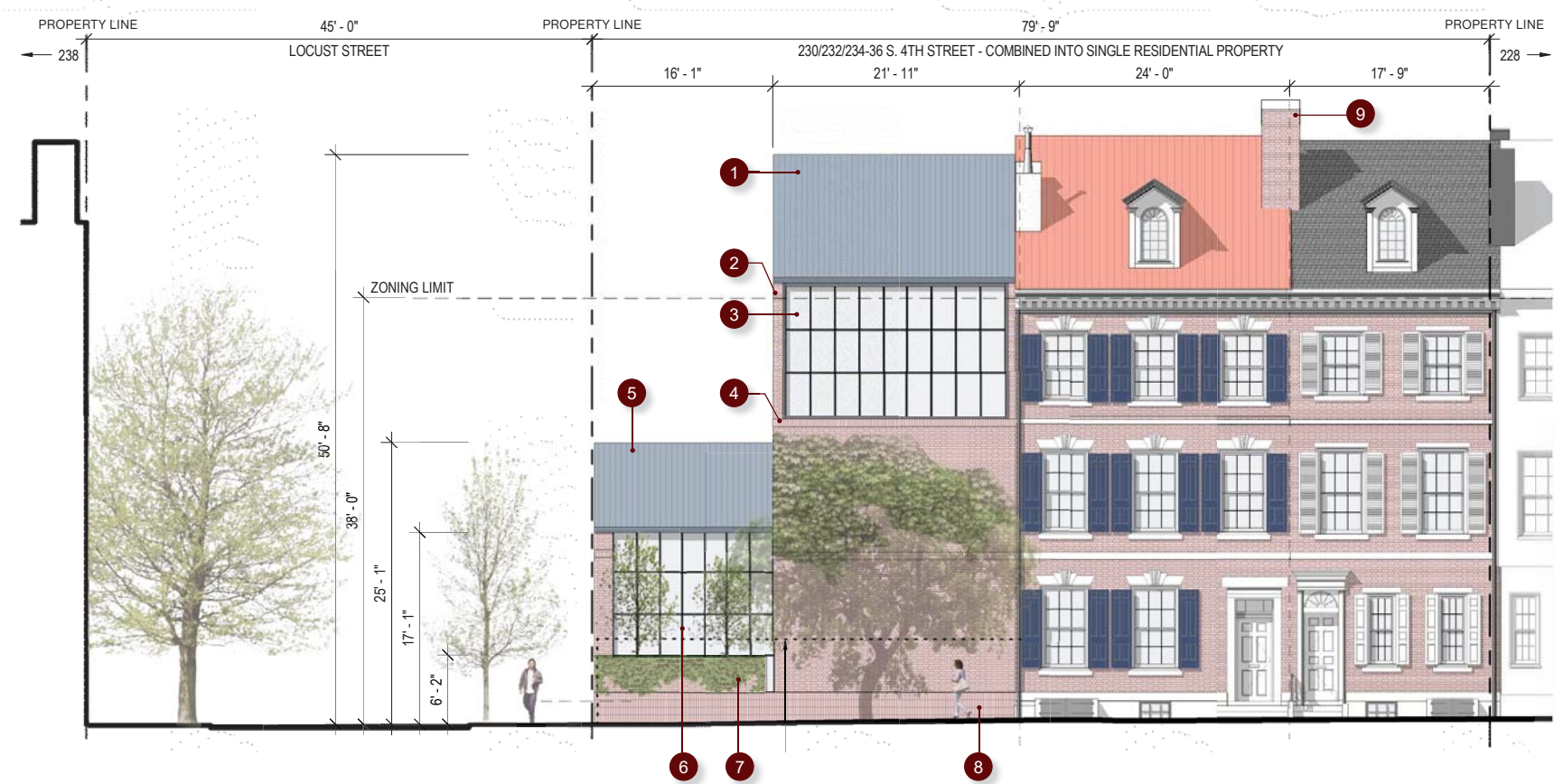
Scale: 1"=10'-0"



Corner of S. 4th Street and Locust looking Northwest.
Image Dated: 05.15.2019

EXTERIOR ELEVATION

PROPOSED ELEVATION - SOUTH 4TH STREET



1. New gable roof with pitch to match adjacent property at 232 S. 4th Street. Material to match roof of Shippen-Wistar House at corner of S. 4th Street and Locust Street.
2. Exterior finish: Brick to match 232/230 S. 4th Street facade.
3. Thermally broken steel windows
4. Horizontal soldier course masonry brick to align with top of adjacent architectural horizontal banding. Brick to match existing properties at 230/232 S. 4th Street.
5. New gable roof to match pitch of adjacent property at 232 S, 4th Street.
6. Full Height thermally broken steel windows.
7. Masonry street wall at property line. Brick to match property at 232/230 S. 4th Street.
8. Soldier brick watertable to align with top of adjacent marble watertable at 232 S. 4th Street.
9. New brick chimney. Brick to match 232/230 S. 4th Street. Roof of 232 S. 4th Street to be protected and repaired to existing condition.

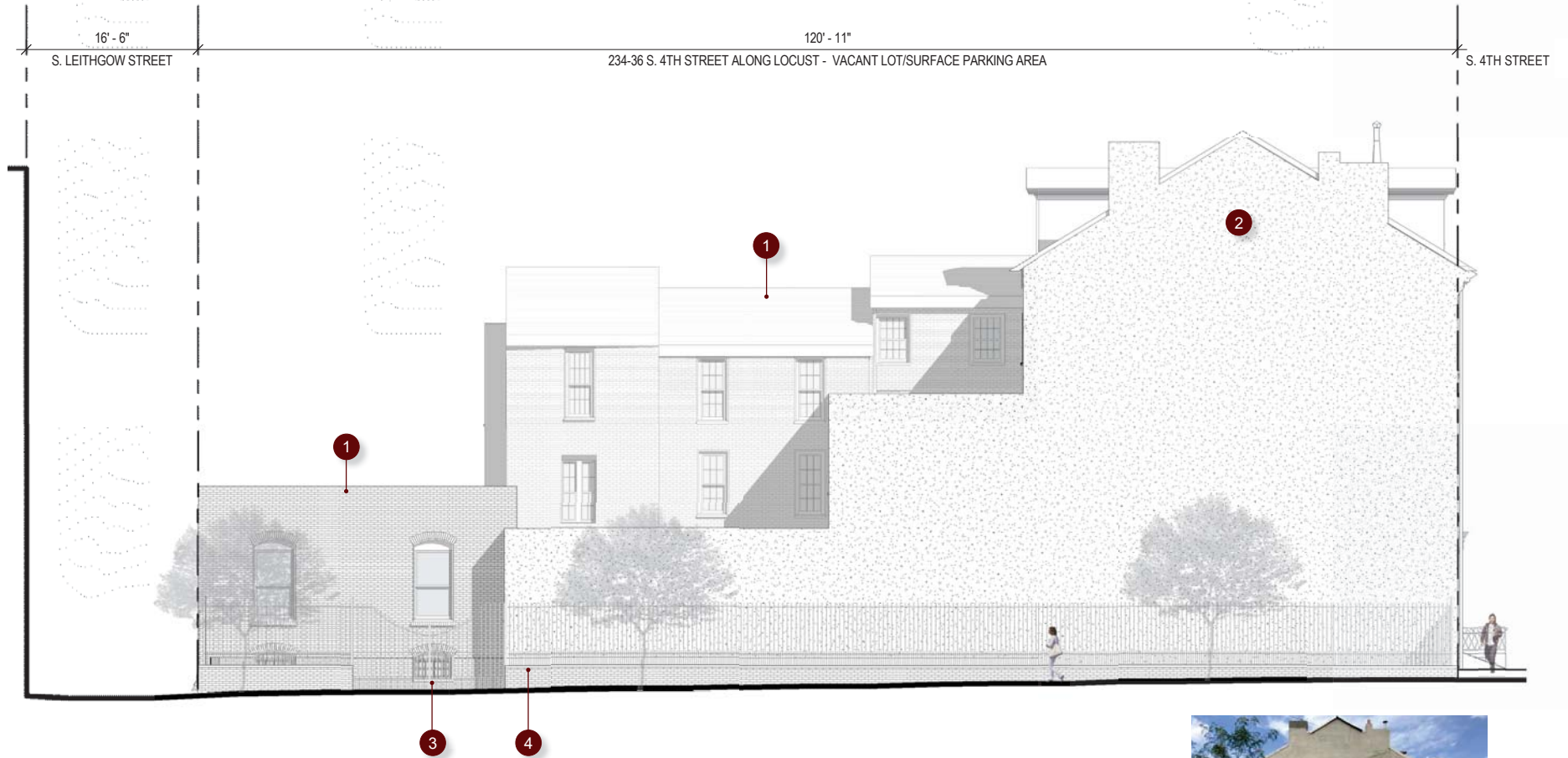
Proposed East Elevation

Scale: 1"=10'-0"



EXTERIOR ELEVATION

EXISTING ELEVATION - LOCUST STREET



1. Existing rear structures to be removed.
2. Existing demising wall to be repaired and modified for new construction at 234-36 St. 4th Street.
3. Existing gate to surface vehicular parking lot to be removed.
4. Existing fence and masonry curb to be removed.

Existing South Elevation

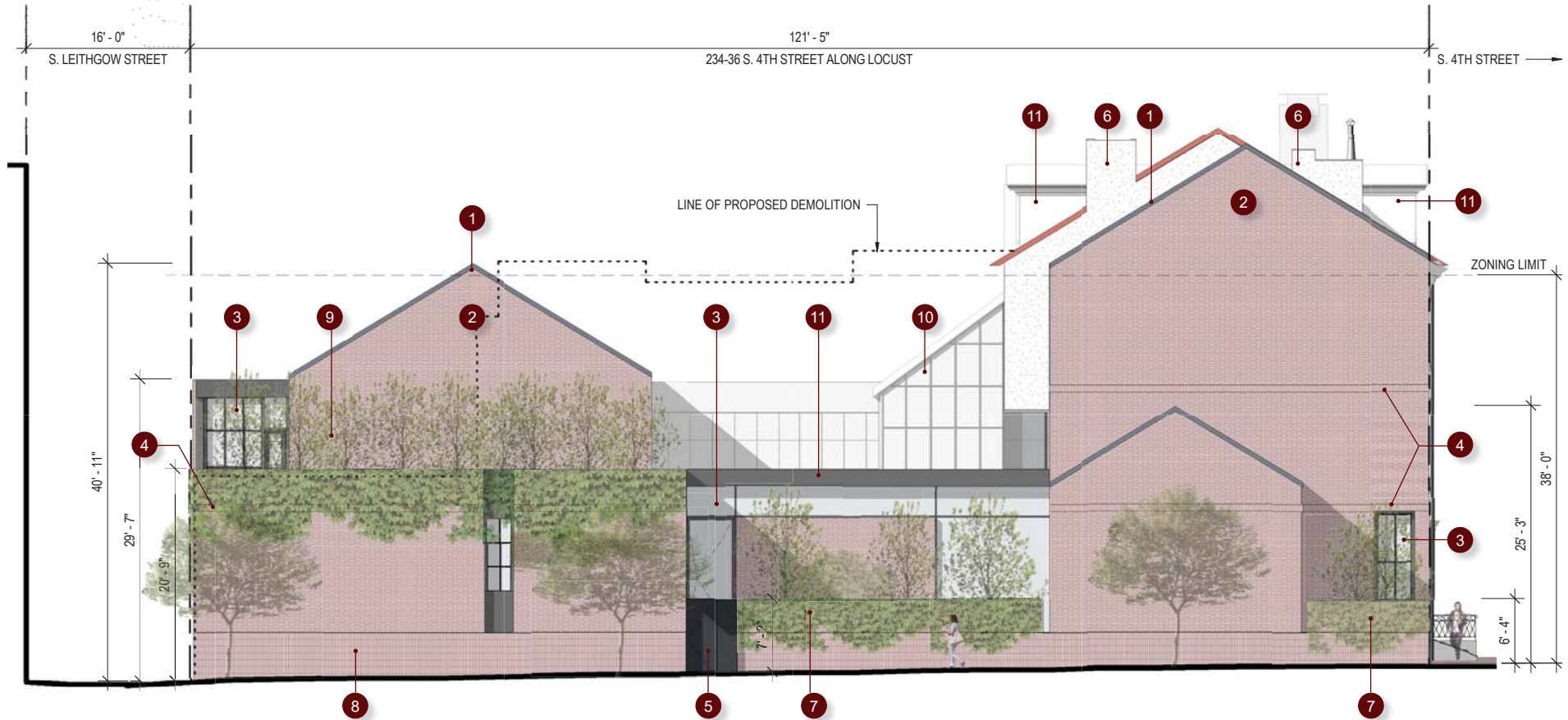
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Locust looking Northwest.
Image Dated: 05.15.2019

EXTERIOR ELEVATION

PROPOSED ELEVATION - LOCUST STREET



1. Gable roof to match pitch and align with adjacent property at 232 S. 4th Street. Match roof material of 238 S. 4th Street Property.
2. Exterior finish: Brick to match 232/230 S. 4th Street facade.
3. Thermally broken steel windows with matching steel fascia panel.
4. Horizontal soldier course masonry brick to align with top of adjacent architectural horizontal banding. Brick to match 230/232 S. 4th Street townhouses.
5. New recessed steel gate and canopy.
6. Existing Chimney to remain.
7. Masonry street wall at property line. Brick to match 232/230 S. 4th Street.
8. Soldier brick watertable to align with top of adjacent marble watertable at 232 S. 4th Street.
9. New roof terrace at second level.
10. New structures beyond.
11. Existing dormer beyond to remain.

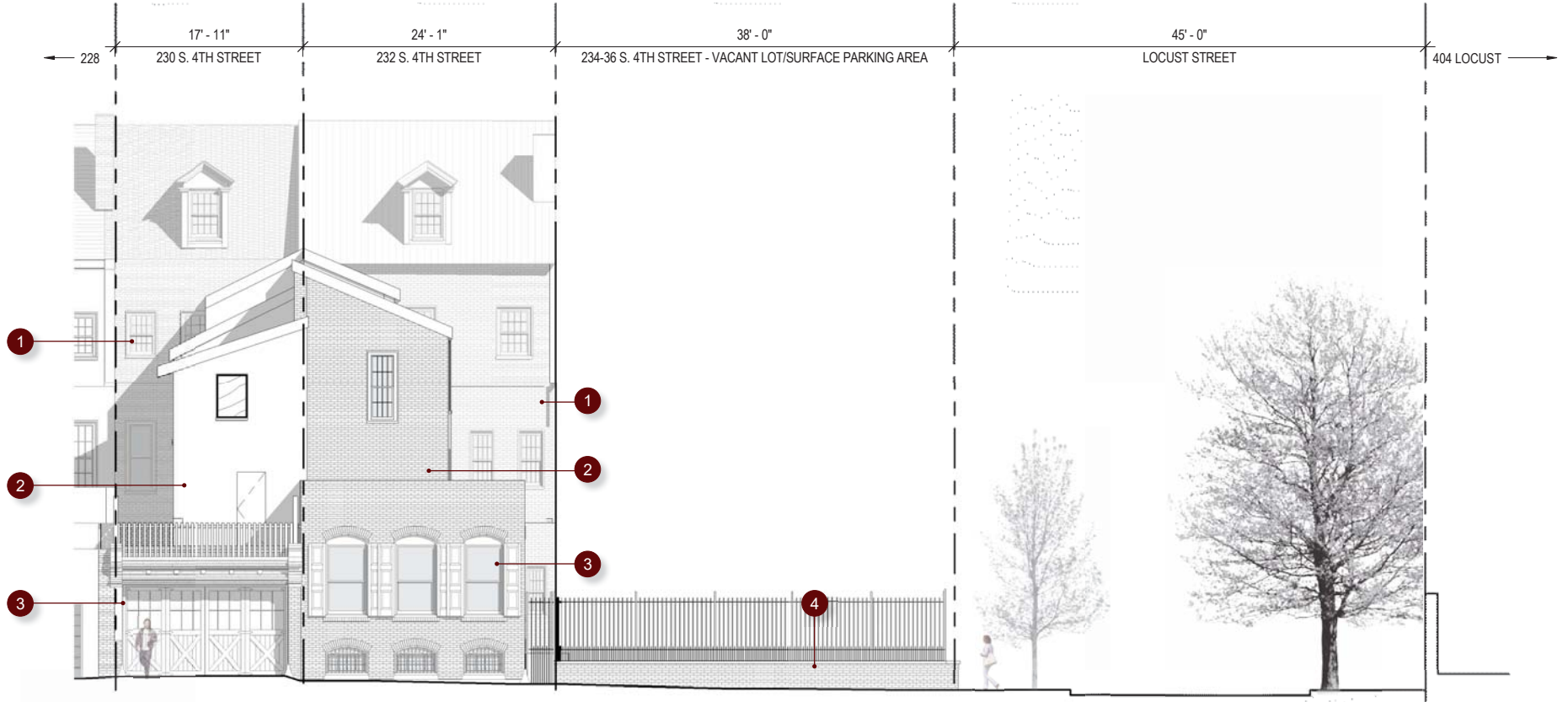
Proposed South Elevation

Scale: 1"=10'-0"



EXTERIOR ELEVATION

EXISTING ELEVATION - SOUTH LEITHGOW STREET



1. Existing rear facades of primary historic structure to be modified.
2. Existing rear buildings to be removed.
3. Existing rear structure to be removed.
4. Existing fence and masonry curb to be removed.

Existing West Elevation

Scale: 1"=10'-0"



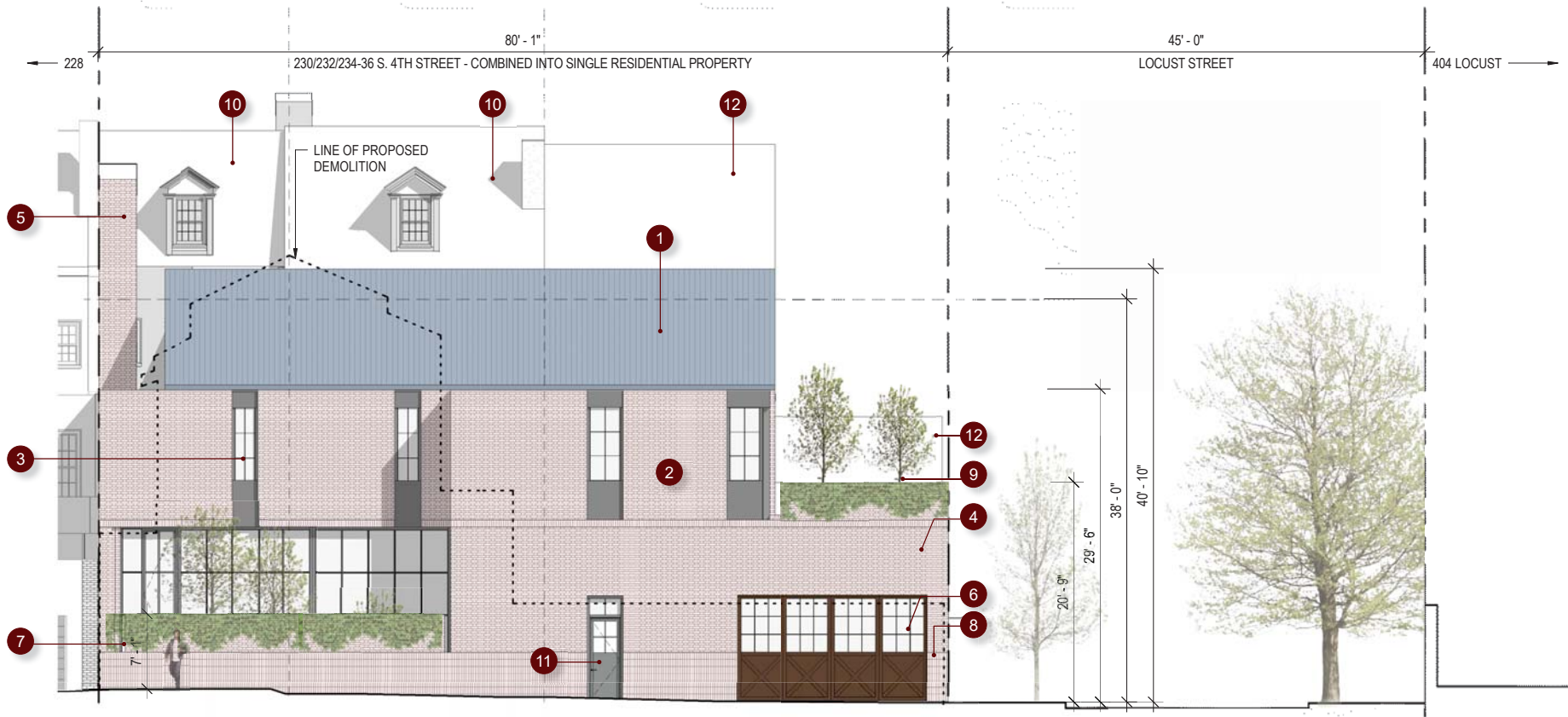
Leithgow Street looking at ground level existing buildings. Image Dated: 05.15.2019



Leithgow Street upper facade. Image Dated: 05.15.2019

EXTERIOR ELEVATION

PROPOSED ELEVATION - SOUTH LEITHGOW STREET



1. New gable roof to match slope and align with adjacent building at 232 S. 4th Street.
2. Exterior finish: Brick to match 232/230 S. 4th Street facade in Flemish bond coursing
3. Thermally broken steel windows with metal fascia panels.
4. Horizontal soldier course masonry brick to align with top of adjacent architectural horizontal banding. Brick to match 230/232 S. 4th Street townhouses.
5. New masonry chimney.
6. Carriage style garage door to match previous carriage style doors at 230 S. 4th street.
7. Masonry street wall at property line. Brick to match 232/230 S. 4th Street.
8. Soldier brick watertable to align with top of adjacent marble watertable at 232 S. 4th Street.
9. New roof terrace at second level.
10. Existing roof to remain. Modify as necessary for new masonry chimney. See proposed east elevation.
11. Passage door with transom window.
12. Roof of new structure beyond.

Proposed West Elevation

Scale: 1"=10'-0"



04

Itemized Zoning
Departures

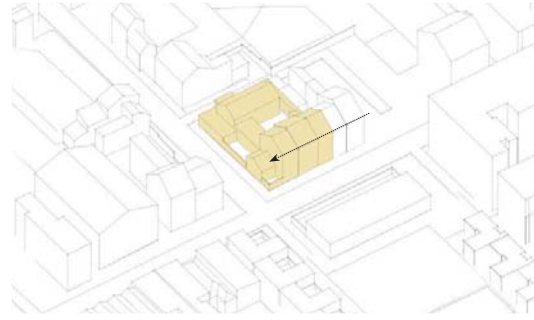
ITEMIZED ZONING VARIANCES

1

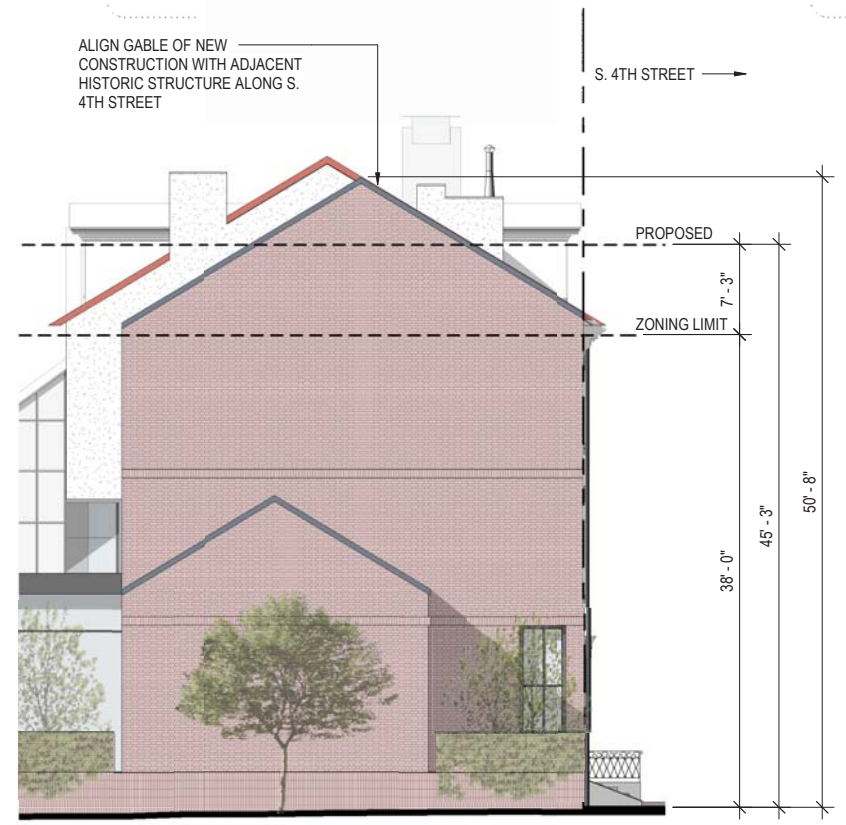
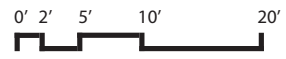
Max Zoning Height

Per Zoning Code Table 14-701-2 maximum height of and RM-1 structure is 38 ft, measured to midpoint between eaves and ridge on pitched roof

The proposed design includes a structure on the 234 lot that is $\pm 45'-3"$ to the midpoint of the pitched roof, exceeding the height limit by $7'-3"$. Proposed height to integrate with the historic massing of adjacent buildings and reduce minor stepping in building height along South 4th street.



East Elevation



South Elevation

ITEMIZED ZONING VARIANCES

2 Rear Yard Setback
 Per Zoning Code Table 14-701-2 a Rear Yard setback of 9'-0" is required, as measured from the rear lot line on S. Leithgow street to the nearest structure.

The proposed design builds to the lot line along S. Leithgow St., maintaining existing 0'-0" rear setback at 230 and 232 S. 4th street, and matching 228 S. 4th street.

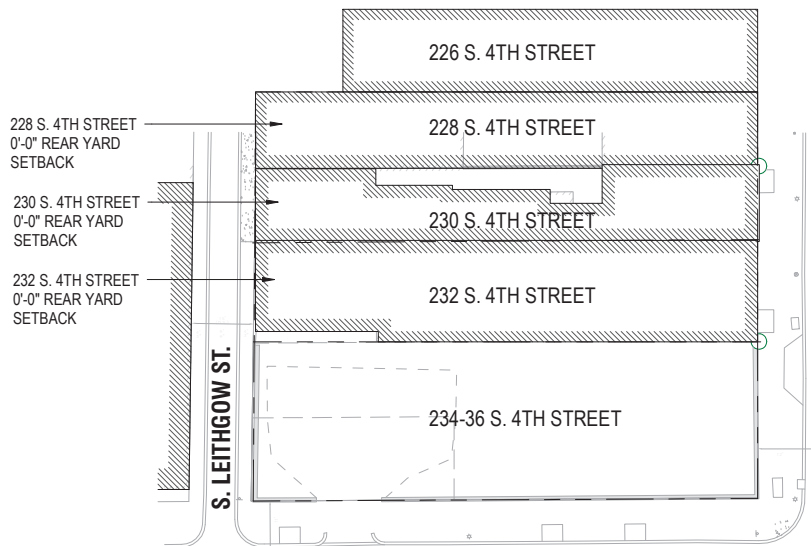
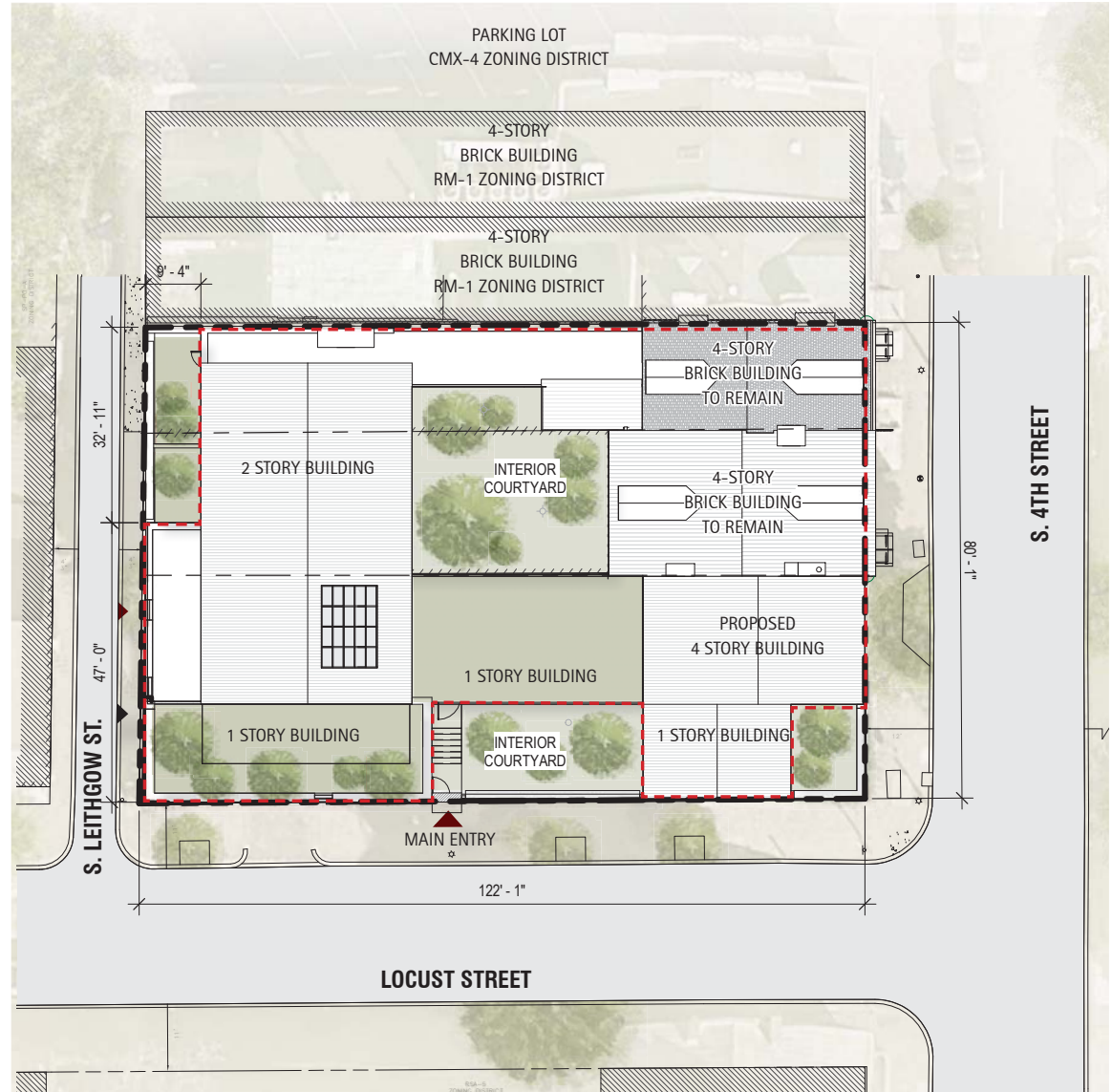


DIAGRAM - EXISTING REAR SETBACK

Scale: 1"=30'-0"



SITE PLAN

Scale: 1"=20'-0"



ITEMIZED ZONING VARIANCES

3 Vehicular Access at Public Right-of-Way
As S. Leithgow Street is considered a public right-of-way street and not a rear alley, garage access is not allowed as of right. Code limits or prohibits driveways on certain pedestrian streets in Center City.

The proposed design includes a garage accessed from Leithgow Street to provide separation between vehicular and pedestrian access along Locust Street. Existing curb cut along Locust Street to be removed and repaired to match existing brick sidewalk.

Design Precedents:

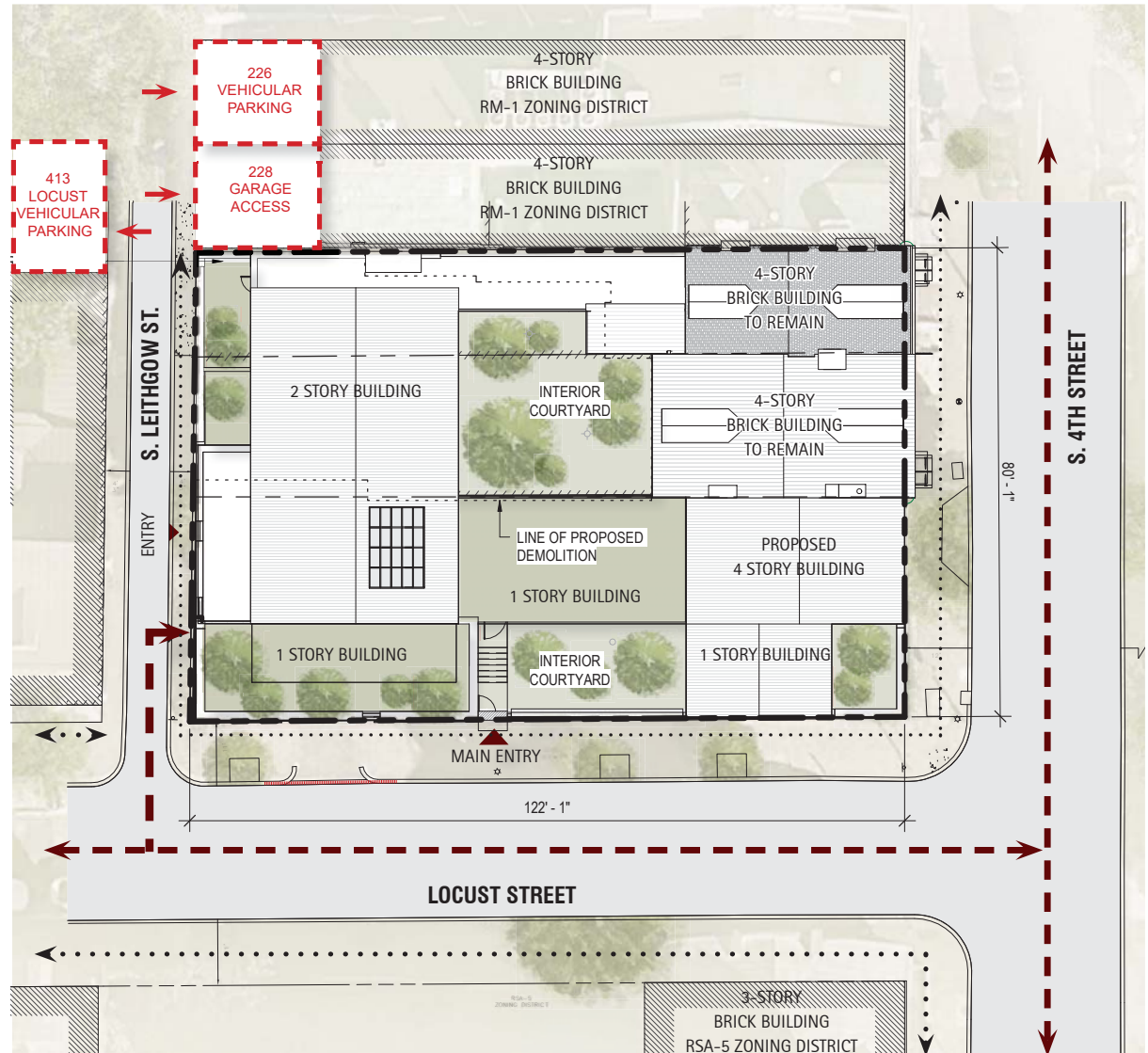
- 226 S. 4th Street - Currently provides exterior vehicular parking at rear yard.
- 228 S. 4th Street - Currently provides (2) car garage at rear yard with access off of S. Leithgow Street.
- 413 Locust Street - Currently provides exterior vehicular Parking at side yard off of S. Leithgow Street.

KEY

- Vehicular Circulation
- Pedestrian Circulation
- Existing curb Cut to be removed

SITE PLAN

Scale: 1"=20'-0"



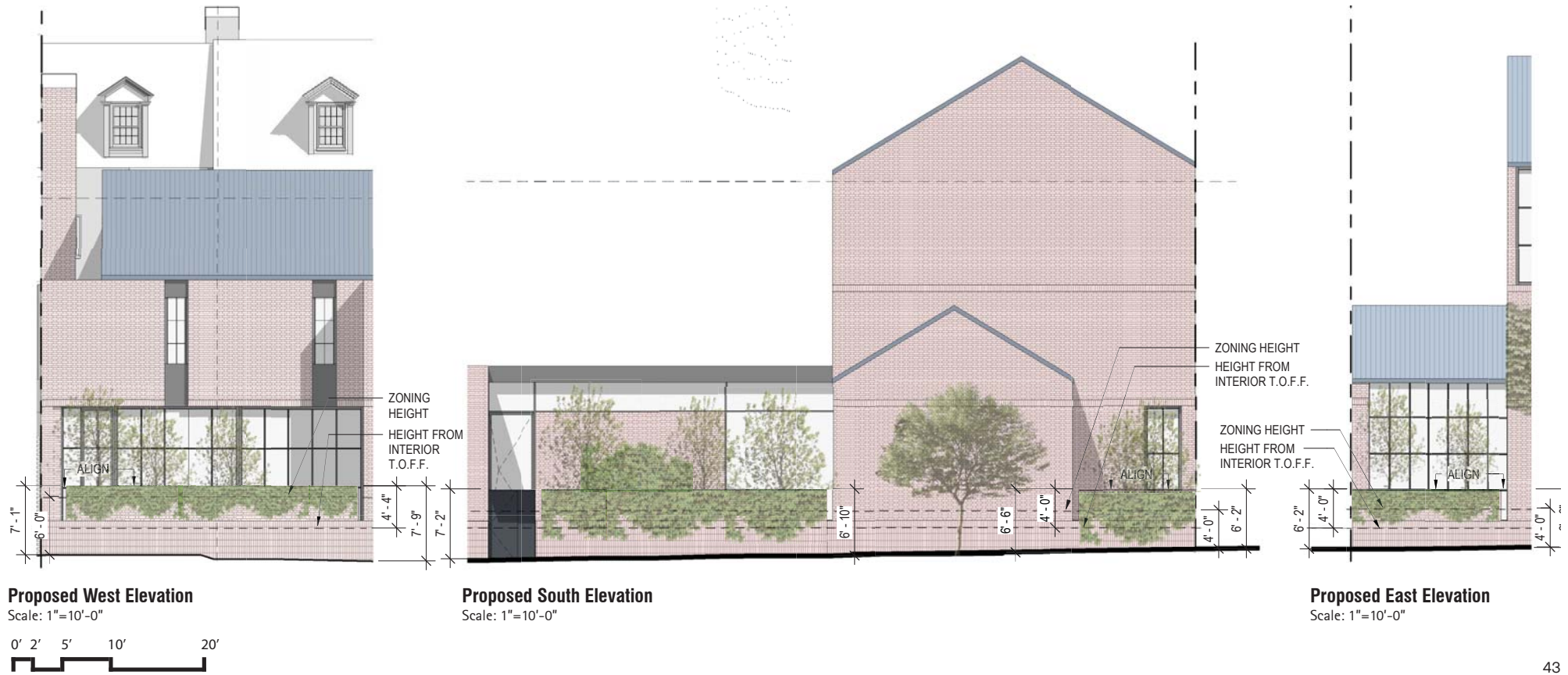
ITEMIZED ZONING VARIANCES

4 Table 14-701-6: Maximum Street Wall Height - Permitted Encroachments

Fences are permitted in required front yard areas, but any fence located within a required front setback area shall be no more than 4 ft. tall and no more than 50% opaque. Fence posts and gate posts that are included as architectural features are permitted up to 6 ft. in height. This standard shall also apply to any side of a corner lot facing a street.

Fences are permitted in the required rear yard area and in any portion of the required side yard area behind the front wall of the principal structure, but may not be more than 6 ft. tall. This standard shall also apply to any side of a corner lot that does not face a street.

The proposed design includes a masonry street wall between the pedestrian right-of-way and the private residential gardens along the S. 4th Street, Locust Street, and Leithgow Street. Due to grade change, the street wall varies in height along the three facades, with a total height between 6'-0" and 7'-9" from grade at the pedestrian right-of-way. Interior height of wall for private courtyards is between 4'-0" and 4'-4". Height of wall is based on masonry coursing and established architectural datums at the interior and exterior of the project.



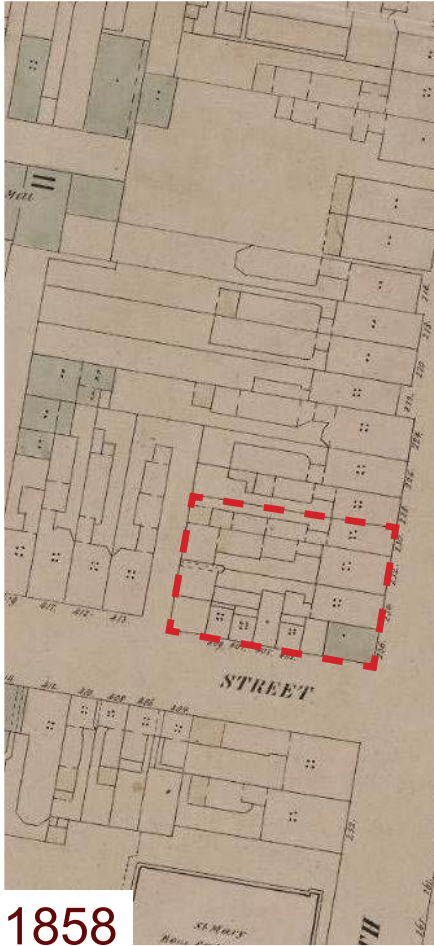


Thank You

Appendix

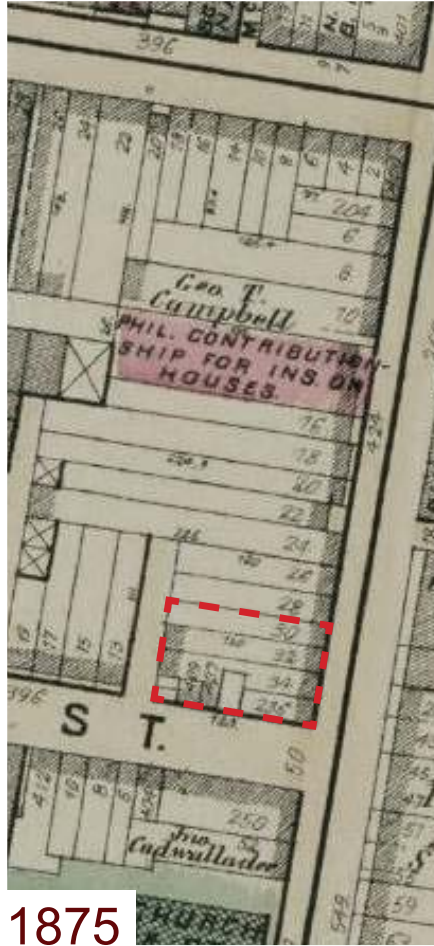
Historical Maps

Site Context



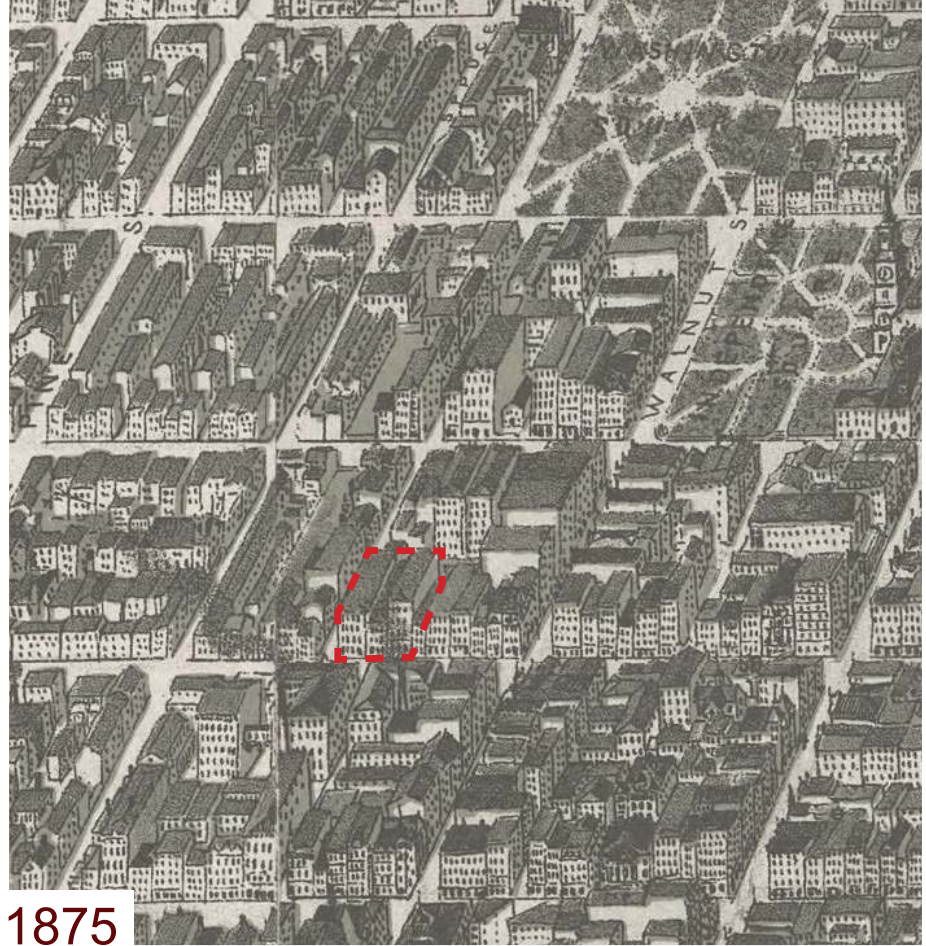
1858

1858 - 1860 HISTORIC MAP
HEXAMER AND LOCHER PLATE 07A - PHILADELPHIA ATLAS
NOT TO SCALE



1875

1875 HISTORIC MAP
PHILADELPHIA ATLAS
NOT TO SCALE



1875

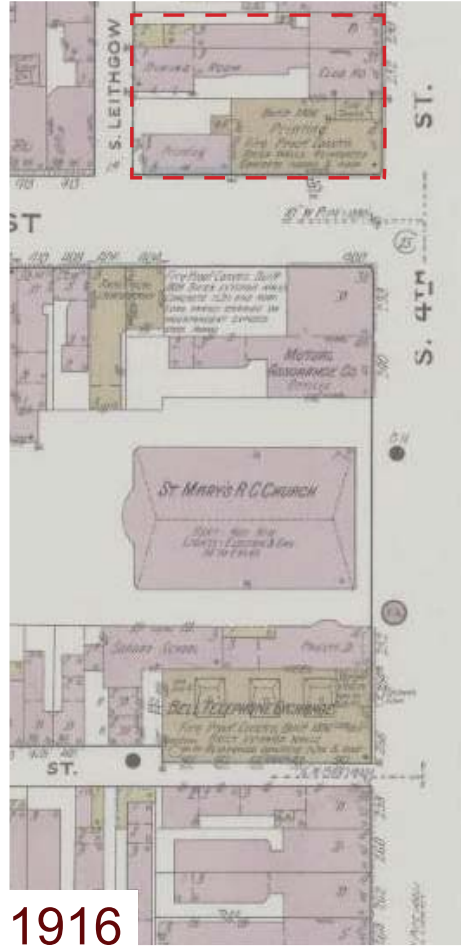
1886 HISTORIC MAP
LIBRARY OF CONGRESS
NOT TO SCALE

Historical Maps

Site Context



1895
1895 HISTORIC MAP
 PHILADELPHIA ATLAS
 NOT TO SCALE



1916
1916 HISTORIC MAP
 INSURANCE MAP OF PHILADELPHIA
 NOT TO SCALE



1945
1945 HISTORIC MAP
 PHILADELPHIA LAND USE MAP
 NOT TO SCALE



1962
1962 HISTORIC MAP
 PHILADELPHIA LAND USE MAP
 NOT TO SCALE

Historical Photographs 1857 - 1931

Site Context



1857

234-236 S. 4TH STREET

Looking at northwest corner of S. 4th and Locust Street (previously Prune St.)

Philadelphia Department of Records:

ADDRESS: Locust St and S 04th St

TITLE: Copies From Old Book

DESCRIPTION:

Copies from old book. Date is the date when the copies were made.

NOTES:

House at corner of prune (now locust) and 4th street

COURTESY OF: DOR ARCHIVES
HISTORIC COMMISSION - 2456-7
ASSET ID: 70357
PHOTOGRAPHER: WIDDOP
DATE: 5/24/1965



1859

234-236 S. 4TH STREET

Looking south on S. 4th Street at corner of S. 4th and Locust Street (Previously Prune St.)

Philadelphia Department of Records:

ADDRESS: Fourth and Locust Street

TITLE: 4th Street at Prune (now Locust)

DESCRIPTION:

Rows of houses with tree-lined sidewalks

QUOTATIONS:

"... On the northwest corner opposite Wistar's house a small house occupied from 1796 to 1800 by Louis-Philippe, Duc d'Orleans (later King of France), and his brother Duc de Montpelier." -OPEP, p. 54., 1976

COURTESY OF: DOR ARCHIVES
COLLECTION ID - PDCL00051
ASSET ID: 97986
PHOTOGRAPHER: n/a
DATE: c. 1859



1910

234-236 S. 4TH STREET

Looking south on S. 4th street at corner of S. 4th and Locust Street (previously Prune St.)

Philadelphia Department of Records:

ADDRESS: 230 S 04th St

TITLE: 230-232 South 4th Street

DESCRIPTION:

Film copy of 230-232 South 4th Street. Probably taken in 1910.

NOTES:

Photo noted as a film copy of original photograph, taken approximately in 1910. Man standing on steps, man on ladder in front of store, people walking down the street.

COURTESY OF: DOR ARCHIVES
HISTORIC COMMISSION - 42376-0
ASSET ID: 73206
PHOTOGRAPHER: BLANCK
DATE: 8/31/1960



1931

413 LOCUST STREET

Looking northeast on S. Leithgow Street

Philadelphia Department of Records:

ADDRESS: 413 Locust St

TITLE: 413 Locust Street (1931)

DESCRIPTION:

Historic Commission Film Copies of Book #4 Survey of Philadelphia by Widoop and Carollo 1960 413 Locust Street, entranceway detail (1931)

NOTES:

1930's era automobile parked alongside.

COURTESY OF: DOR ARCHIVES
HISTORIC COMMISSION - 40210-0-
ASSET ID: 86041
PHOTOGRAPHER: N/A
DATE: 1960

Historical Photographs 1931-Present

Site Context



UNKNOWN

232 S. 4TH STREET

Looking west on S. 4th Street

Philadelphia Department of Records:

ADDRESS: 232 S 04TH St.

TITLE: 232 South 4th Street

DESCRIPTION:
Historic Commission Film Copies of Book #3 Survey of Philadelphia by Widoop and Carollo 01/05/1960 232 South 4th Street

COURTESY OF: DOR ARCHIVES
HISTORIC COMMISSION -40189-0-
ASSET ID: 86002
PHOTOGRAPHER: Carollo, R. Widdop
DATE: 01/05/1960



1959

232 S. 4TH STREET

Looking at northwest corner of S. 4th and Locust Street (previously Prune St.)

Philadelphia Department of Records:

ADDRESS: 232 S 04th St

TITLE: 232 South 4th Street

COURTESY OF: DOR ARCHIVES
DEPT. OF PUBLIC PROPERTY - 37334-0-
ASSET ID: 88056
PHOTOGRAPHER: Cuneo
DATE: 02/17/1959



1963

230 LOCUST STREET

Looking west on S. 4th Street

Philadelphia Department of Records:

ADDRESS: 230 S. 4th Street

TITLE: S. 4th Street, S. 3rd Street, Cypress Street

DESCRIPTION:
S. 4th Street, S. 3rd Street, Cypress Street Houses.

NOTE:
230 S. 4th Street

COURTESY OF: DOR ARCHIVES
HISTORIC COMMISSION -51963-0-
ASSET ID: 72278
PHOTOGRAPHER: Carollo, R.
DATE: 07/05/1963



1966

234-36 S. 4TH STREET

Looking west on Locust Street at the corner of S. 4th and Locust.

Philadelphia Department of Records:

ADDRESS: S 04th St. and Locust St.

TITLE: Contract #S-3553-R - Locust Street - 5th Street to 4th Street

DESCRIPTION:
Contract #s-3553-R- Locust Street - 5th Street to 4th Street.

COURTESY OF: DOR ARCHIVES
DEPARTMENT OF RECORDS -03779-12-
ASSET ID: 148816
PHOTOGRAPHER: Joseph, John A.
DATE: 04/11/1966

A CONTEXTUAL CUES

ROSE GARDEN

- 1 **Historic Map - 1942 Land Use**
 - Land use map prior to Historic Commission acquiring properties for Rose Garden.
- 2 **Historic Photograph - 1957**
 - Car exiting Lawrence Street - Now entrance into Rose Garden off of Locust Street between 4th and 5th Streets.
- 3 **Historic Map - 1962 Land Use**
 - Land use map showing acquisition and re-designation of land for Independence National Historical Park.
- 4 **Historic Photo - 1972 Rose Garden**
 - Dedicated officially in May of 1971 by the Daughters of the American Revolution in honor of the Signers of the Declaration of Independence
- 5 **Rose Garden - 2019**
 - Image taken 06.12.2019
- 6 **Rose Garden - 2019**
 - Image taken 06.12.2019

